

PERMIT NUMBER: B 22002641

DATE ACCEPTED:



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

| | | |
|--------------------------------------|-----------|-----------------|
| Street Address: 16480 FREDERICK ROAD | | Unit: |
| City: WOODSTONE MD | State: MD | Zip Code: 21797 |
| Subdivision/Village/Complex Name: | | SDP/WP/BA #: |
| Lot: | Tax Map: | Parcel: |
| Grading Permit #: | | |

DESCRIPTION OF WORK REQUIRED

| | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|---------------------------|
| Existing Use: SF D | Proposed Use: GARAGE | Estimated Cost: \$ 60,000 |
| Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVACR) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> None | | |
| 32 x 31 Attached GARAGE | | |

PROPERTY OWNER INFORMATION REQUIRED

| | | |
|----------------------------------------------------------------------------------|---------------------------|----------------------------------------------------------------------------------------|
| Owner(s) Name(s) (As it appears on tax records): JEFFREY BASSLER JESSICA BASSLER | | Primary Residence: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| Owner's Street Address: 16480 FREDERICK ROAD | | |
| City: WOODSTONE MD | State: MD | Zip Code: 21797 |
| Phone: 410-212-5430 | Email: JBASSLER@GMAIL.COM | |

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

| | |
|--------------------------------------|-------------------------------|
| Business Name: | Contact Name: JEFFREY BASSLER |
| Street Address: 16480 FREDERICK ROAD | |
| City: WOODSTONE MD | State: MD Zip Code: 21797 |
| Phone: 410-212-5430 | Email: JBASSLER@GMAIL.COM |

CONTRACTOR INFORMATION REQUIRED

| | |
|------------------|------------------|
| Business Name: | |
| Licensee's Name: | License #: |
| Street Address: | |
| City: | State: Zip Code: |
| Phone: | Email: |

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

| | |
|--------------------------------------|--------------------------------|
| Business Name: CREATIVE OUTLOOKS LLC | Name: PHILIP GUGLIOTTA |
| Street Address: | |
| City: | State: Zip Code: |
| Phone: 410-591-1062 | Email: PG@CREATIVEOUTLOOKS.COM |

BUILDING CHARACTERISTICS REQUIRED

| | |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------|
| Primary Structure: <input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*) | Condo: <input type="checkbox"/> Yes <input type="checkbox"/> No |
| Utilities: <input type="checkbox"/> Electric <input type="checkbox"/> Gas | Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well) |
| Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic) | |
| Heating System: <input type="checkbox"/> Electric <input checked="" type="checkbox"/> Natural Gas <input type="checkbox"/> Propane <input type="checkbox"/> Other: | Roadside Tree Project: <input type="checkbox"/> No <input type="checkbox"/> Yes: # |
| Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input type="checkbox"/> None | Fire Alarm System: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Voice Evac |

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

| | | | | |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------|------------------------|------------------------|-------------------------------|
| Model Name & Options: | | | | |
| # of Bedrooms (SF): 4 | # of efficiency units (MF*): | # of 1 BR (MF*): | # of 2 BR (MF*): | # of 3 BR (MF*): |
| # Rooms: | # Full Baths: 3 | # Half Baths: # | # Fireplaces: 2 | |
| Garage/Carport Info: <input checked="" type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None | | | | |
| Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input checked="" type="checkbox"/> Partial | | | | |
| 1st Fl Width: 32 | 1st Fl Depth: 36.7 | 2nd Fl Width: 40 | 2nd Fl Depth: 27 | Bsmt Width: 50 Bsmt Depth: 27 |
| Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI | | Gross Area: 1152 sq ft | Occupiable Area: sq ft | |

AGREEMENT/ DISCALIMER REQUIRED

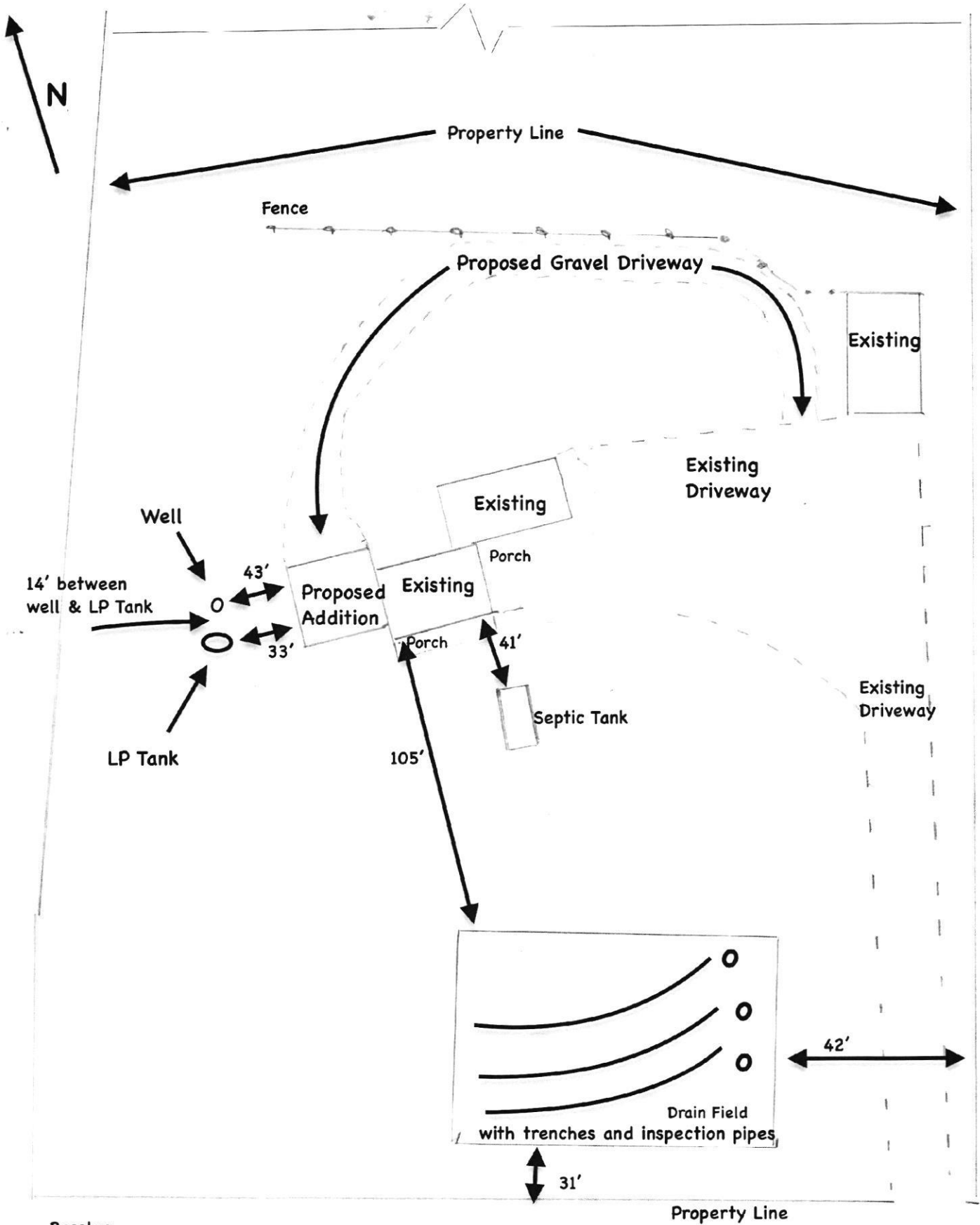
THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: Jeffrey Bassler DATE SIGNED: 6-30-2022

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

| | | | | |
|----------------------------------------|-----------------------------------------|-----------------------------------------|-------------------------------------------------------|-----------------------------------------------------------|
| AGENCIES REQUIRED/APPROVALS: | | | | |
| <input checked="" type="checkbox"/> PR | <input checked="" type="checkbox"/> DPZ | <input checked="" type="checkbox"/> DED | <input checked="" type="checkbox"/> Health <u>RME</u> | <input type="checkbox"/> SHA <input type="checkbox"/> CID |
| SUBMITTAL FEES: \$ 25.00 | PAYMENT: 8143 | ACCEPTED BY: <u>GH</u> | | |



Bassler
 16480 Frederick Road
 Woodbine Md 21797

#B22002641

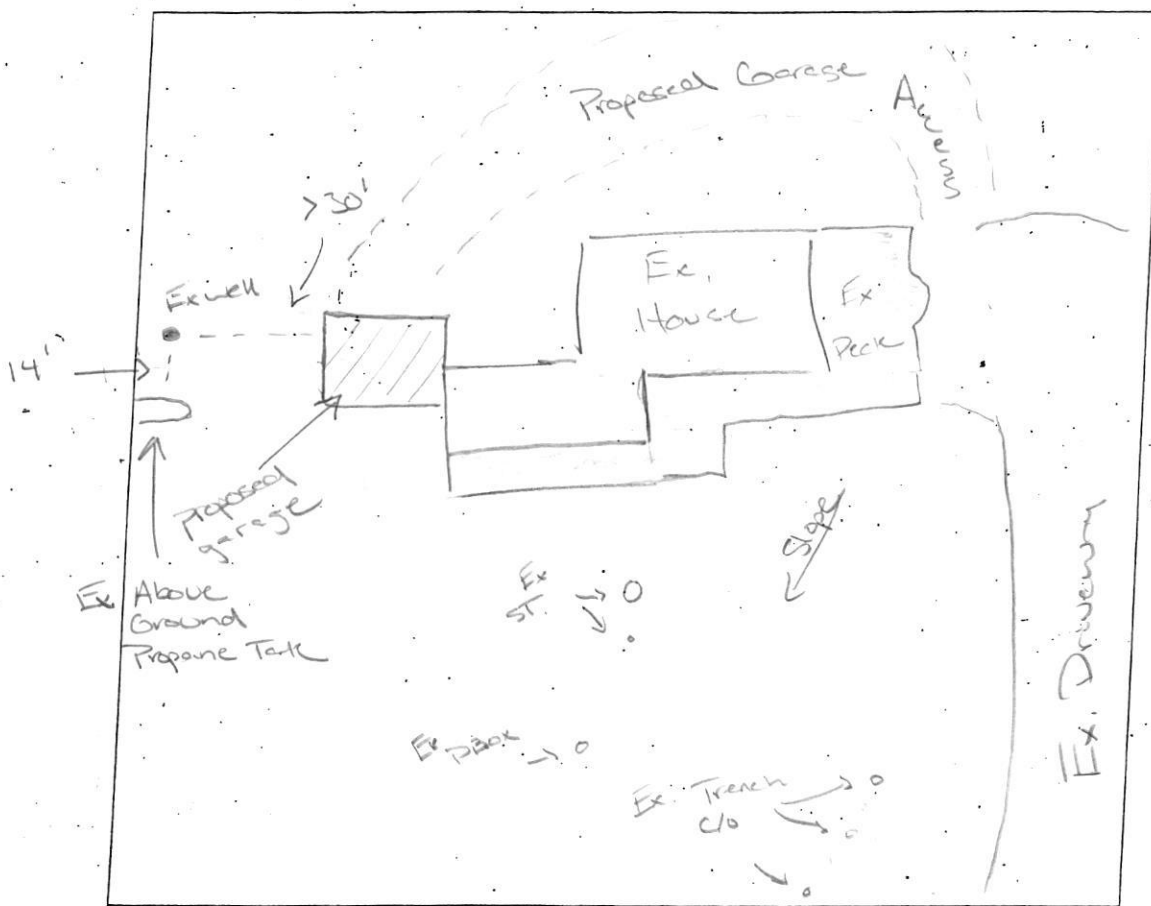
Approved R1E
 9/1/2022

Not a scale drawing

SITE INSPECTION SHEET

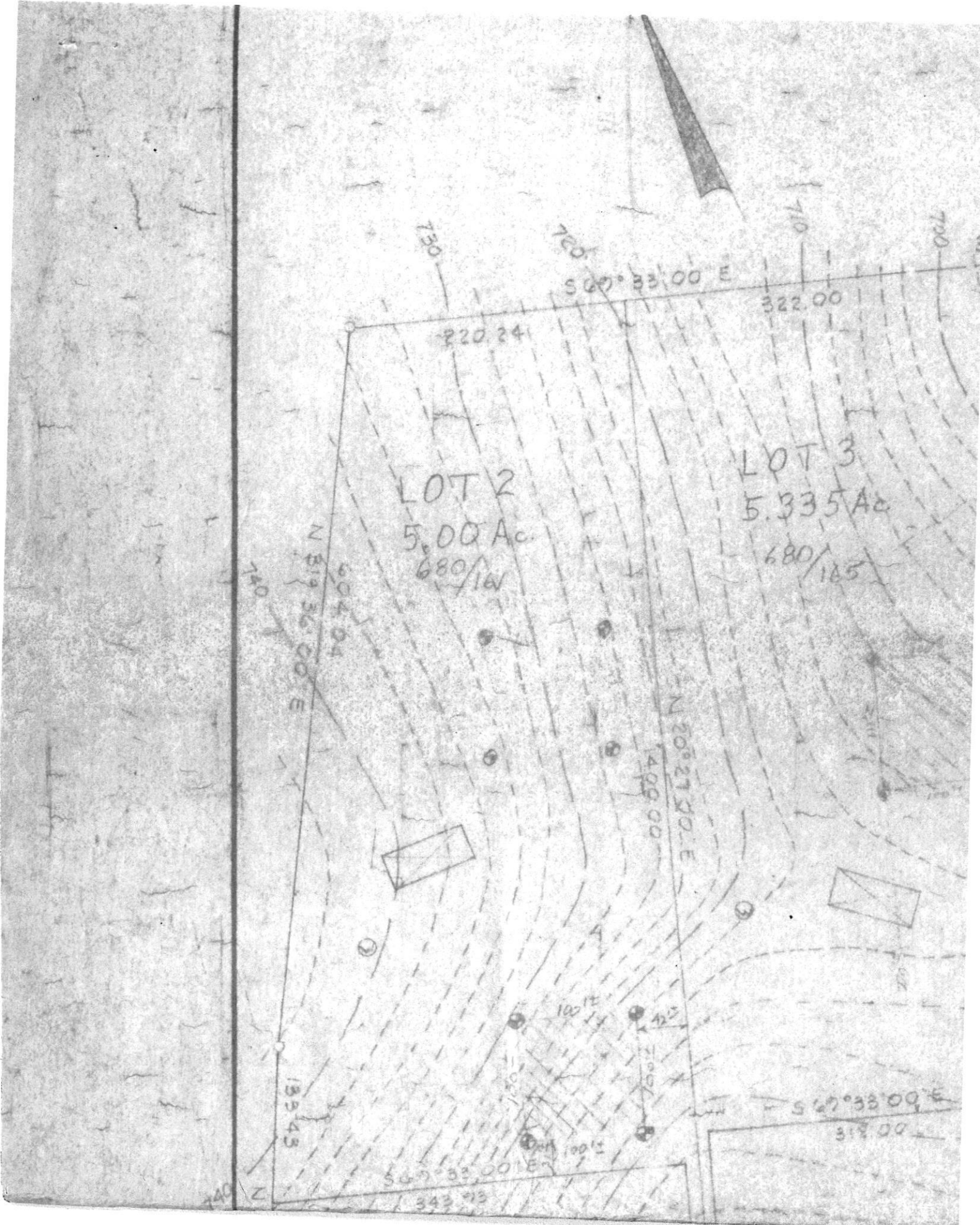
OWNER: 16480. Frederick PHONE #: _____
ADDRESS: Woodbine, MD CONTRACTOR: _____
WELL TAG #: None
SUBDIVISION: _____ LOT: _____ COUNTY #: Howard
PROPOSAL: Garage Proposal B22002641

LOCATION DIAGRAM



COMMENTS: Septic System appears to be in good
functioning condition. No signs of failure.
Existing well appears to be in good condition.

DATE: 7/29/2022 INSPECTOR: ESF



16480 Frederick Rd. PC

MARYLAND

ROUTE

No. 144



This area contains a private sewerage system of approximately 15,000 square feet as required by the Maryland State Department of Health and Mental Hygiene for individual disposal. Improvements of any kind to this area are restricted where public sewage is available and particularly for sanitary structures constructed on this site. This agreement shall become null and void upon connection to a public sewer system. Percolation test holes shown herein have been field located and shown as follows:

The lot shown hereon complies with the minimum sanitary code and is in compliance with the Maryland State Department of Health and Mental Hygiene. Percolation tests and water table for building lots have been shown where pertinent.

Approved for Property Lines and Property Survey Systems
 Department of Assessments and Taxation

J. Carl Hudgins
 3-11-80

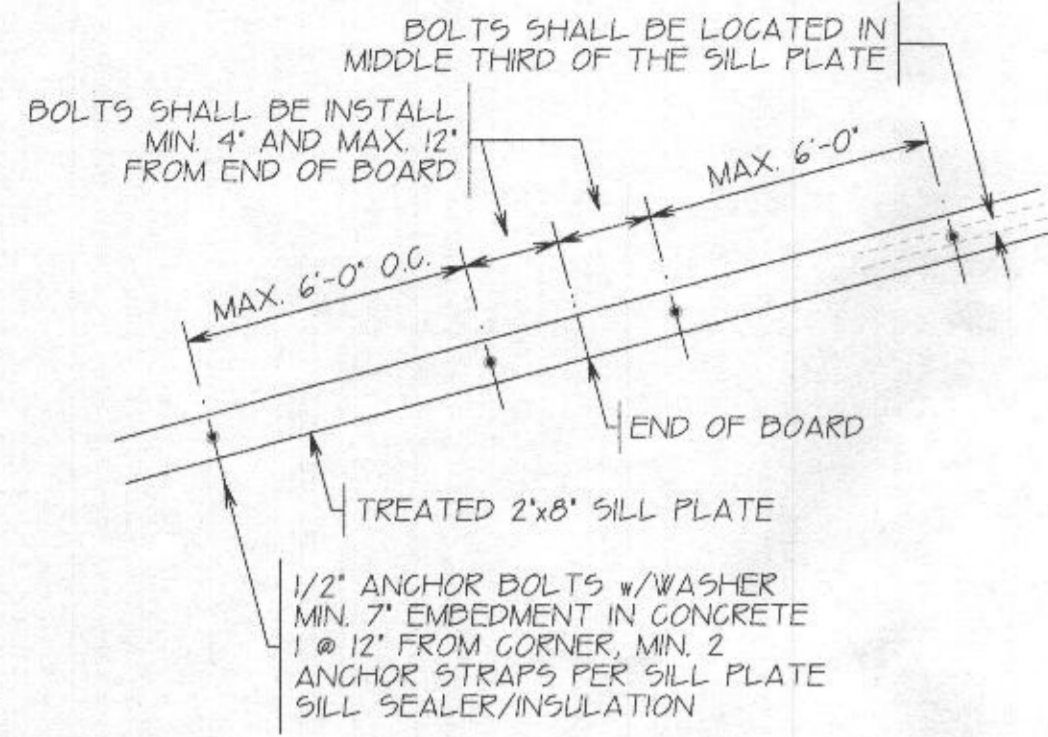
① - Proposed Water Well
 ② - Field Located Percolation
 No part of any septic disposal area has a slope of 15% or greater.

Prepared by
 NIT Assess
 Clark Bids
 Suite 207
 Columbia, Md. 21044
 321-0307

Owner: Howard Assoc
 Suite 105 - Clark
 Calverton, Md
 Deeds: Liber 680
 folio 157-2

J. Carl Hudgins
 J. Carl Hudgins PLS #96

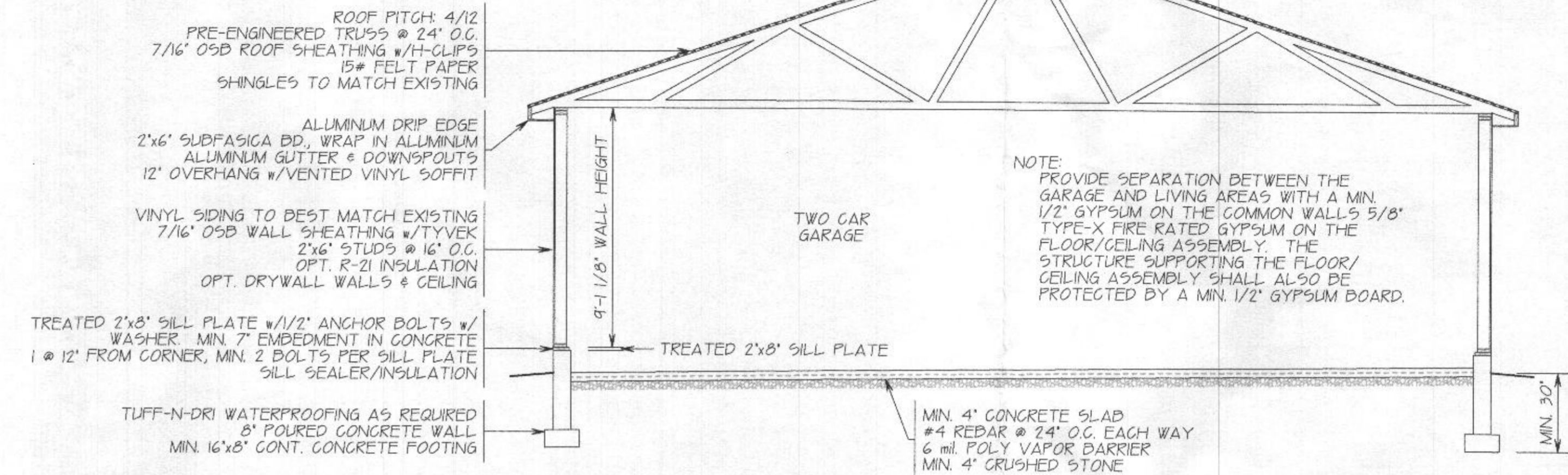
2 - 14' LVL: 3 ROWS OF 16d NAILS @ 12" O.C., 2' FROM TOP AND BOTTOM EDGE AND ONE ROW MID-DEPTH OF LVL
 3 - 175' x 11.875' LVL'S CONNECT PLIES TOGETHER WITH 3 ROWS OF 16d NAILS @ 12" O.C. (ONE ROW 2' FROM TOP AND BOTTOM EDGE, ONE ROW MID-DEPTH BETWEEN TOP AND BOTTOM ROWS ATTACHMENT IS FROM EACH FACE, OFFSET FASTENERS ON BACK FACE HALF-WAY BETWEEN FASTENERS ON FRONT FACE)



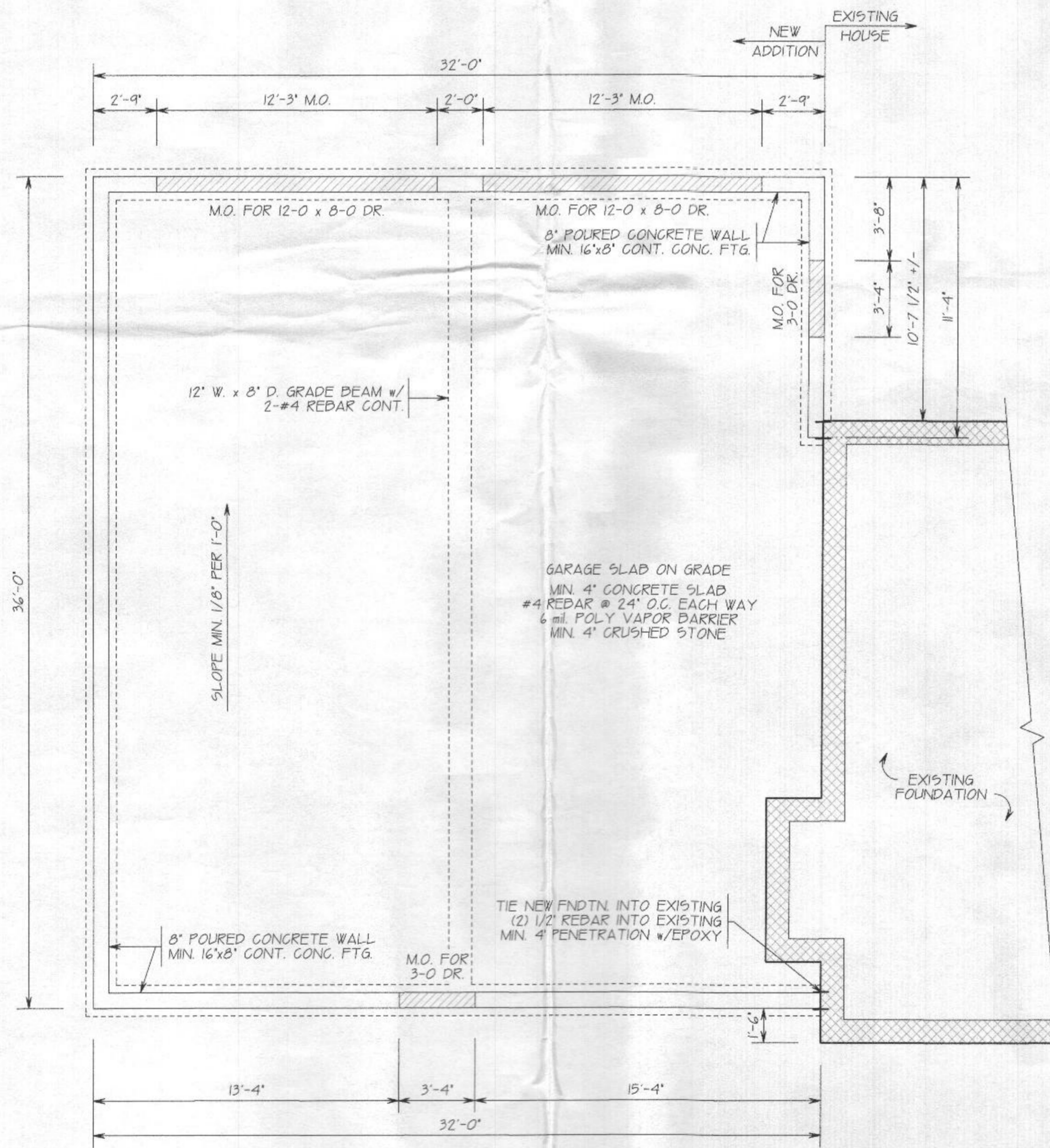
SILL PLATE DETAIL

| FASTENING SCHEDULE | | |
|----------------------------------------------------|--------------------------------------------------------------------------------------------------------------------|--|
| 1. JOISTS TO SILL OR GIRDER | (3) 8d COMMON (0.31" DIA x 2 1/2"), TOENAIL | |
| 2. BRIDGING TO JOIST | (2) 8d COMMON, TOE NAIL EACH END | |
| 3. SOLE PLATE TO JOISTS OR BLOCKING | 16d NAILS @ 16" o.c. | |
| 4. TOP PLATE TO STUD | (2) 16d COMMON (0.162" DIA x 3 1/2") END NAILS | |
| 5. STUD TO SOLE PLATE | (4) 8d COMMON OR (2) 16d COMMON | |
| 6. DOUBLE STUDS | 16d @ 24" o.c. | |
| 7. DOUBLE TOP PLATE | 16d @ 16" o.c. | |
| 8. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE | (3) 8d COMMON, TOENAIL | |
| 9. RIM JOISTS TO TOP PLATE | 8d @ 6" o.c. | |
| 10. TOP PLATE, LAPS AND INTERSECTIONS | (2) 16d COMMON | |
| 11. CONTINUOUS HEADER, TWO PIECES | 16d COMMON @ 16" o.c. | |
| 12. CONTINUOUS HEADER TO STUD | (4) 8d COMMON, TOENAIL | |
| 13. RAFTER TO TOP PLATE | (3) 8d COMMON, TOENAIL | |
| 14. BUILT UP CORNER STUDS | 16d @ 16" o.c. | |
| 15. BUILT UP GIRDER AND BEAMS | 20d @ 24" o.c. FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES, UNLESS NOTED ON DWG'S TO BE THROUGH BOLTED | |
| 16. COLLAR TIES TO RAFTER | (4) 12d FACE NAIL | |
| 17. JACK RAFTER TO HIP | (3) 10d COMMON, TOENAIL | |
| 18. ROOF RAFTER TO SINGLE 2x RIDGE BEAM | (2) 16d COMMON, TOENAIL | |
| 19. ROOF RAFTER TO RIDGE BEAM | JOIST HANGERS, MINIMUM 500 LB. SHEAR CAPACITY | |
| 20. JOIST TO RIBBON BOARD | (3) 16d, FACE NAIL | |
| 21. CORNER STUDS | 16d COMMON 12" o.c. FACE NAIL | |
| 22. WOOD STRUCTURAL WALL PANEL SHEATHING | 16d COMMON @ 6" o.c. INTO TOP PLATE, 8d COMMON @ 6" o.c. AT ALL EDGES AND 12" o.c. AT ALL OTHER LOCATIONS | |
| 23. PLYWOOD OR OSB DECKING LOCATIONS | 6d COMMON @ 6" o.c. AT EDGES, 12" o.c. AT ALL OTHER LOCATIONS | |

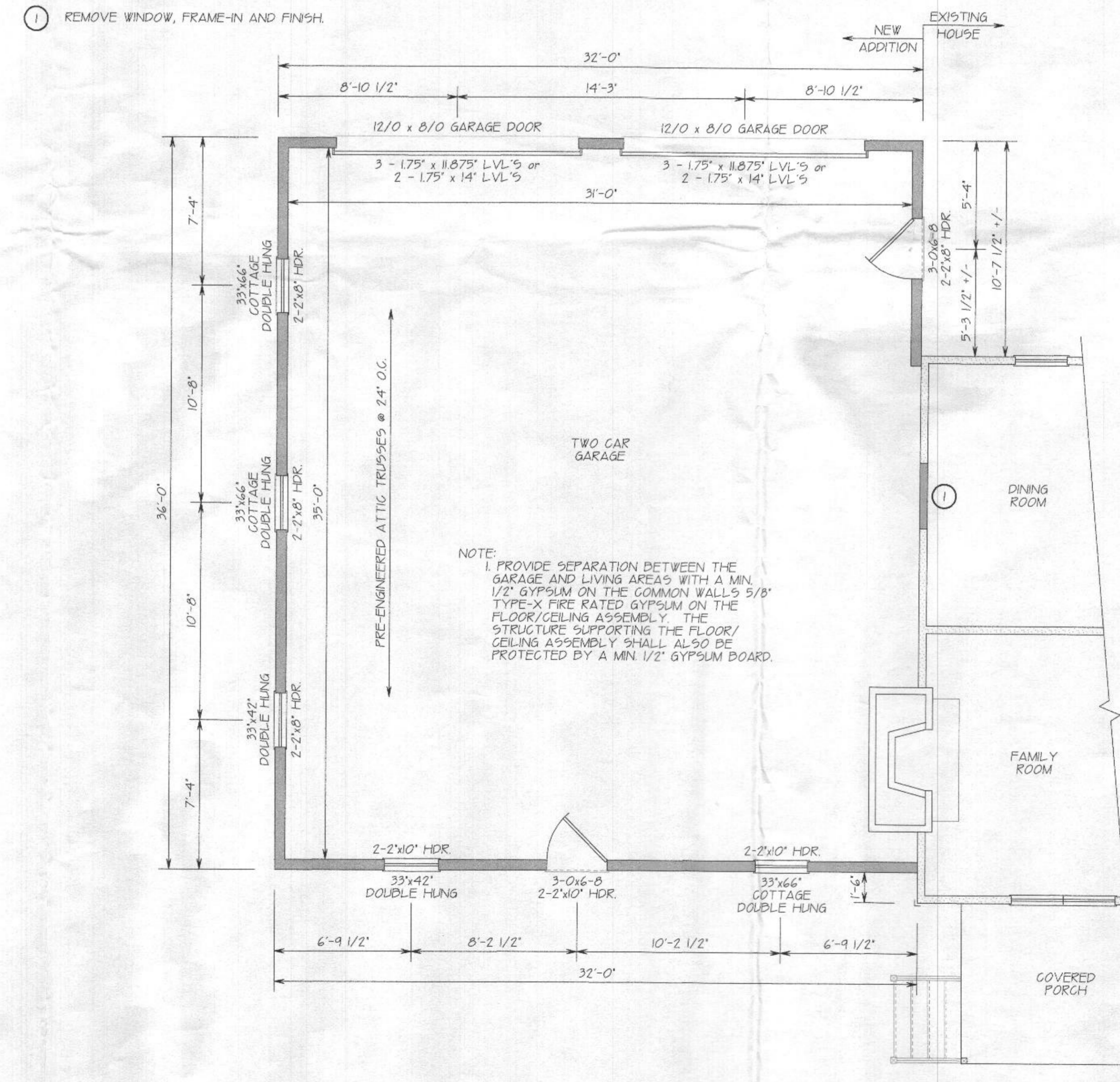
TRUSS CONFIGURATION SHOWN DIAGRAMMATICALLY ONLY CONSULT TRUSS MANUFACTURER FOR SPECIFICATIONS & ACTUAL CONFIGURATION. T.P.I. APPROVED



BUILDING SECTION



FOUNDATION PLAN



FLOOR PLAN

2021 INTERNATIONAL BUILDING CODE
 2021 INTERNATIONAL RESIDENTIAL CODE
 2021 INTERNATIONAL ENERGY CONSERVATION CODE
 2021 INTERNATIONAL MECHANICAL CODE
 2021 INTERNATIONAL PLUMBING CODE
 2021 NFPA 101 LIFE SAFETY CODE

PROJECT FOR:
 BASSELER RESIDENCE
 16480 FREDERICK RD,
 WOODBINE, MARYLAND 21797

DATE: 6-22-2022
 SCALE: 1/4" = 1'-0"
 DRAWN BY: P. GUGLIUZZA
 CHECKED BY: J.P. FINN

CREATIVE OUTLOOKS, LLC
 PHILIP F. GUGLIUZZA
 CUSTOM HOME PLANNING & DESIGN
 HOME ADDITION/REMODELING DESIGN
 COMPLETE CONSTRUCTION PLANS
 PHONE: 410-596-4062
 P6@CREATIVEOUTLOOKS@GMAIL.COM

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HOWARD COUNTY DESIGN CRITERIA

| GROUND SNOW LOAD | WIND DESIGN | | | | SEISMIC DESIGN CATEGORY | SUBJECT TO DAMAGE FROM | | | WINTER DESIGN TEMP. | ICE BARRIER UNDERLAYMENT REQUIRED | FLOOD HAZARDS | AIR FREEZING INDEX | MEAN ANNUAL TEMP. |
|------------------|-------------|---------------------|---------------------|----------------------|-------------------------|------------------------|------------------|---------|---------------------|-----------------------------------|---------------|--------------------|-------------------|
| | SPEED (MPH) | TOPOGRAPHIC EFFECTS | SPECIAL WIND REGION | WINDBORN DEBRIS ZONE | | WEATHERING | FROST LINE DEPTH | TERMITE | | | | | |
| 40 psf | 15 | NO | NO | NO | A | SEVERE | 30' | M-H | 20°F | YES | SEE MAP | 1500 | 55° F |

- BUILDING DESIGN**
- FROST LINE DEPTH: 30'
 - FLOOR LIVE LOADS:
 - A. LIVING AREA: 40 psf ADD 10 psf DEAD LOAD
 - B. SLEEPING AREAS & ATTIC STORAGE w/STAIRS: 30 psf ADD 10 psf DEAD LOAD
 - C. ATTIC STORAGE AREA: 40 psf
 - D. DECKS: 40 psf
 - ROOF LOADS:
 - A. 10 psf BOTTOM CHORD DEAD LOAD
 - B. 40 psf WITH NO REDUCTIONS ALLOWED
 - WIND SPEED DESIGN: 115 MPH 3 SECOND GUST
 - IRC 2021

- FOOTING**
- MINIMUM DEPTH FINISHED GRADE TO BOTTOM OF ALL FOOTINGS - 30" OR EXTENDED TO SOLID BEARING, WHICHEVER IS GREATER
 - FOOTER SIZE: MUST BE 8" THICK AND EXTEND A MIN. 4" BEYOND WALL ON EACH SIDE

- FOUNDATION**
- TOP OF WALL AT LEAST 6" ABOVE GRADE
 - AREAWAY DRAIN TIED TO SEALED SUMP PIT OF POSITIVE GRAVITY FLOW WITH 2" PIPE WITH MINIMUM 1/4" -1'-0" SLOPE OR 3" PIPE WITH 1/8"-1'-0"
 - POURED CONCRETE WALLS ENCLOSING AREAS BELOW GRADE MUST HAVE WALL TIES BROKEN OFF FLUSH WITH FACE AND COVERED WITH AN APPROVED WATERPROOFING

- COLUMNS**
- ALL SUPPORTING COLUMNS SHALL BE ANCHORED TOP & BOTTOM
 - ADJUSTABLE COLUMNS-SCREW DOWN ANCHORED IN CONCRETE TO PREVENT LATERAL DISPLACEMENT
 - ALL SURFACES OF STEEL COLUMNS SHALL BE GIVEN A SHOP COAT OF RUST INHIBITIVE PAINT

- PROTECTION AGAINST DECAY**
- ALL WOOD IN CONTACT WITH EARTH OR IN CONTACT WITH CONCRETE MUST BE PRESSURED TREATED
 - ALL FASTENERS FOR PRESSURED TREATED WOOD SHALL BE HOT-DIPPED, ZINC-COATED, GALVANIZED, STAINLESS STEEL, SILICON BRONZE, OR COPPER

- WALL CONSTRUCTION**
- INTERIOR LOAD-BEARING PARTITIONS SHALL BE CONSTRUCTED AND FIRE STOPPED AS EXTERIOR WALLS
 - FIRESTOP ALL CONCEALED SPACES OF STUD WALL PARTITIONS TO CUT OFF ALL CONCEALED DRAFT OPENING AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES AND ROOF

- WALL COVERING**
- SHINGE-TYVEK OR WATER RESISTIVE BARRIER REQUIRED UNDER VINYL SIDING
 - BRICK-1" AIR SPACE & 15# FELT PAPER OR OTHER APPROVED WEATHER-RESISTANT MATERIAL SHALL BE APPLIED OVER ALL EXTERIOR WALLS
 - FLASHING FOR MASONRY VENEER SHALL BE LOCATED BENEATH THE FIRST COURSE OF MASONRY ABOVE FINISHED GROUND LEVEL ABOVE THE FOUNDATION WALL OR SLAB
 - WEEP HOLES SHALL BE PROVIDED IN THE OUTSIDE WYTHE OF MASONRY WALLS AT A MAX. SPACING OF 36" ON CENTER, NO LESS THAN 3/16" IN DIAMETER
 - FLASHING SHALL BE USED AROUND WINDOWS AND DOORS, UNDER AND AT THE ENDS OF MASONRY, ABOVE ALL PROJECTING, WOOD TRIM, WARE PORCHES, DECK OR STAIRS ATTACHED TO A WALL OR FLOOR ASSEMBLY, ALL WALL AND ROOF INTERSECTIONS

- FLOOR SYSTEM**
- MINIMUM JOIST BEARING ON: WOOD-1 1/2", MASONRY-3"
 - JOIST HANGERS OR LAPPED MINIMUM 3" OVER BEAM
 - ENGINEERED FLOOR SYSTEM SHALL BE INSTALLED, BRACED AND BLOCKED PER MANUFACTURERS INSTRUCTIONS

- ROOF SYSTEM**
- TRUSSES SHALL BE BRACED TO PREVENT ROTATION AND PROVIDE LATERAL STABILITY IN ACCORDANCE WITH REQUIREMENTS SPECIFIED IN THE CONSTRUCTION DOCUMENTS OF D051-1-03 REQUIREMENTS. ALL CONSTRUCTION DOCUMENTS SHALL BE ON SITE

- VENT, ATTIC ACCESS**
- SOFFIT AND RIDGE VENT, OR GABLE VENT, NET FREE VENTILATION 1 sq ft FOR EVERY 150 sq ft OF THE AREA OF SPACE VENTILATED
 - PROVIDE READILY ACCESSIBLE 22"x30" ACCESS PANEL
 - PROVIDE A PULL DOWN STAIR WITH A 2" WIDE WALKWAY TO THE 30"x30" HVAC SERVICE PLATFORM WHEN A UNIT IS INSTALLED IN THE ATTIC

- ROOF**
- ROOF SLOPE 4" IN 12" BUT NOT LESS THAN 2" IN 12" ASPHALT SHINGLES AND 2 PLY #5 FELT SLOPE LESS THAN 2" IN 12" SHALL ICE AND WATER SHIELD
 - VALLEY, WALL AND OTHER FLASHING INSTALLED ACCORDING TO ASPHALT SHINGLES MANUFACTURERS PRINTED INSTRUCTIONS
 - KICK-OUT FLASHING SHALL BE USED WHERE WALL INTERSECT ROOF AREA
 - PROVIDE GRADE ICE AND WATER SHIELD (OR EQUAL) ALONG EDGE AND VALLEY

- CONCRETE FLOOR**
- 6 mil VAPOR BARRIER WITH JOINT LAPPED NOT LESS THAN 12" BETWEEN THE CONCRETE FLOOR SLAB AND THE BASE COURSE. VAPOR BARRIER MAY BE OMITTED FROM DETACHED GARAGES, UTILITY BUILDINGS, AND OTHER UNHEATED STRUCTURES
 - SLAB WITH FLOOR LEVELS LESS THAN 12" BELOW GRADE SHALL HAVE R-10 INSULATION IN ACCORDANCE WITH IECC
 - RADON SYSTEM SHALL BE INSTALLED IN ACCORDANCE WITH IRC 2012 AND LABELED WITH A CONTINUOUS ORANGE PAINT LINE THROUGHOUT THE STRUCTURE

- SAFETY GLASS**
- DOORS AND ENCLOSURE FOR HOT TUBS, WHIRLPOOLS, SPAS, BATHTUBS AND SHOWER GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE DRAIN INLET AND WITHIN 60" OF WATER'S EDGE

- SAFETY GLASS**
- GLAZING IN FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE
 - WINDOWS GREATER THAN 9 sq ft AND BOTTOM EDGE LESS THAN 18" ABOVE FLOOR; TOP EDGE GREATER THAN 36" ABOVE FLOOR; ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING. STAIRS

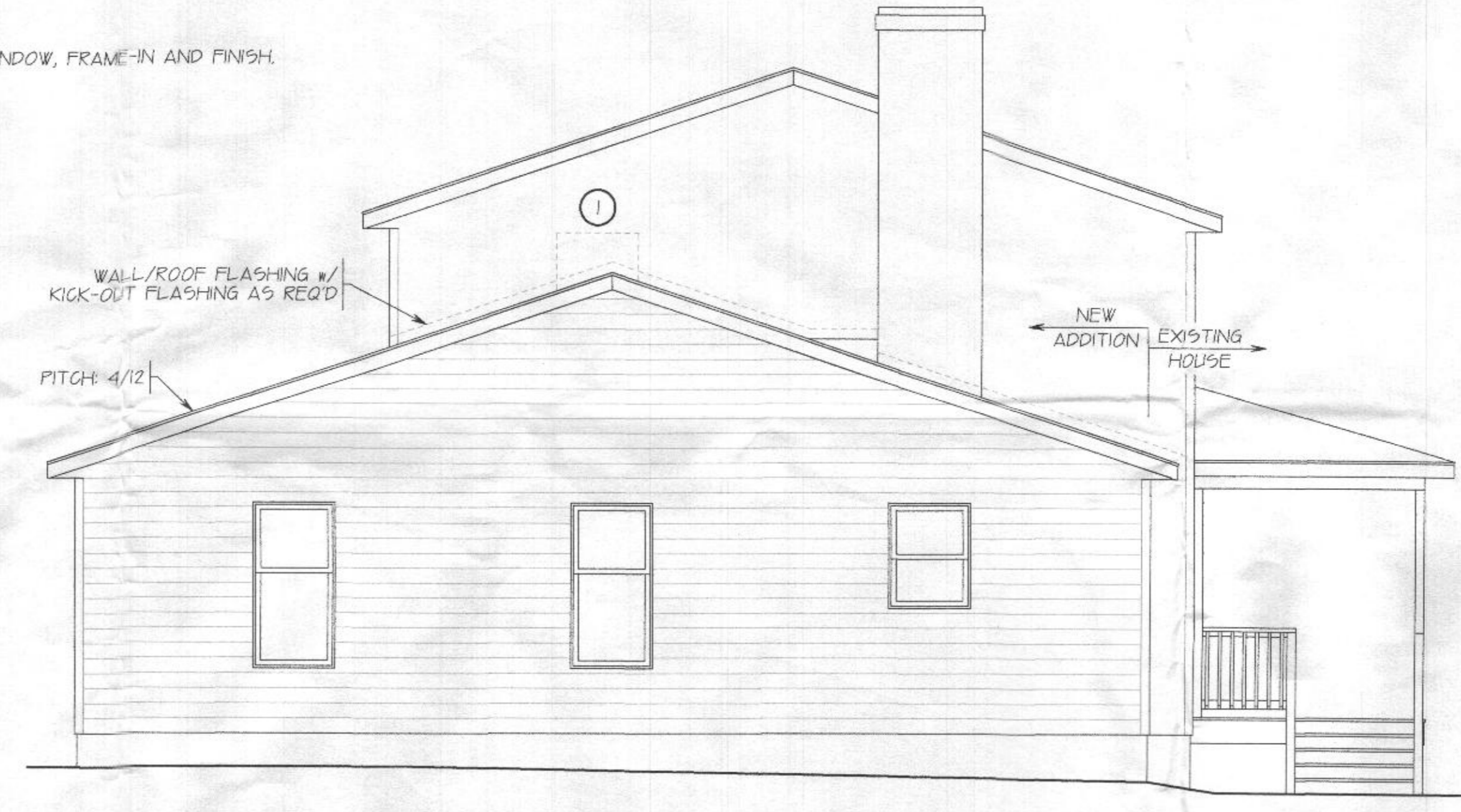
- EXITS**
- BASEMENT, HABITABLE ATTICS AND EVERY SLEEPING ROOM SHALL HAVE A LEAST ONE DOOR EXIT OR WINDOW WITH A NET CLEAR OPENING OF 5.7 sq ft WITH A MINIMUM OPEN WIDTH OF 20", A MINIMUM OPEN HEIGHT OF 24", AND A MAX. SILL HEIGHT FROM FLOOR OF 44" EXCEPT, GROUND FLOOR WINDOWS NET CLEAR OPENING REDUCED TO 5.0 sq ft

- SMOKE ALARMS**
- SMOKE ALARMS SHALL BE INSTALLED IN EACH SLEEPING ROOM OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS AND ON EACH ADDITIONAL STORY OF THE BUILDING, INCLUDING BASEMENT AND CELLARS
 - ALL ALARMS SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL THE ALARMS IN THE UNIT AND PROVIDE AN ALARM WHICH WILL BE AUDIBLE IN ALL SLEEPING AREA
 - WHEN ONE OR MORE SLEEPING ROOMS ARE ADDED OR CREATED IN AN EXISTING DWELLING OR ADDITION, THE ENTIRE BUILDING SHALL BE PROVIDED WITH SMOKE ALARMS AS REQUIRED FOR NEW BUILDING
 - SMOKE ALARMS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING AND SHALL RECEIVE BACKUP POWER FROM A BATTERY
 - CARBON MONOXIDE ALARMS OUTSIDE EACH BEDROOM IN UNITS WITH FUEL-FIRED APPLIANCES/ ATTACHED GARAGES

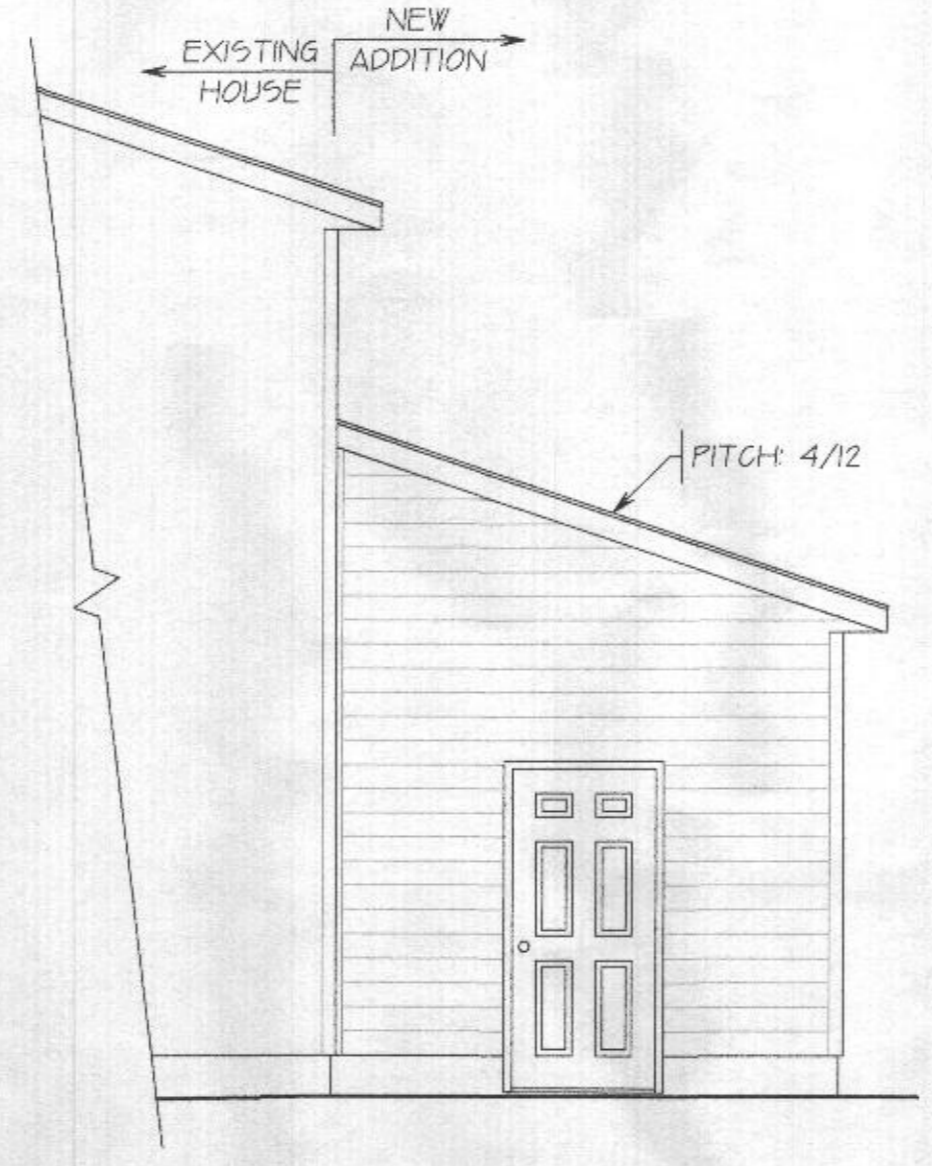


FRONT ELEVATION

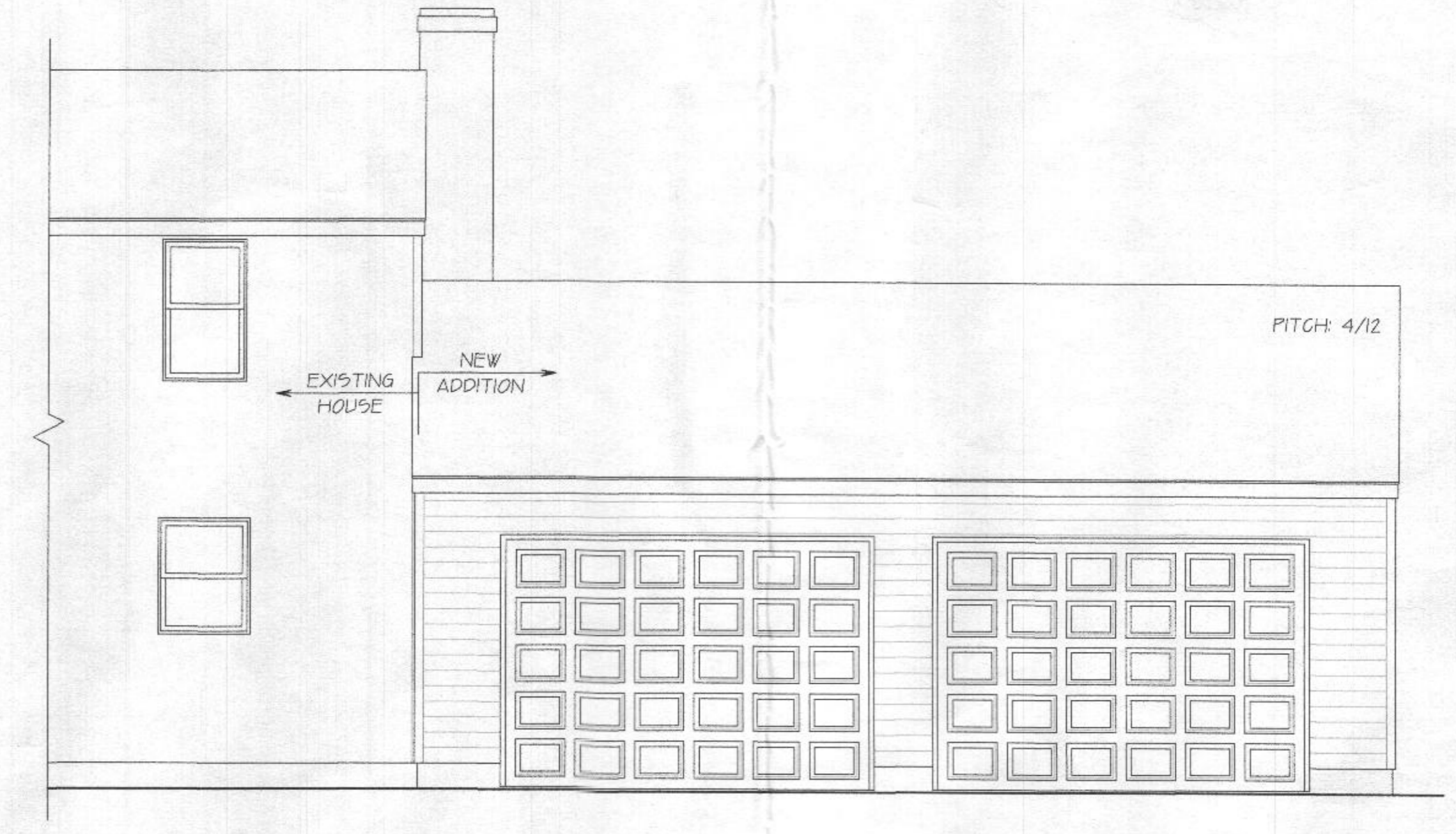
① REMOVE WINDOW, FRAME-IN AND FINISH.



LEFT SIDE ELEVATION



RIGHT SIDE ELEVATION

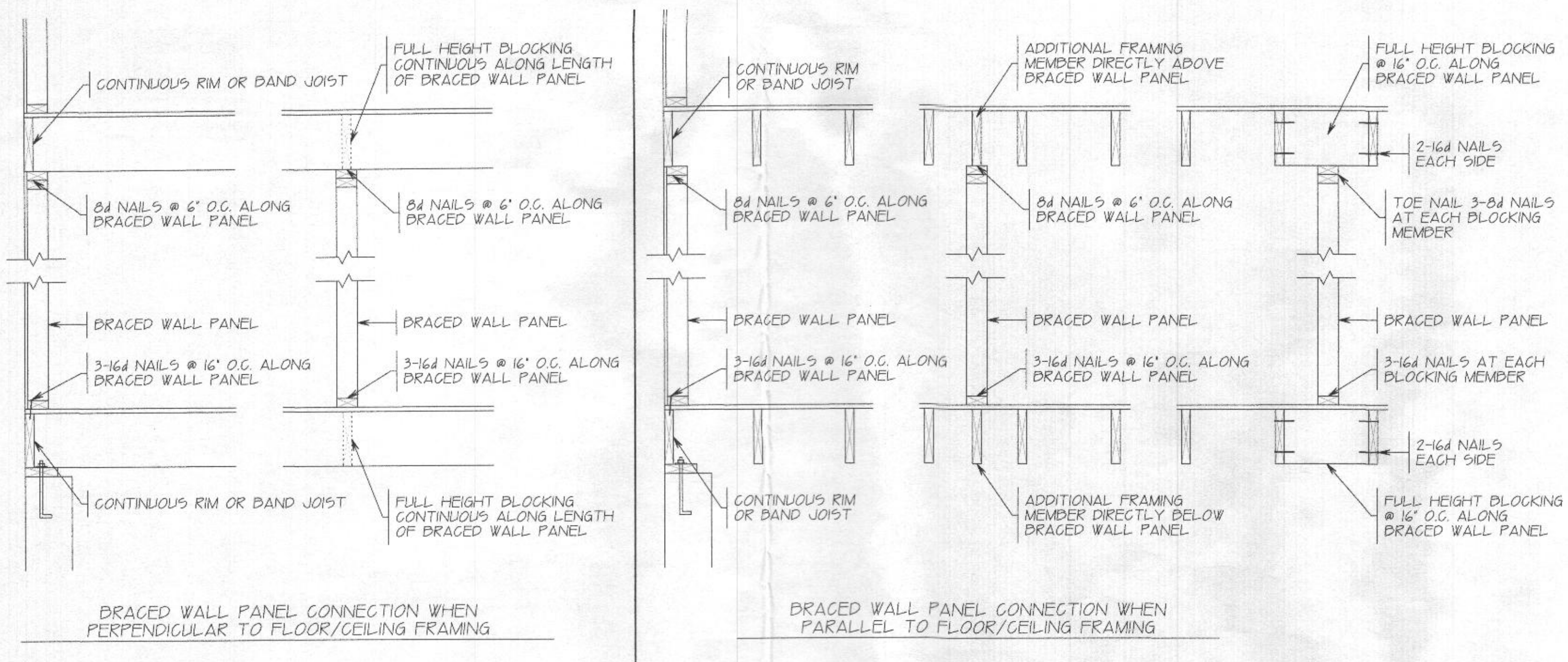


REAR ELEVATION

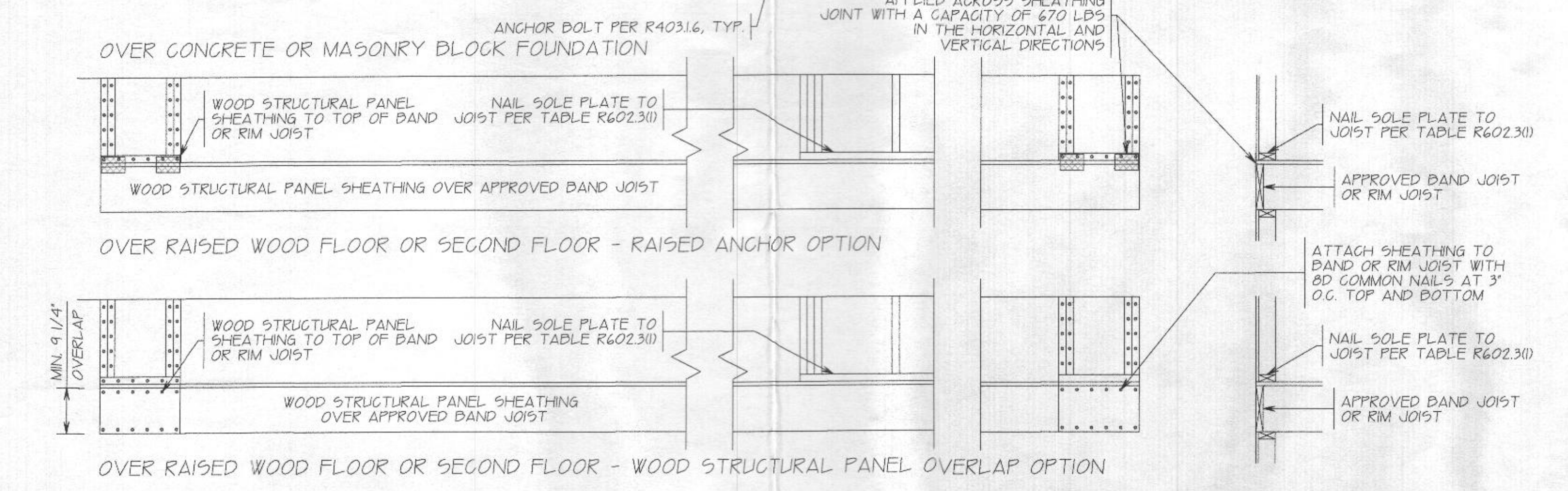
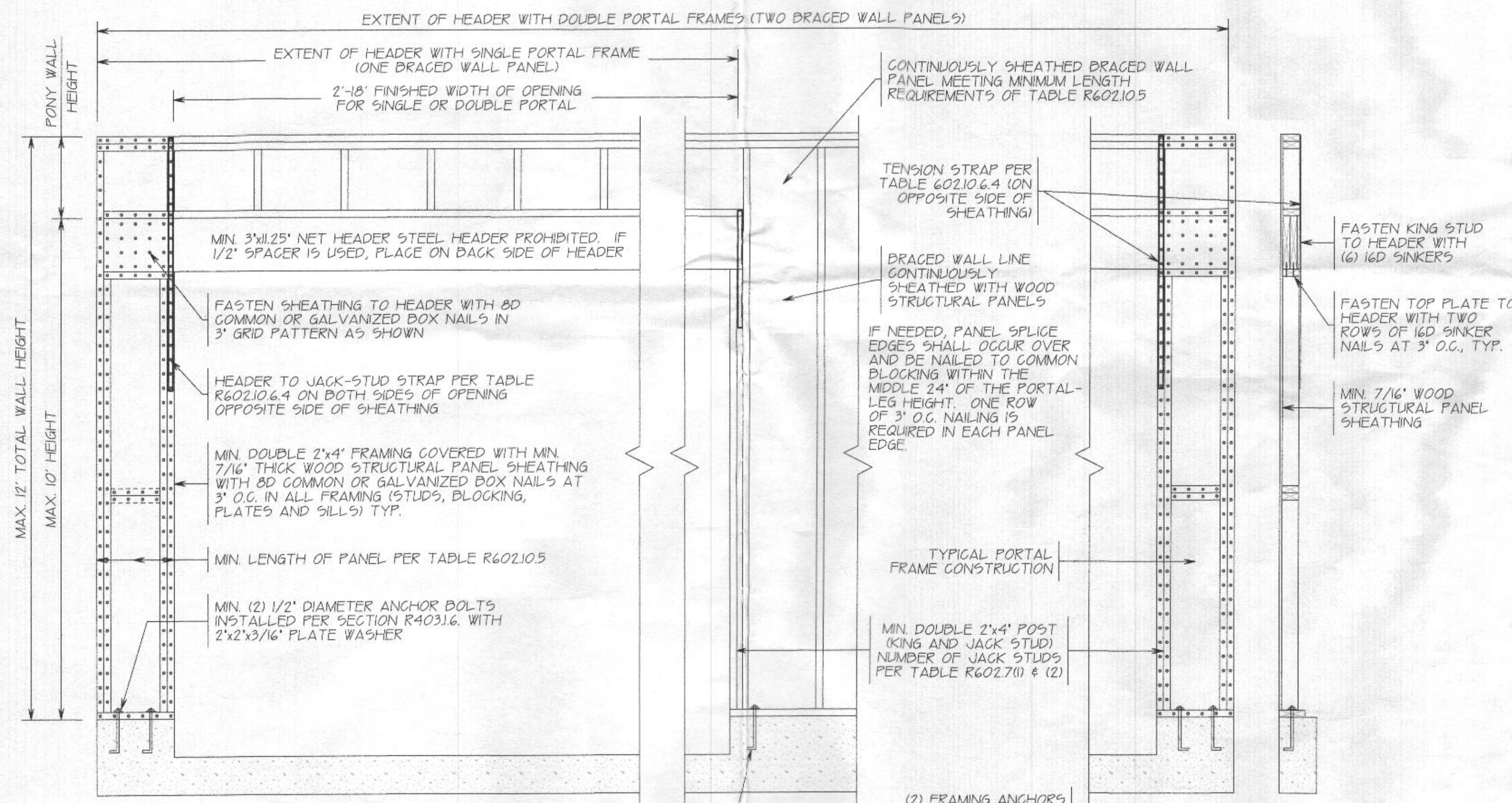
ELEVATIONS
 PROJECT FOR: **BASSLER RESIDENCE**
 16480 FREDERICK RD,
 WOODBINE, MARYLAND 21797
 DATE: 6-22-2022
 SCALE: 1/4" = 1'-0"
 DRAWN BY: P. GIUGLIUZZA
 REVIEWED BY: J.P. FINN

CREATIVE OUTLOOKS, LLC
 PHILIP F. GIUGLIUZZA
 CUSTOM HOME PLANNING & DESIGN
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 PHONE: 410-596-1062
 PFC@CREATIVEOUTLOOKS.COM

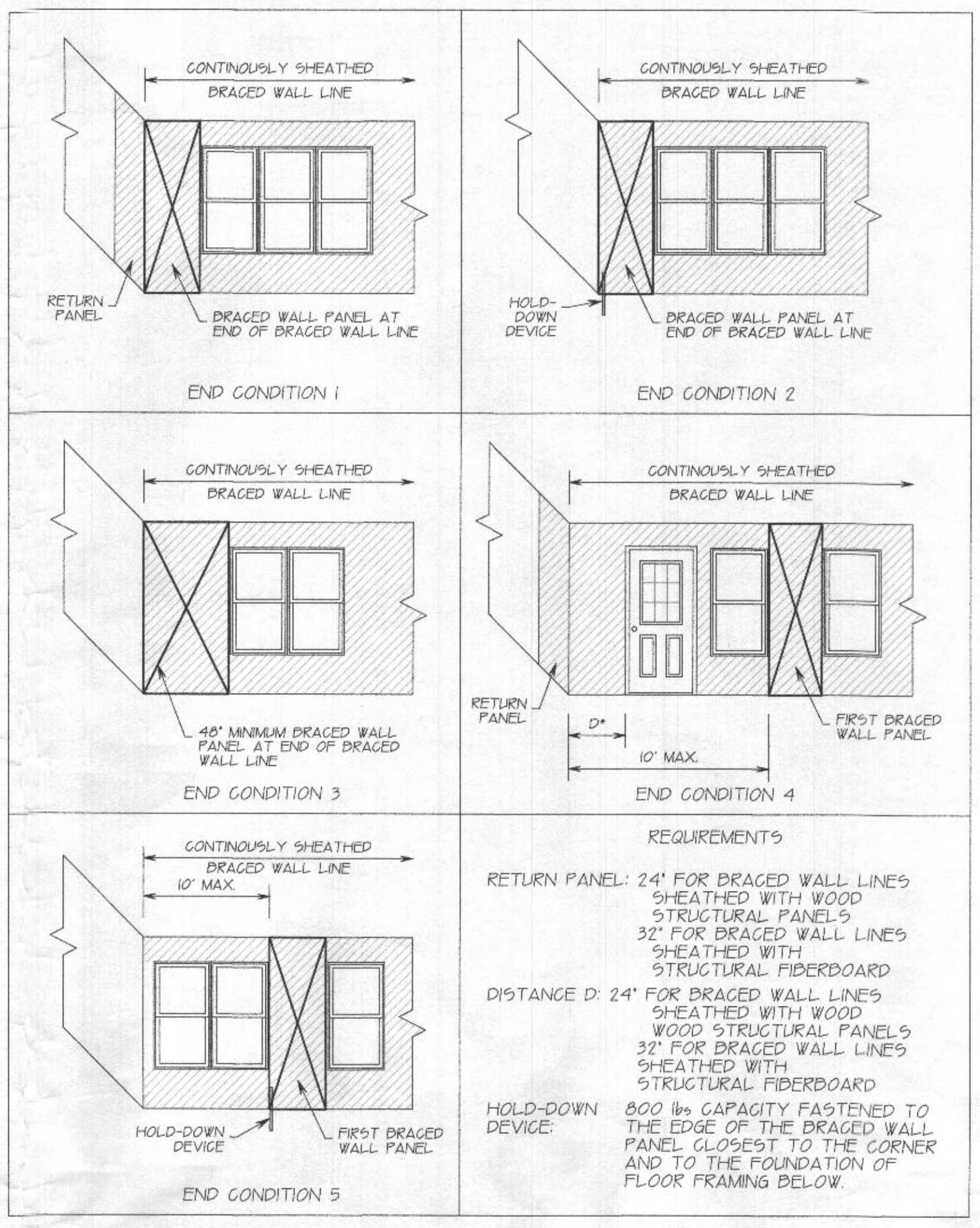
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BRACED WALL CONNECTION TO FLOOR/CEILING



PORTAL WALL DETAIL PER TABLE R602.10.6.4 IRC 2021



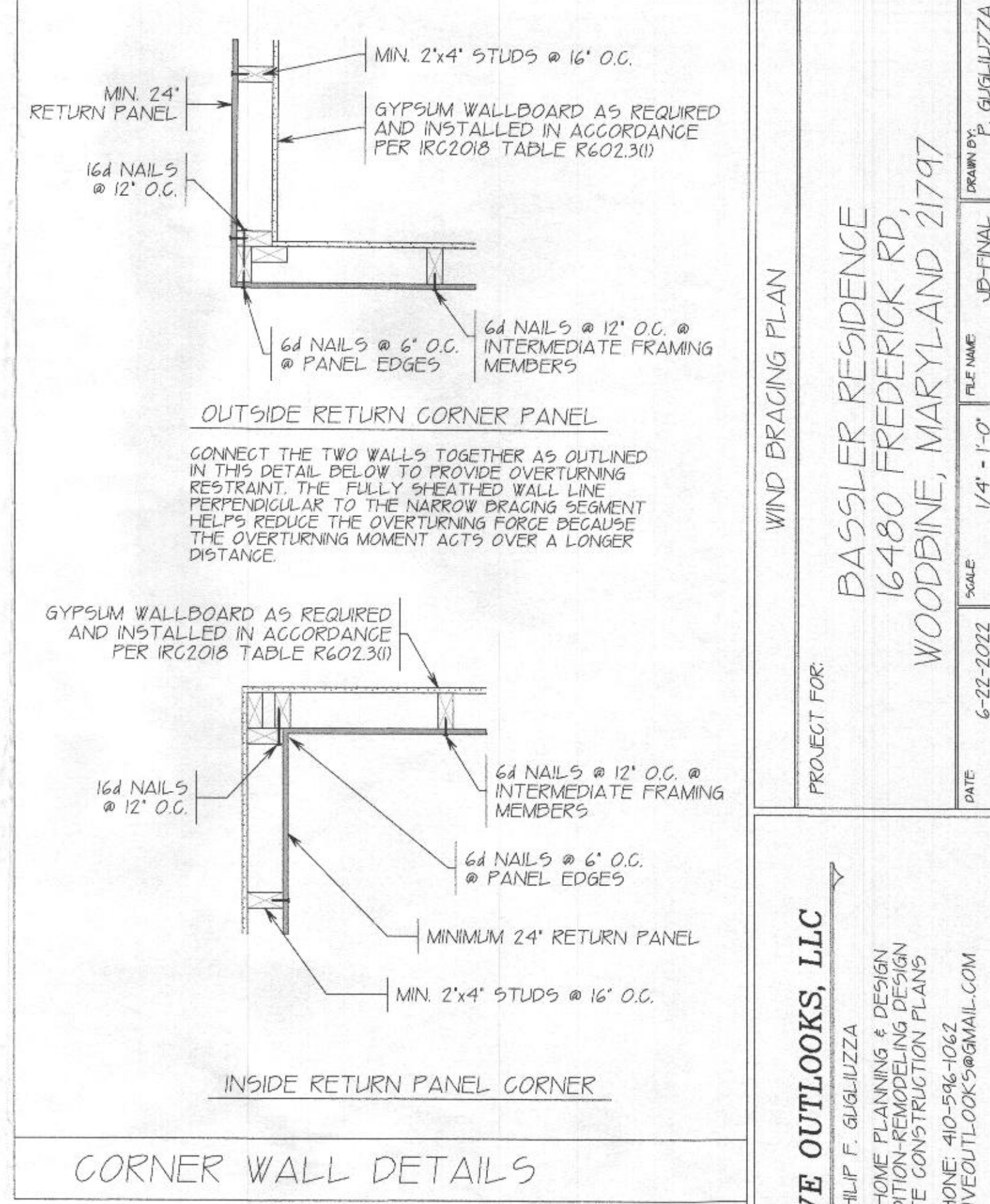
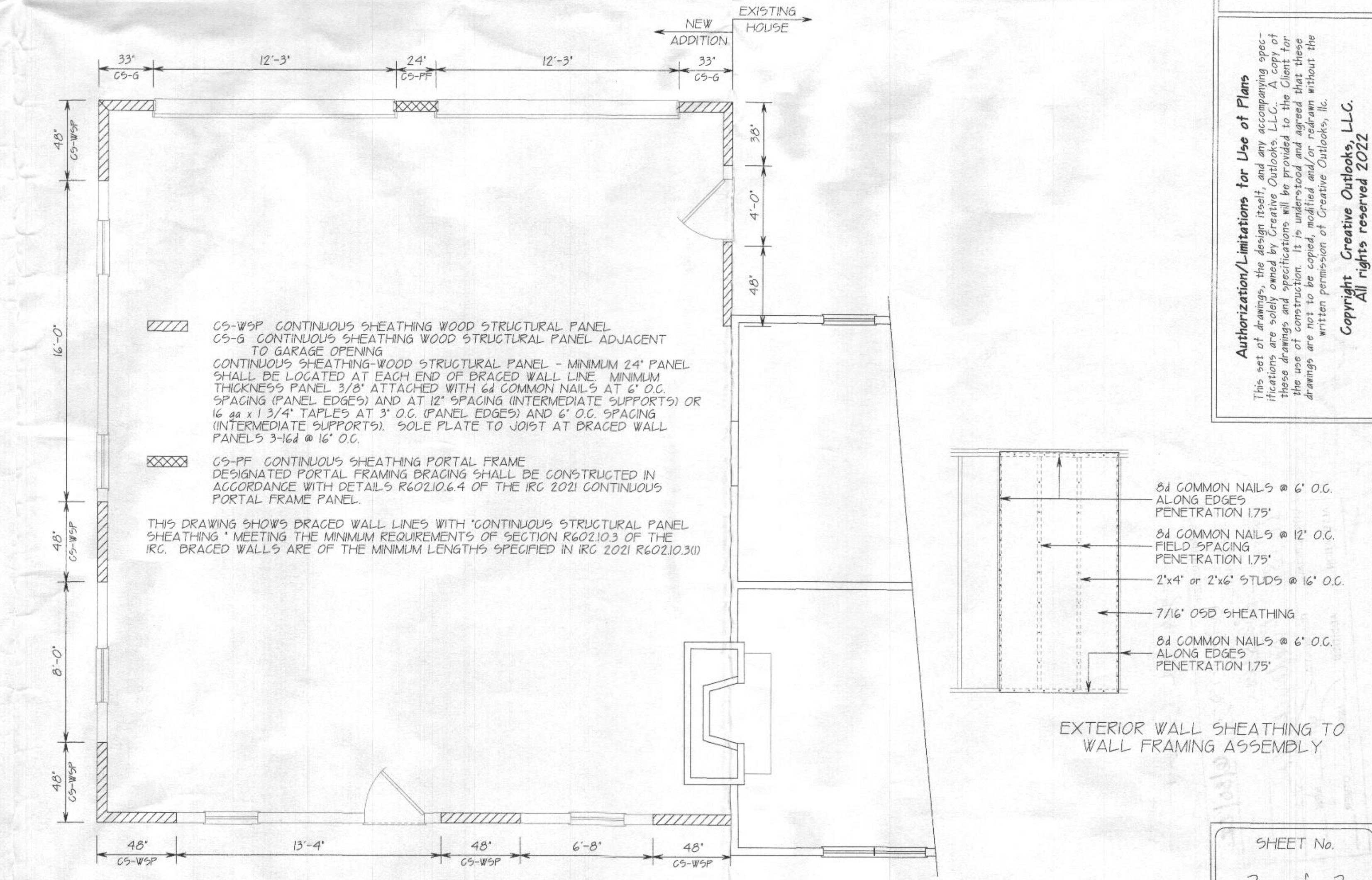
REQUIREMENTS

RETURN PANEL: 24' FOR BRACED WALL LINES SHEATHED WITH WOOD STRUCTURAL PANELS
 32' FOR BRACED WALL LINES SHEATHED WITH STRUCTURAL FIBERBOARD

DISTANCE D: 24' FOR BRACED WALL LINES SHEATHED WITH WOOD STRUCTURAL PANELS
 32' FOR BRACED WALL LINES SHEATHED WITH STRUCTURAL FIBERBOARD

HOLD-DOWN DEVICE: 800 lbs CAPACITY FASTENED TO THE EDGE OF THE BRACED WALL PANEL CLOSEST TO THE CORNER AND TO THE FOUNDATION OF FLOOR FRAMING BELOW.

END CONDITIONS FOR BRACED WALL LINES FIGURE R602.10.7 IRC 2018



WIND BRACING PLAN

PROJECT FOR: BASSLER RESIDENCE
 16480 FREDERICK RD,
 WOODBINE, MARYLAND 21797

CREATIVE OUTLOOKS, LLC
 PHILIP F. GUGLIUZZA
 CUSTOM HOME PLANNING & DESIGN
 HOME ADDITION-REMODELING DESIGN
 COMPLETE CONSTRUCTION PLANS

DATE: 6-22-2022
 SCALE: 1/4" = 1'-0"
 DRAWN BY: P. GUGLIUZZA
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