

Approved 2/22/22
- H.O.

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Addition/SFD	B21004868	12/20/2021
Description of Work		
SFD/ Demo interior walls and build an addition (23' 10" by 35' 9") on the south side of the building based on the new plan. new manufacture roof truss for entire the house., 1 STORY, Slab on Grade, 7R, 2FB, 1HB, OFP, OTHER STRUCTURE = None, 3BR, PORCH/DECK = NA, ENERGY METHOD = Prescriptive Method, /**12.21.21 PLANS RECEIVED FOR ONLINE PERMIT**/		

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
7965	HARRIET TUBMAN	LN	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-76.88304	39.18731
City	State	Zip Code	Primary
COLUMBIA	MD	21044	Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
653269	333	21997	240400	307900	67500	COLUMB
Legal Description						
MPSLOT 2 .505 AR 7965 HARRIET TUBMAN LN SIMPSONVILLE						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	2	605602	4				
Plan Area	State Tax Id	Subdivision Name					
	1405361389						
Section	Area	Tax Map					
		35					
Grid	Zoning District	ADC Map					
35-24	R-SC	5052-J1					
SDP No.	Final Plan No.	WP File No.					
Record Plat No.	WS Contract No.	FDP No.					
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input checked="" type="radio"/> No	1948	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-12C	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner (This section is not required.)

Search Reset Clear

Name *		
DATIS Real Estate LLC		
Address Line 1		
3444 Ellicott Center dr ste 203		
Address Line 2		
SUITE 200		
Address Line 3		
Mail City	Mail State	Mail Zip Code
Ellicott city	MD	21043
Phone	Primary	
202-999-5987	Yes	
E-mail		
info@datisholdings.com		
Cell Number	Fax Number	

Professionals (This section is not required.)

Search Reset Clear

License # * 08010110793 Business Name DATIS CONSTRUCTION LLC

License Type * MHIC Ind POOYAN NOORI

Primary Address Line 1 3444 ELLICOTT CENTER DR STE 203

Address Line 2

City ELLICOTT CITY State MD ZIP Code 21043-0000

Phone 1 9107285511 Phone 2 Fax

E-mail POOYAN.NK@GMAIL.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type * Applicant POOYAN NOORI

Relationship Applicant POOYAN NOORI

Primary No

Organization Name DATIS CONSTRUCTION LLC

Street Address 3444 ELLICOTT CENTER DR STE 203

Address Line 2

City ELLICOTT CITY State MD Zip Code 21043-0000

Phone 9107285511 Cell Fax

E-mail * POOYAN.NK@GMAIL.COM

Contact (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type Contact POOYAN NOORI

Relationship Licensed Professional POOYAN NOORI

Primary Yes

Organization Name DATIS CONSTRUCTION LLC

Street Address 3444 ELLICOTT CENTER DR STE 203

Address Line 2

City ELLICOTT CITY State MD Zip Code 21043-0000

Phone 9107285511 Cell Fax

E-mail POOYAN.NK@GMAIL.COM

Addtl Info

Est Construction Cost * 80000 Housing Units * 0 Number of Buildings * 0 Public Owned No

Construction Type 434 - Additions, Alterations and Conversions - Residential

RESIDENTIAL ADDITION INFORMATION

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee * No Capital Project Number Fee Exempt * No Roadside Tree Project Permit Roadside Tree Project Permit #

No of Stories * 1 Foundation * Slab on Grade Basement * N/A No of Rooms * 7 Full Baths * 2 Half Baths * 1 Existing Use Existing Structure

SFD/ Demo interior walls and build an addition (23' 10" by 35' 9") on the south side of the building based on the new plan. new manufacture roof. check spelling

Other Structure * None Bedrooms * 3 Porch Deck * N/A No of Fireplaces * 0 Type of Fireplace --Select-- Energy Code * Prescriptive Method

W & S Fees Paid Water * Public Sewage * Private Utilities * Electric Heating System * Electric Sprinkler System * None Road Frontage --Select--

1st Floor Width 1st Floor Depth 2nd Floor Width 2nd Floor Depth Basement Width Basement Depth Height

<input type="text"/> FT	<input type="text"/> FT	<input type="text"/> FT	<input type="text"/> FT	<input type="text"/> FT	<input type="text"/> FT	<input type="text"/> FT
Total Square Footage *	Occupiable Square Footage *	Affordable Housing Funding		Foundation Measurement	Footings	
<input type="text"/> 777 SQFT	<input type="text"/> 1838 SQFT	<input type="text"/> --Select--		<input type="text"/>	<input type="text"/>	
Walls	Roof	Change In Use	Grading Permit No			
<input type="text"/> Additional Description Info		<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="text"/> Expiration Date		
<input type="text"/>		<input type="text"/>		<input type="text"/> 6/19/2022		

PAYMENT INFORMATION

Check 1	Payee 1	Check 2	Payee 2	SAP Doc No	SAP Entered
<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>	<input type="text"/>

Submit Cancel



South Carroll Backhoe, Inc.
4410 Salem Bottom Road • Westminster, Maryland 21157
Phone: 875-4197

February 18, 2022

Datis Real Estate, LLC.
3444 Ellicott Center Drive
Suite 203
Ellicott City, MD 21043

To Whom It May Concern:

South Carroll Backhoe, Inc. pumped and filled the septic tank with dirt at 7965 Harriet Tubman Lane. Dug and uncovered pipe on outlet of septic tank and found it to be connected to drainfield.

Sincerely,

SOUTH CARROLL BACKHOE, INC.

A handwritten signature in black ink, appearing to read "Donald C. Schissler", written over a faint, larger outline of the signature.

Donald C. Schissler
Vice President

WATER WELL ABANDONMENT-SEALING REPORT FORM

SUBMIT COPIES OF COMPLETED FORM TO:

- * COUNTY ENVIRONMENTAL AGENCY (contact MDE, WMA if address needed)
- * WELL OWNER
- * MDE, WATER MANAGEMENT ADMINISTRATION, WELL PROGRAM

DATE WELL ABANDONED: 2-9-22 (month/day/year)

* PERMIT NUMBER OF ABANDONED WELL (if any)

Ho-73-3884

* PERMIT NUMBER OF REPLACEMENT WELL:

- N/A -

* PERSON ABANDONING WELL: Andrew Henson

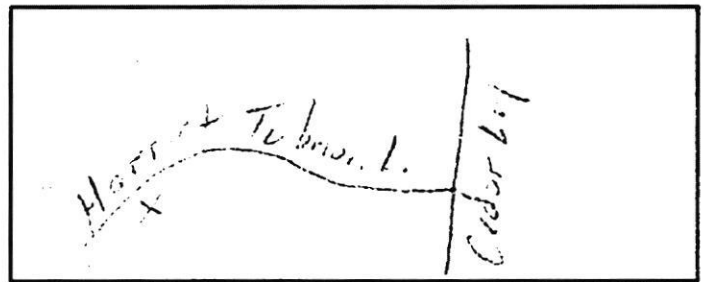
WELL DRILLER'S LICENSE NUMBER: 224

* OWNER'S NAME: Doris Real Estate, LLC

CIRCLE: MWD / MSD / MGD

* WELL LOCATION:
 COUNTY: Howard
 NEAREST TOWN: Columbia
 TAX MAP 0025 BLOCK 0023 PARCEL 0333
 SUBDIVISION: Simpsonville
 SECTION: _____ LOT: 2
 STREET ADDRESS: 7965 Hickory & Tulwood Lane

SITE LOCATION MAP



LATITUDE 39.182116

LONGITUDE 76.883195

LOG OF SEALING MATERIAL

MATERIAL	FEET	
	FROM	TO
<u>Bestant</u>	<u>377</u>	<u>0</u>
VOLUME OF MATERIAL USED		
<u>Bestant</u>	<u>2750</u>	<u>lbs</u>

* TYPE OF WELL BEING ABANDONED:
 DRILLED _____ JETTED
 _____ BORED _____ HAND DUG
 _____ OTHER (specify) _____

* USE CODE:
 DOMESTIC _____ MUNICIPAL/PUBLIC
 _____ IRRIGATION _____ INDUSTRIAL
 _____ TEST/OBSERVATION _____ GEOTHERMAL

* TYPE OF CASING:
 STEEL _____ PLASTIC
 _____ CONCRETE _____ OTHER (specify) _____

SIZE OF CASING: 6 INCHES IN DIAMETER

DEPTH OF WELL: 377 FEET DEEP

WAS ANY CASING REMOVED? _____ YES NO
 If yes, length removed, in feet: _____

WAS CASING RIPPED OR PERFORATED? _____ YES NO

SIGNATURE-MASTER WELL DRILLER OR SUPERVISING SANITARIAN LICENSE# _____

224 MWD / MSD / MGS 2-11-21

CIRCLE ONE

DATE

OWNER

Pursuant to § 10-624 of the State Govt. Article of the Maryland Code, personal info requested on this form is used in processing this form pursuant to COMAR 26.04.04. Failure to provide the info may result in this form not being processed. You have the right to inspect, amend, or correct this form. The Maryland Department of the Environment is subject to the Maryland Public Information Act. This form may be made available on the Internet via MDE's website and is subject to inspection or copying, in whole or in part, by the public and other governmental agencies, if not protected by federal or State Law.

OFFICE USE ONLY

OFFICE USE ONLY

CONTROL NO. _____
 PERMIT NO. _____
 INSPECTED BY _____
 DATE INSPECTED: _____
 BoU Approved: Boy Hooc

SEWER CONNECTION APPLICATION

HOWARD COUNTY

DEPARTMENT OF PUBLIC WORKS

3430 COURT HOUSE DRIVE ELLICOTT CITY, MD 21043

APPLICATION NO. 3100000000-999999
 CONTRACT NO.: 3273
 REBATE CONTRACT NO.: _____
 SEWER ZONE: _____
 CONNECTION WORKSHEET Y ___ N X

Account No. N/A

FILL OUT APPLICATION COMPLETELY AND SIGN BELOW. IF LOCATION INFORMATION IS UNKNOWN, CONTACT THE OFFICE OF PLANNING AND ZONING (DPZ) FOR HOUSE NUMBER, STREET NAME, ETC. NOTE: COMMERCIAL AND INDUSTRIAL FACILITIES MAY BE SUBJECT TO REQUIREMENTS OF THE COUNTY CODE FOR SEWER SURCHARGES, INDUSTRIAL COST RECOVERY CHARGES, AND PRETREATMENT.

DATE OF APPLICATION _____

Application is herewith made for a water house connection to the property described below.

SUBDIVISION _____ SECTION _____ AREA _____ LOT ? BLOCK _____
 HOUSE NO. 7965 STREET Harriet Tubman Ln TAX MAP 35 GRID 23 PARCEL 3333
 CITY, STATE Columbia Md ZIP CODE 21044 PHONE NO. _____

NEW OR EXISTING BUILDING? Existing USE (SEE PROPERTY CLASSIFICATIONS ON REVERSE SIDE) _____

ITEMS CHECK	CONNECTION TYPE	CON. DIA.	CHARGES DESCRIPTION	CHARGES AMOUNT	FUND	BA	G/L
<input checked="" type="checkbox"/>	SEWER CONNECTION	4"	INSTALLATION	Under Capital job 4,500.00	7010009000	3100	431185
<input type="checkbox"/>	SEWER CONNECTION	6"	INSTALLATION		7010009000	3100	431185
<input type="checkbox"/>	SEWER CONNECTION	8"	INSTALLATION - ADO		7010003000	1300	102998
<input checked="" type="checkbox"/>			IN-AID-OF CONSTRUCTION AMOUNT CHARGED BASED ON METER SIZE	600.00	7030015100	3100	422000
<input type="checkbox"/>	ADO OR SURETY #		ADVANCED DEPOSIT ORDER OR SURETY DEPOSIT AMOUNT		7010003000	1300	102998
<input type="checkbox"/>			INSPECTION FEE AND PERMIT FEE		7010010000	3100	431105

*Refer to DPZ for estimates of Advanced Deposit (ADO). For installations requiring an ADO, the owner must enter into a cost agreement with Howard County prior to the commencement of any installation work.

\$5,100.00
 TOTAL DUE

DATE _____
 CR # _____

THE INFORMATION REQUESTED BELOW MUST BE LEGIBLE FOR BILLING/REFUND PURPOSES.

COMPANY NAME Datis Real Estate LLC
 COMPANY ADDRESS 3444 Ellicott center Dr #203
 OWNER SIGNATURE Ellicott city MD 21043
 OWNER NAME (PRINT) _____
 OWNER ADDRESS Booyen Boon
3444 Ellicott center Dr #203
Ellicott city MD 21043

FULL FEE MUST ACCOMPANY THIS COMPLETE APPLICATION, MAKE CHECKS PAYABLE TO: DIRECTOR OF FINANCE, HOWARD COUNTY CREDIT CARDS ARE NOT ACCEPTED.

THE TERMS & CONDITIONS OF THIS APPLICATION, INCLUDING ANYTHING ON THE REVERSE SIDE HEREOF ARE BINDING UPON THE OWNERS SIGNATURE & ALL SUCCEEDING OWNERS.

OFFICE USE ONLY

WATER CONNECTION APPLICATION HOWARD COUNTY

DEPARTMENT OF PUBLIC WORKS
 3430 COURT HOUSE DRIVE ELLICOTT CITY, MD 21043
 695139

OFFICE USE ONLY

CONTROL NO.: _____
 PERMIT NO.: _____
 INSPECTED BY: _____
 DATE INSPECTED: _____
 BoU Approved: Roy Hooe

APPLICATION No: _____
 CONTROL No: _____
 REBATE CONTRACT No: 3273
 WATER SOURCE: _____
 WATER ZONE: 550
 CONNECTION WORKSHEET Y ___ N X

FILL OUT APPLICATION COMPLETELY AND SIGN BELOW. IF LOCATION INFORMATION IS UNKNOWN, CONTACT THE OFFICE OF PLANNING AND ZONING (DPZ) FOR HOUSE NUMBER, STREET NAME, ETC.

Application is herewith made for a water house connection to the property described below:

SUBDIVISION _____ SECTION _____ AREA TAX MAP _____ LOT 2 BLOCK _____
 HOUSE NO. 7965 STREET Harriet Tubman Ln GRID 23 PARCEL 333
 CITY STATE Columbia Md ZIP CODE 21044 PHONE NO. _____
 NEW OR EXISTING BUILDING? New USE (SEE PROPERTY CLASSIFICATIONS ON REVERSE SIDE) _____

ITEMS CHECK	CONNECTION TYPE	CON DIA.	METER SIZE	CHARGES DESCRIPTION	CHARGES AMOUNT	FUND	BA	G/L
<input type="checkbox"/>	WATER CONNECTION	1"	3/4"	INSTALLATION METER ONLY		7010009000	3100	431185
<input checked="" type="checkbox"/>	WATER CONNECTION	1 1/2"	1"	INSTALLATION METER ONLY	208.00	7010009000	3100	431185
<input type="checkbox"/>	LARGE METER CONNECTION (1 1/2" & LARGER) ADO REQUIRED FOR 3" & UP			INSTALLATION METER ONLY		7010009000	3100	431185
<input type="checkbox"/>	FIRE PROTECTION CONNECTION			INSTALLATION METER ONLY		7010000000	3100	431179
<input checked="" type="checkbox"/>				IN-AID-OF-CONSTRUCTION AMOUNT CHARGED BASED ON METER SIZE	600.00	7030011100	3100	422000
<input checked="" type="checkbox"/>	ADO OR SURETY #			ADVANCED DEPOSIT ORDER OR SURETY DEPOSIT AMOUNT	1,500.00	7010003000	1300	102998
<input checked="" type="checkbox"/>				INSPECTION FEE AND PERMIT FEE	300.00	7010010000	3100	431105

*Refer to DPZ for estimates of Advanced Deposit (ADO). For installations requiring an ADO, the owner must enter into a cost agreement with Howard County prior to the commencement of any installation work.

2,608.00
TOTAL DUE

DATE _____
 CR # _____

THE INFORMATION REQUESTED BELOW MUST BE LEGIBLE FOR BILLING/REFUND PURPOSES.

COMPANY NAME Doris Real Estate LLC
 COMPANY ADDRESS _____
 OWNER SIGNATURE _____
 OWNER NAME (PRINT) Proyan Jann
 OWNER ADDRESS 3444 Ellicott Center Dr #203
Ellicott city MD 21043

FULL FEE MUST ACCOMPANY THIS COMPLETE APPLICATION, MAKE CHECKS PAYABLE TO: DIRECTOR OF FINANCE, HOWARD COUNTY CREDIT CARDS ARE NOT ACCEPTED.

THE TERMS & CONDITIONS OF THIS APPLICATION, INCLUDING ANYTHING ON THE REVERSE SIDE HEREOF ARE BINDING UPON THE OWNERS SIGNATURE & ALL SUCCEEDING OWNERS.

2/10/2022 01:22 PM Csh 0066 Reg 0003
 T/Ref 0003364163 Grp 000001 R/Lne 000002
 \$300.00
 Validation Number: 0003-758493

2/10/2022 01:22 PM Csh 0066 Reg 0003
 T/Ref 0003364163 Grp 000001 R/Lne 000004
 \$300.00
 Validation Number: 0003-758493

8930 Stanford Blvd

HOCO Health Depart
FEB 22 2022
ENVIRONMENTAL Health

WATER WELL ABANDONMENT-SEALING REPORT FORM

SUBMIT COPIES OF COMPLETED FORM TO:

- * COUNTY ENVIRONMENTAL AGENCY (contact MDE, WMA if address needed)
- * WELL OWNER
- * MDE, WATER MANAGEMENT ADMINISTRATION, WELL PROGRAM

DATE WELL ABANDONED: 2-9-22 (month/day/year)

* PERMIT NUMBER OF ABANDONED WELL (if any)

HO-73-3884

* PERMIT NUMBER OF REPLACEMENT WELL:

- N/A -

* PERSON ABANDONING WELL: Andrew Houseman

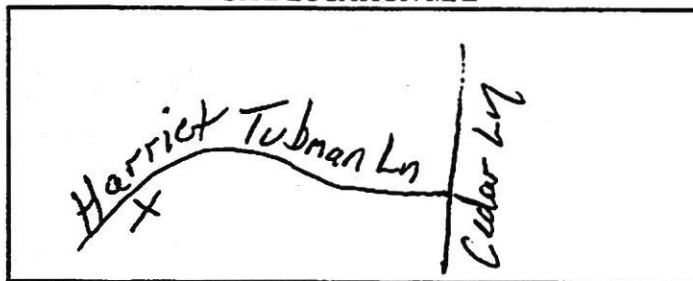
WELL DRILLER'S LICENSE NUMBER: 224

* OWNER'S NAME: Davis Real Estate, LLC

CIRCLE: MWD / MSD / MGD

* WELL LOCATION:
COUNTY: Howard
NEAREST TOWN: Columbia
TAX MAP: 0035 BLOCK: 0023 PARCEL: 0333
SUBDIVISION: Simpsonville
SECTION: _____ LOT: 2
STREET ADDRESS: 7965 Harriet Tubman Lane

SITE LOCATION MAP



LATITUDE 39.187116

LONGITUDE 76.883195

LOG OF SEALING MATERIAL

MATERIAL	FEET	
	FROM	TO
<u>Bentonite</u>	<u>377</u>	<u>0</u>

* TYPE OF WELL BEING ABANDONED:
 DRILLED _____ JETTED
 BORED _____ HAND DUG
 OTHER (specify) _____

* USE CODE:
 DOMESTIC _____ MUNICIPAL/PUBLIC
 IRRIGATION _____ INDUSTRIAL
 TEST/OBSERVATION _____ GEOTHERMAL

* TYPE OF CASING:
 STEEL _____ PLASTIC
 CONCRETE _____ OTHER (specify) _____

VOLUME OF MATERIAL USED

Bentonite 2.750 lbs

SIZE OF CASING: 6 INCHES IN DIAMETER

DEPTH OF WELL: 377 FEET DEEP

WAS ANY CASING REMOVED? YES NO
If yes, length removed, in feet: _____

WAS CASING RIPPED OR PERFORATED? YES NO

SIGNATURE-MASTER WELL DRILLER OR SUPERVISING SANITARIAN LICENSE#

[Signature]

224

MWD / MSD / MGS

CIRCLE ONE

2-11-21

DATE

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Oswald, Hank

From: Oswald, Hank
Sent: Thursday, January 20, 2022 11:39 AM
To: Pooyan Noori; Williams, Jeffrey
Cc: Hamid Shirazi
Subject: RE: 7965 Harriet Tubman Ln Columbia MD 21044
Attachments: Well_7965 Harriet Tubman Lane.pdf

Hi Pooyan Noori:

In addition to having the septic tank, crushed, filled w/ dirt, and disconnected from the house, we will also need the old well abandoned by a licensed well driller w/ appropriate abandonment reports submitted to the Health Department prior to building permit approval. Please see attachment for pics of old well.

Let me know if you have any questions.

Thanks,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Well & Septic Program
410.313.1786
hoswald@howardcountymd.gov

From: Pooyan Noori <pooyan.nk@gmail.com>
Sent: Tuesday, January 18, 2022 2:03 PM
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Cc: Hamid Shirazi <hamidshirazi@gmail.com>; Oswald, Hank <hoswald@howardcountymd.gov>
Subject: Re: 7965 Harriet Tubman Ln Columbia MD 21044

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi everyone,

I made the payment this morning. Please find attached a copy of the receipt and application.
Do we need to have more than one quote to use the grant?

Thanks

Pooyan Noori

Manager at DATIS Holdings / REALTOR at Evergreen Properties
3444 Ellicott Center Dr #203

Ellicott City MD 21043

Phone: (202) 999-5987

www.datisholdings.com

On Fri, Jan 14, 2022 at 4:20 PM Pooyan Noori <pooyan.nk@gmail.com> wrote:

Yes, the house is vacant. I'll go ahead and pay the fee on Monday morning.

On Fri, Jan 14, 2022 at 3:17 PM Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

I'm not sure if the house is vacant. If so, you could start the process of a public connection with the County Bureau of Utilities. Once we saw that you paid the connection fee and then if you pump the tank, crush it, fill it with dirt, and disconnect the line from the house, we would let the building permit proceed before you actually make the public connection.

On the well side, I'll have to check with Hank, the reviewer, and the file to see if it needed to be abandoned also. If so, we would look for the well to be abandoned by a licensed well driller with abandonment report submitted to us prior to our sign off of the building permit and then you could make the water connection during construction.

From: Hamid Shirazi <hamidshirazi@gmail.com>

Sent: Friday, January 14, 2022 3:13 PM

To: Williams, Jeffrey <jewilliams@howardcountymd.gov>

Cc: Pooyan Noori <pooyan.nk@gmail.com>; Oswald, Hank <hoswald@howardcountymd.gov>

Subject: Re: [7965 Harriet Tubman Ln Columbia MD 21044](#)

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Thanks Mr Williams for the prompt response.

We've been stuck for building permit review for about a month now. What has to happen now for the county to get started on our permit package review?

Hamid

On Jan 14, 2022, at 3:09 PM, Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

Yes. It seems any building permit to add living space or add bedrooms above existing would require connection to the public sewer based on no available room for a new system plus future replacement area.

From: Pooyan Noori <pooyan.nk@gmail.com>

Sent: Friday, January 14, 2022 2:44 PM

To: Williams, Jeffrey <jewilliams@howardcountymd.gov>; Hamid Shirazi <hamidshirazi@gmail.com>

Cc: Oswald, Hank <hoswald@howardcountymd.gov>

Subject: Re: 7965 Harriet Tubman Ln Columbia MD 21044

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Mr Williams,

Fogle's INC inspected the spetic and sounds like it's failed!

Let us know what will be the next step.

Thanks

Pooyan Noori

Manager at DATIS Holdings / REALTOR at Evergreen Properties

3444 Ellicott Center Dr #203

Ellicott City MD 21043

Phone: (202) 999-5987

www.datisholdings.com

On Wed, Jan 12, 2022 at 11:33 AM Pooyan Noori <pooyan.nk@gmail.com> wrote:

Thanks, Jeffrey, Would you please send me the list of the qualified contractors?

Pooyan Noori

Manager at DATIS Holdings / REALTOR at Evergreen Properties

3444 Ellicott Center Dr #203

Ellicott City MD 21043

Phone: (202) 999-5987

www.datisholdings.com

On Tue, Jan 11, 2022 at 10:13 AM Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

Hello. I don't see a record of the existing system in our files. It may be older and the records just don't exist anymore. It looks like you are going from 2 bedrooms to 3. The two considerations would be whether the system meets setbacks to the existing and proposed footprint, whether it is big enough to support 3 bedrooms, and whether it meets current code. If you were proposing to keep the system, you would need to find it and evaluate it. This typically involves having someone excavate or probe to locate the septic tank and drywell or trench drainfield somewhere in the yard. Once located, the tank could be pumped to determine size. If everything to that point looked acceptable, the next step would be to apply for perc testing with our office to excavate the drainfield to determine its size and depth and then digging a hole near it to determine if there is the required 4 feet of suitable soil beneath the bottom of the system.

The rules of the state grant do not allow it to be used for public connections unless the Health Dept has determined that the existing system is in a failing condition. If the system is functional, but just not suitable for the proposed addition, the grant cannot be used. Do you know if the system is not functioning to serve the existing house? (backups, liquid on the ground, etc)

From: Pooyan Noori <pooyan.nk@gmail.com>

Sent: Tuesday, January 11, 2022 8:59 AM

To: Hamid Shirazi <hamidshirazi@gmail.com>; Williams, Jeffrey <jewilliams@howardcountymd.gov>

Subject: Re: 7965 Harriet Tubman Ln Columbia MD 21044

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Mr Williams,

I just wanted to follow up on my questions?

Thanks

On Sun, Jan 9, 2022 at 5:42 PM Pooyan Noori <pooyan.nk@gmail.com> wrote:

We bought this property a month ago and we do not have any information about the septic system. How we can verify the condition of the existing septic? How its gonna delay the process?

Besides the above questions, To avoid any delay in our project, Is there any way that we pay for fees and get refunds later?

Thanks

Pooyan Noori

Manager at DATIS Holdings / REALTOR at Evergreen Properties

3444 Ellicott Center Dr #203

Ellicott City MD 21043

Phone: (202) 999-5987

www.datisholdings.com

On Fri, Jan 7, 2022 at 1:43 PM Williams, Jeffrey <jewilliams@howardcountymd.gov> wrote:

Hello. We do administer the Bay Restoration Fund grant from the state that can help fund a connection to public sewer where the exiting septic system is verified to be in a failing condition. Unfortunately, we cannot use the grant without that verification. Is there anything wrong with the system functioning or just the issues surrounding the proposed building permit?

From: Pooyan Noori <pooyan.nk@gmail.com>
Sent: Friday, January 7, 2022 11:58 AM
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Subject: Re: 7965 Harriet Tubman Ln Columbia MD 21044

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Here is the correct address 7965 Harriet Tubman Ln Columbia MD 21044

Pooyan Noori

Manager at DATIS Holdings / REALTOR at Evergreen Properties

3444 Ellicott Center Dr #203

Ellicott City MD 21043

Phone: (202) 999-5987

www.datisholdings.com

On Fri, Jan 7, 2022 at 11:51 AM Pooyan Noori <pooyan.nk@gmail.com> wrote:

Hi Mr Williams,

We owned 79 Harriet Tubman Ln Columbia MD 21044 and we have planned to switch the private septic to public sewer. Unfortunately, that was an unexpected charge to our project and we can not afford the cost. I'm wondering to see if we are eligible to use the grant for the entire process including demoing the existing septic and public sewer connection cost?

Thanks for your help in advance.

Pooyan Noori

Manager at DATIS Holdings / REALTOR at Evergreen Properties

3444 Ellicott Center Dr #203

Ellicott City MD 21043

Phone: (202) 999-5987

www.datisholdings.com

On Thu, Jan 6, 2022 at 12:42 PM Hooe, Roy <RHooe@howardcountymd.gov> wrote:

Pooyan,

You can reach out to Jeffrey Williams about grants see attached info.

Thanks

Roy Hooe

From: Pooyan Noori <pooyan.nk@gmail.com>
Sent: Thursday, January 6, 2022 12:12 PM
To: Hooe, Roy <RHooe@howardcountymd.gov>
Cc: Hamid Shirazi <hamidshirazi@gmail.com>; Nelson, Nathan <nnelson@howardcountymd.gov>
Subject: Re: 7965 Harriet Tubman Ln Columbia MD 21044

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Roy, Thanks for preparing the application.

It was really unexpected charge to us for both water/sewer. Do you know if we are eligible to use any state/County fund to waive the application charges for both water and sewer?

Thanks for your help in advance.

On Wed, Jan 5, 2022 at 2:03 PM Hooe, Roy <RHooe@howardcountymd.gov> wrote:

Pooyan,

Complete application, Take application and your checks to "3430 Court House Dr Ellicott City, MD 21043". Pay at the cashiers office.

The cashiers office will stamp each application paid. You must give a copy of the stamp application to DILP. You can email them to them or drop them off in person.

I will get you the water application when we get confirmation ¾" Tap will work.

Thanks

Roy Hooe

From: Pooyan Noori <pooyan.nk@gmail.com>
Sent: Wednesday, January 5, 2022 12:24 PM
To: Hooe, Roy <RHooe@howardcountymd.gov>
Cc: Hamid Shirazi <hamidshirazi@gmail.com>; Nelson, Nathan <nnelson@howardcountymd.gov>
Subject: Re: 7965 Harriet Tubman Ln Columbia MD 21044

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Roy,

Howard County required sprinkler system for the house. I got consultant with 2 different sprinkler companies and it seems we are OK with the existing pipe size.

Would you please send me the application moving this forward?

Thanks

On Wed, Jan 5, 2022 at 8:13 AM Hooe, Roy <RHooe@howardcountymd.gov> wrote:

Pooyan,

I can't send you an application to you decided on water size. You need to find out if your new home remodel will require sprinkler system. You can check with your private side inspector if they are requiring new building codes. If not then you would just be using existing connections.

Thanks

Roy Hooe

From: Pooyan Noori <pooyan.nk@gmail.com>
Sent: Tuesday, January 4, 2022 3:31 PM
To: Hooe, Roy <RHooe@howardcountymd.gov>
Cc: Hamid Shirazi <hamidshirazi@gmail.com>
Subject: Re: 7965 Harriet Tubman Ln Columbia MD 21044

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Roy,

Happy new year.

Can you please send me the application and the invoice, while I'm figuring out the waterline size? This will help to start the permit process.

Thanks a lot

Pooyan Noori

Manager at DATIS Holdings / REALTOR at Evergreen Properties

3444 Ellicott Center Dr #203

Ellicott City MD 21043

Phone: (202) 999-5987

www.datisholdings.com

On Thu, Dec 9, 2021 at 1:26 PM Pooyan Noori <pooyan.nk@gmail.com> wrote:

Sound good. I will get back to you as soon as hear back from the permit department.

Pooyan Noori

Manager at DATIS Holdings / REALTOR at Evergreen Properties

3444 Ellicott Center Dr #203

Ellicott City MD 21043

Phone: (202) 999-5987

www.datisholdings.com

On Thu, Dec 9, 2021 at 12:53 PM Hooe, Roy <RHooe@howardcountymd.gov> wrote:

So on the privet side requiring you to have a sprinkler system, if so you will have to upgrade you water to 1.5". you need to find out if ¾ connection and 5/8 meter is big enough for what your doing.

Most people have to upgrade.

You should get the public things done first because you will need that for building permit. They might stop you if you don't have it complete or at least paid for.

Fast as you get the info to me and complete the paperwork and pay fees 3 days or so.

Check on the water first before we proceed.

Thanks

Roy Hooe

From: Pooyan Noori <pooyan.nk@gmail.com>
Sent: Thursday, December 9, 2021 12:45 PM
To: Hooe, Roy <RHooe@howardcountymd.gov>
Cc: Hamid Shirazi <hamidshirazi@gmail.com>
Subject: Re: 7965 Harriet Tubman Ln Columbia MD 21044

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi Hooe,

This is for the existing house. The interior of the house is demoed and the exterior will be extended. We are going to apply for a building permit for addition in a week.

Should we call for a contractor now or do we have to wait until the interior plumbing is done?

Also how long does the process of switching to public sewer take?

Best,

Pooyan Noori

Manager at DATIS Holdings / REALTOR at Evergreen Properties

3444 Ellicott Center Dr #203

Ellicott City MD 21043

Phone: (202) 999-5987

www.datisholdings.com

On Thu, Dec 9, 2021 at 7:10 AM Hooe, Roy <RHooe@howardcountymd.gov> wrote:

Is this going to be for a new House or connection for existing house?

It has a ¾" tap with 5/8" meter if your building new house you will need to upgrade service to 1.5", sewer is available at property line.

First step would be hire yourself a contractor to hook up your private connection. This house already has a connection ran to the property line please see attached. If you going to proceed after you find a contractor let me know and I will get the connection application together.

Thanks

Roy Hooe

From: Pooyan Noori <pooyan.nk@gmail.com>

Sent: Wednesday, December 8, 2021 3:45 PM

To: Hooe, Roy <RHooe@howardcountymd.gov>; Hamid Shirazi

<hamidshirazi@gmail.com>

Subject: 7965 Harriet Tubman Ln Columbia MD 21044

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi,

We own the subject line property which is connected to private septic and we want to switch it to public sewer.

Would you please guide me on how to start the process?

Best regards

Pooyan Noori

Manager at DATIS Holdings / REALTOR at Evergreen Properties

3444 Ellicott Center Dr #203

Ellicott City MD 21043

Phone: (202) 999-5987

www.datisholdings.com

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Pooyan Noori

Manager at DATIS Holdings / REALTOR at Evergreen Properties

3444 Ellicott Center Dr #203

Ellicott City MD 21043

Phone: (202) 999-5987

www.datisholdings.com

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Pooyan Noori

Manager at DATIS Holdings / REALTOR at Evergreen Properties

3444 Ellicott Center Dr #203

Ellicott City MD 21043

Phone: (202) 999-5987

www.datisholdings.com

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Pooyan Noori

Manager at DATIS Holdings / REALTOR at Evergreen Properties

3444 Ellicott Center Dr #203

Ellicott City MD 21043

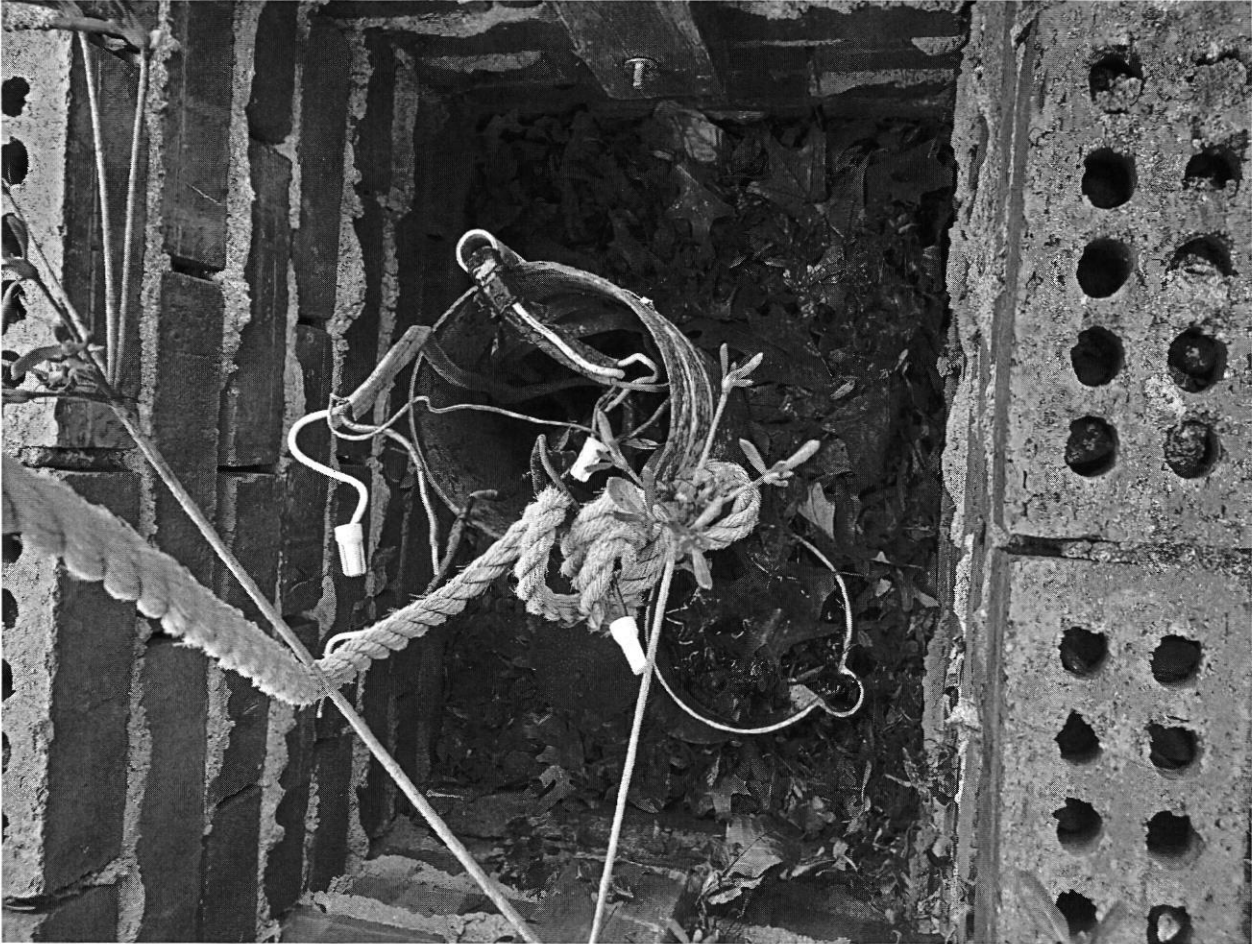
Phone: (202) 999-5987

www.datisholdings.com

Site Inspection – 1/20/22
7965 Harriet Tubman Lane
Columbia, MD
Well Tag# HO-73-3884



Site Inspection – 1/20/22
7965 Harriet Tubman Lane
Columbia, MD
Well Tag# HO-73-3884



Site Inspection – 1/20/22
7965 Harriet Tubman Lane
Columbia, MD
Well Tag# HO-73-3884



OFFICE USE ONLY
 CONTROL NO. _____
 PERMIT NO. _____
 INSPECTED BY: _____
 DATE INSPECTED: _____
 BoU Approved: Ray Hooe

SEWER CONNECTION APPLICATION

HOWARD COUNTY

DEPARTMENT OF PUBLIC WORKS

3430 COURT HOUSE DRIVE ELLICOTT CITY, MD 21043

Account No. N/A

OFFICE USE ONLY
 APPLICATION NO. 3100000000-999999
 CONTRACT NO.: 3273
 REBATE CONTRACT NO.: _____
 SEWER ZONE: _____
 CONNECTION WORKSHEET Y N X

FILL OUT APPLICATION COMPLETELY AND SIGN BELOW. IF LOCATION INFORMATION IS UNKNOWN, CONTACT THE OFFICE OF PLANNING AND ZONING (DPZ) FOR HOUSE NUMBER, STREET NAME, ETC. NOTE: COMMERCIAL AND INDUSTRIAL FACILITIES MAY BE SUBJECT TO REQUIREMENTS OF THE COUNTY CODE FOR SEWER SURCHARGES, INDUSTRIAL COST RECOVERY CHARGES, AND PRETREATMENT.

Application is herewith made for a water house connection to the property described below.

DATE OF APPLICATION _____

SUBDIVISION _____ SECTION _____ AREA _____ LOT ? BLOCK _____
 HOUSE NO. 7965 STREET Harriet Tubman Ln TAX MAP 35 GRID 23 PARCEL 3333
 CITY, STATE Columbia Md ZIP CODE 21044 PHONE NO. _____

NEW OR EXISTING BUILDING? Existing USE (SEE PROPERTY CLASSIFICATIONS ON REVERSE SIDE) _____

ITEMS CHECK	CONNECTION TYPE	CON. DIA.	CHARGES DESCRIPTION	CHARGES AMOUNT	FUND	BA	G/L
<input checked="" type="checkbox"/>	SEWER CONNECTION	4"	INSTALLATION	Under Capital job 4,500.00	7010009000	3100	431185
<input type="checkbox"/>	SEWER CONNECTION	6"	INSTALLATION		7010009000	3100	431185
<input type="checkbox"/>	SEWER CONNECTION	8"	INSTALLATION - ADO		7010003000	1300	102998
<input checked="" type="checkbox"/>			IN-AID-OF CONSTRUCTION AMOUNT CHARGED BASED ON METER SIZE	600.00	7030015100	3100	422000
<input type="checkbox"/>	ADO OR SURETY #		ADVANCED DEPOSIT ORDER OR SURETY DEPOSIT AMOUNT		7010003000	1300	102998
<input type="checkbox"/>			INSPECTION FEE AND PERMIT FEE		7010010000	3100	431105

*Refer to DPZ for estimates of Advanced Deposit (ADO). For installations requiring an ADO, the owner must enter into a cost agreement with Howard County prior to the commencement of any installation work.

\$5,100.00
 TOTAL DUE

DATE _____
 CR # _____

THE INFORMATION REQUESTED BELOW MUST BE LEGIBLE FOR BILLING/REFUND PURPOSES.

COMPANY NAME Datis Real Estate LLC
 COMPANY ADDRESS 3444 Ellicott center Dr #203
 OWNER SIGNATURE Ellicott city MD 21043
 OWNER NAME (PRINT) _____
 OWNER ADDRESS 3444 Ellicott center Dr #203
Ellicott city MD 21043

FULL FEE MUST ACCOMPANY THIS COMPLETE APPLICATION, MAKE CHECKS PAYABLE TO: DIRECTOR OF FINANCE, HOWARD COUNTY CREDIT CARDS ARE NOT ACCEPTED.

THE TERMS & CONDITIONS OF THIS APPLICATION, INCLUDING ANYTHING ON THE REVERSE SIDE HEREOF ARE BINDING UPON THE OWNERS SIGNATURE & ALL SUCCEEDING OWNERS.

DEPARTMENT OF PUBLIC WORKS
 3430 COURT HOUSE DRIVE ELLICOTT CITY, MD 21043

Account No. N/A

PERMIT NO. _____
 INSPECTED BY: _____
 DATE INSPECTED: _____
 BoU Approved: Boy Hooe

FILL OUT APPLICATION COMPLETELY AND SIGN BELOW. IF LOCATION INFORMATION IS UNKNOWN, CONTACT THE OFFICE OF PLANNING AND ZONING (DPZ) FOR HOUSE NUMBER, STREET NAME, ETC. NOTE: COMMERCIAL AND INDUSTRIAL FACILITIES MAY BE SUBJECT TO REQUIREMENTS OF THE COUNTY CODE FOR SEWER SURCHARGES, INDUSTRIAL COST RECOVERY CHARGES, AND PRETREATMENT.

Application is herewith made for a water house connection to the property described below.

SUBDIVISION _____ SECTION _____ AREA _____ LOT _____
 HOUSE NO. 7965 STREET Harriet Tubman Ln TAX MAP 35 GRID _____
 CITY, STATE Gold PHONE NO. _____

NEW OR EXISTING BUILDING

Howard County, Maryland
 Department of Finance
 3430 Court House Drive
 Ellicott City, MD 21043

ITEMS CHECK	CONNECTION TYPE
<input checked="" type="checkbox"/>	SEWER CONNECTION
<input type="checkbox"/>	SEWER CONNECTION
<input type="checkbox"/>	SEWER CONNECTION
<input checked="" type="checkbox"/>	
<input type="checkbox"/>	ADO OR SURETY #
<input type="checkbox"/>	

1/18/2022 10:58 AM Cashier 0066
 T/Ref 0003363218 Reg 0003 Tran No 7458
 Cash Report: 220118-01 for 1/18/2022
 W/S Connection 500-5019
 7010009000-3100-431185-3100000000-999999
 9999999999
 CONTRACT #: 3273
 Validation Number: 756449 \$4,500.00
 Sewer-In-Aid (730-009-7120)
 7030015100-3100-422000-3100000000-999999
 9999999999
 Contract Number: 3273
 Validation Number: 756450 \$600.00
 =====
 Total \$5,100.00
 Check (\$5,100.00)
 Check No. 1876

CLASSIFICATIONS ON REVERS	CHARGES AMOUNT
	Under Capital job 4,500.00
	600.00

Thank You!

Refer to DPZ for estimates of Advanced Deposit (ADO). For installations requiring an ADO, the owner must enter into a cost agreement with Howard County prior to the commencement of any installation work.

\$5,100.00
 TOTAL DUE

THE INFORMATION REQUESTED BELOW MUST BE LEGIBLE FOR BILLING/REFUND PURPOSES.

Oswald, Hank

From: Oswald, Hank
Sent: Thursday, December 23, 2021 3:53 PM
To: 'POOYAN.NK@GMAIL.COM'
Cc: 'info@datisholdings.com'
Subject: B21004868_7965 Harriet Tubman Lane
Attachments: SEPTIC CONTRACTORS 2.4.2020.pdf

Hi NOORI POOYAN:

This office is in receipt of building permit for a living space/bedroom addition located 7965 Harriet Tubman Lane. Part of the review process requires confirmation of an adequate onsite sewage disposal system. Unfortunately, our office does not have record of the septic system for this property. This means you will need to go through the process of hiring a septic contractor to expose the system to find out the size, and condition. You will also need to pay our office \$506 fee to conduct a perc test to determine a 4' buffer beneath the existing system.

If the system isn't adequate, you will need to connect to public sewer and abandoned the existing septic system prior to building permit approval. Alternatively, you could choose to connect now. Given the likely age of the system, you may just want to connect and avoid going through the aforementioned process.

I've attached a list of septic contractors in case you need one. Should you have any questions, please don't hesitate to ask.

Thanks,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Well & Septic Program
410.313.1786
hoswald@howardcountymd.gov

Oswald, Hank

From: Nelson, Nathan
Sent: Thursday, December 23, 2021 7:40 AM
To: Oswald, Hank
Cc: Hooe, Roy
Subject: FW: 7965 Harriet Tubman Ln
Attachments: #3273 - Drawing - 7965 Harriet Tubman_Page_1.jpg; #3273 - Drawing - 7965 Harriet Tubman_Page_2.jpg

Good morning Hank,

Yes, this house is in the metropolitan district, and has connections to both water and sewer that could be utilized. As mentioned by Roy below, the house would need to upgrade the size of the water service if a new house were to be built on the lot. I've attached the drawings provided to Greg for your records—if you need anything else please let me know.

Sincerely,
Nathan Nelson
Regulation Inspector I
Howard County Utilities
410-313-4942

From: Gregory Phillips <mred.mreb@icloud.com>
Sent: Thursday, September 2, 2021 4:45 PM
To: Hooe, Roy <RHooe@howardcountymd.gov>
Cc: Kirk Halpin <kirk@halpinlawfirm.com>; Nelson, Nathan <nnelson@howardcountymd.gov>
Subject: Re: 7965 Harriet Tubman Ln

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

As always thank you!

Gregory B. Phillips
Maryland Real Estate Development
6100 Day Long Lane
Suite 100
Clarksville, Maryland 21029

Email: mred.mreb@icloud.com

Website: WWW.MRED.US

Direct 410.977.0864



On Sep 2, 2021, at 1:17 PM, Hooe, Roy <RHooe@howardcountymd.gov> wrote:

Yes both area available, if build a new house you will have to upgrade the size of the water connection

From: Gregory Phillips <mred.mreb@icloud.com>

Sent: Thursday, September 2, 2021 10:46 AM

To: Hooe, Roy <RHooe@howardcountymd.gov>

Cc: Kirk Halpin <kirk@halpinlawfirm.com>

Subject: 7965 Harriet Tubman Ln

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hi,

Can you please advise on access to water and sewer for a client who is looking at this lot.

The listing states it is "connected" to public water and one of my engineers thought we might have to pump to get sewer.

Regards,

Gregory B. Phillips
Maryland Real Estate Development
6100 Day Long Lane
Suite 100
Clarksville, Maryland 21029

Email: mred.mreb@icloud.com

Website: WWW.MRED.US

Direct 410.977.0864

<image001.png>

Gregory B. Phillips
Maryland Real Estate Development
6100 Day Long Lane
Suite 100
Clarksville, Maryland 21029

Email: mred.mreb@icloud.com

Website: WWW.MRED.US

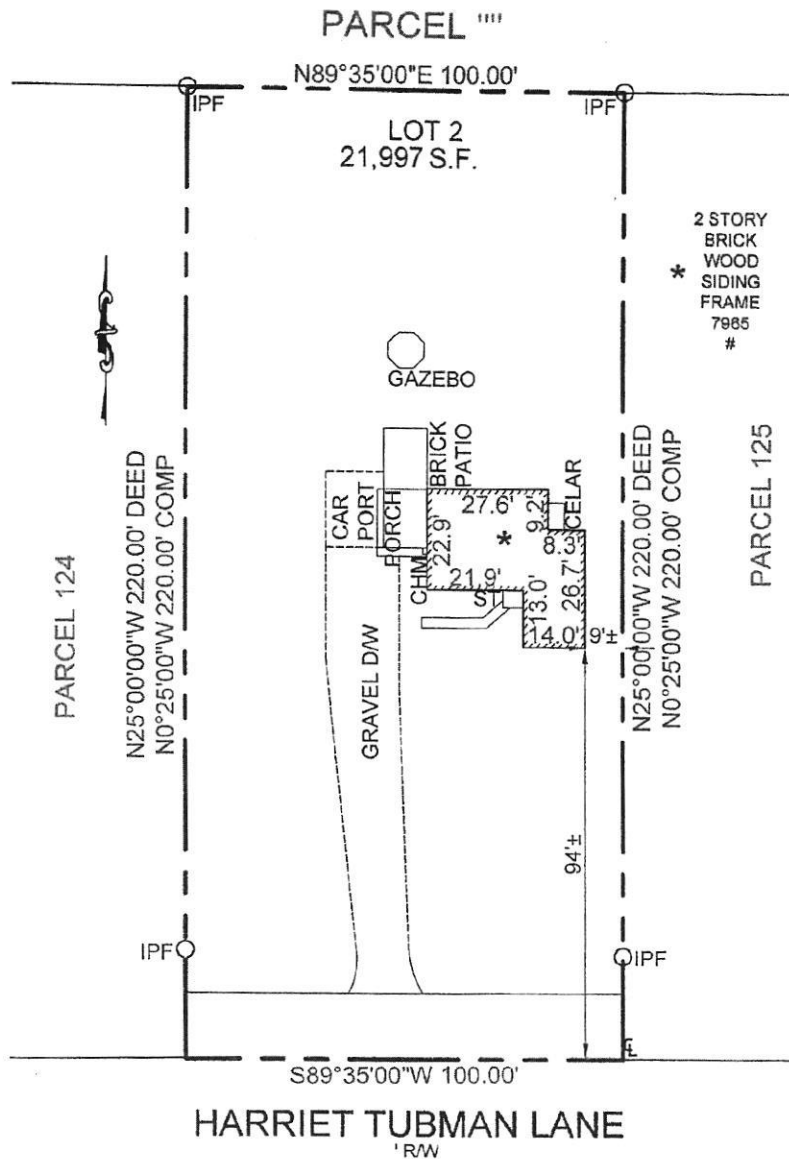
Direct 410.977.0864

<image001.png>

<#3273 - Drawing - 7965 Harriet Tubman_Page_2.jpg><#3273 - Drawing - 7965 Harriet
Tubman_Page_1.jpg>

LOCATION DRAWING

ADDRESS: 7965 HARRIET TUBMAN LANE



NOTES:
 1. THIS LOCATION DRAWING IS OF BENEFIT TO A CONSUMER ONLY IN SO FAR AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR REFINANCING.
 2. THIS LOCATION DRAWING IS NOT TO BE RELIED UPON FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING.
 3. LEVEL OF ACCURACY IS 1"±.

DRAWN BY: BF

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY SHOWN HEREON FOR THE PURPOSE OF LOCATING THE IMPROVEMENTS ONLY, AND THE PROPERTY CORNERS HAVE NOT BEEN ESTABLISHED OR SET, UNLESS OTHERWISE NOTED. WE ASSUME NO RESPONSIBILITY, OR LIABILITY FOR ANY RIGHT-OF-WAYS ON THE RECORD OR EASEMENTS RECORDED OR UNRECORDED NOT APPEARING ON THE RECORDED PLAT OR MENTIONED IN THE DEED REFERRED TO HEREON. NO TITLE REPORT WAS FURNISHED.



PROFESSIONAL SEAL

10/28/2021

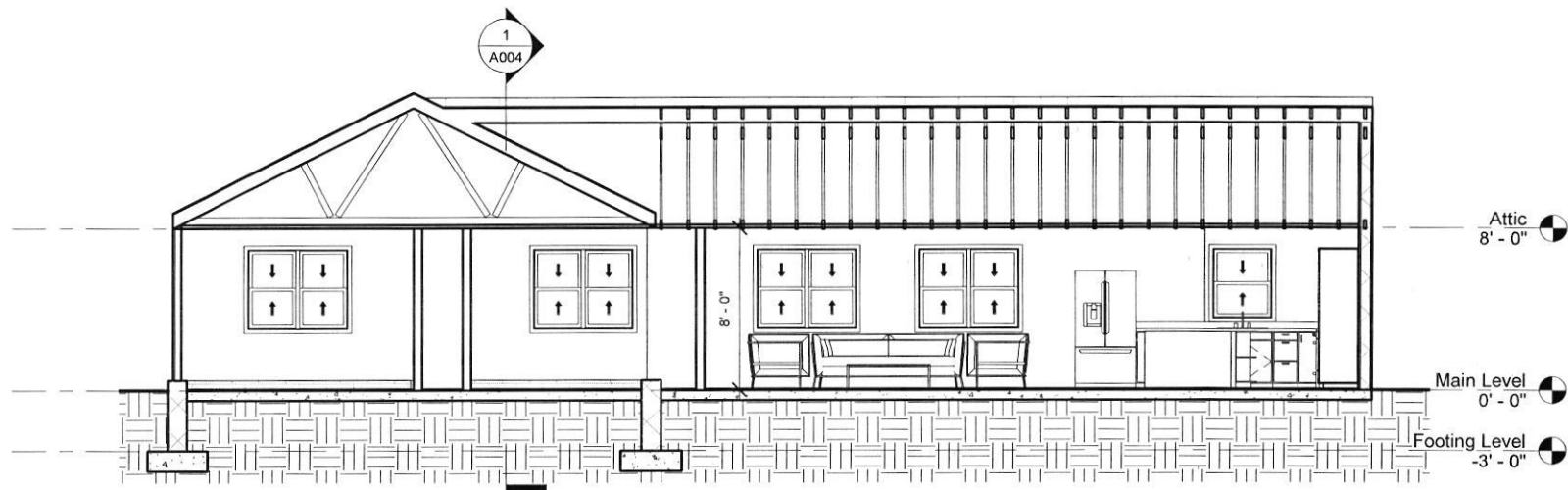
DATE

LAND PRO ASSOCIATES, LLC.

8843 GREENBELT ROAD SUITE 334
 LANHAM, MD 20770
 PHONE 301-388-1944
 FAX 301-794-8751
 LANDPRO@MAIL.COM

LOCATION DRAWING
 LOUIS M & EVA M BROWN
 LOT 2 DISTRICT 5
 BOOK 20689 PAGE 354
 HOWARD COUNTY, MARYLAND
 SCALE: 1" = 30' DATE: 10/28/2021

FILE: #7965 HARRIET TUBMAN LANE CASE: # 0



① Section 2
3/16" = 1'-0"

DATIS Real Estate

7965 Harriet Tubman, Columbia, MD 21044

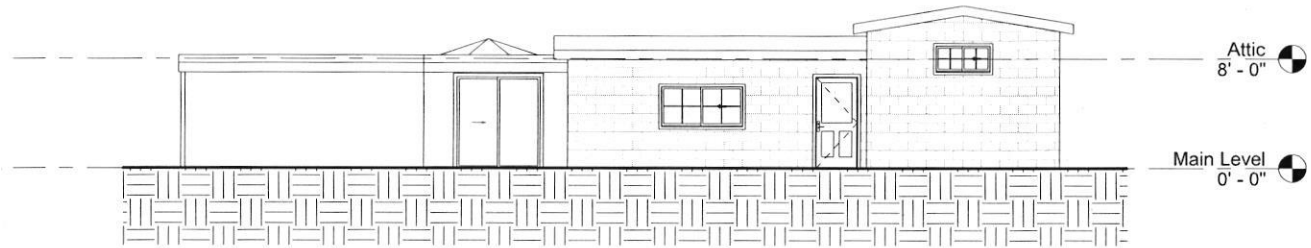
No.	Description	Date

Section 2

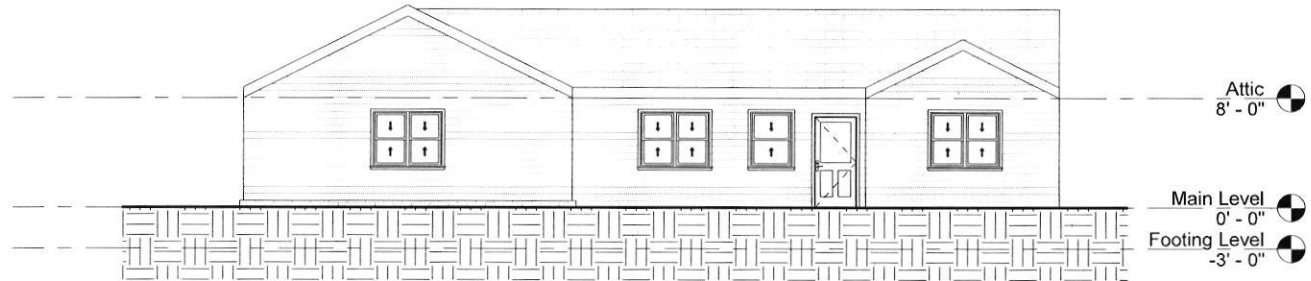
Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A005

Scale 3/16" = 1'-0"



① South Elevation - Existing
1/8" = 1'-0"



② South Elevation - Proposed
1/8" = 1'-0"

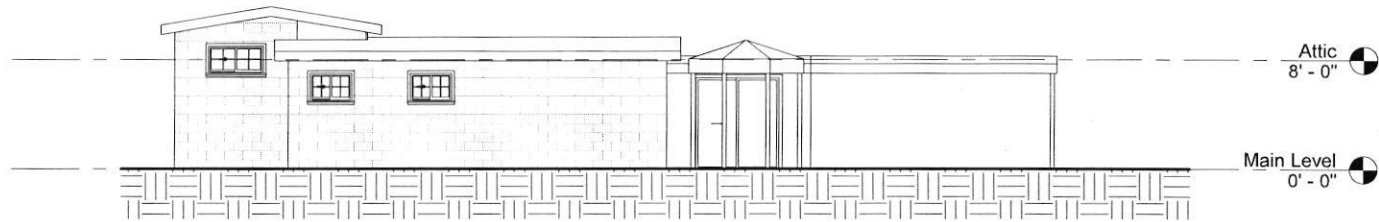
DATIS Real Estate

7965 Harriet Tubman, Columbia, MD 21044

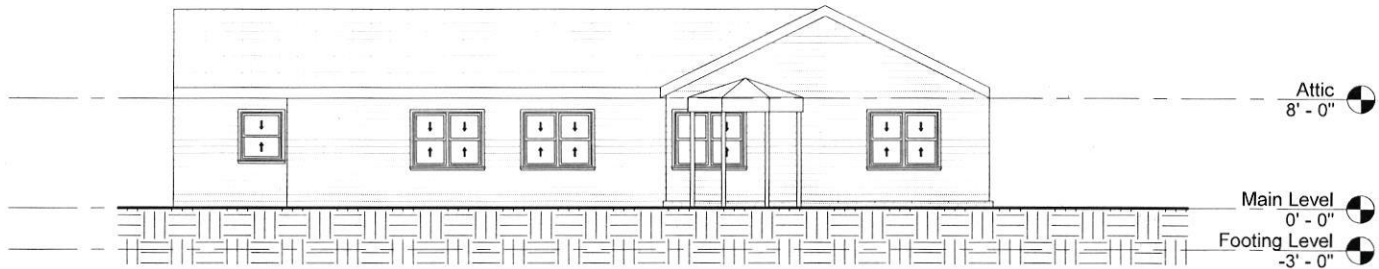
No.	Description	Date

South Elevation

Project number	Project Number	A006
Date	Issue Date	
Drawn by	Author	Scale 1/8" = 1'-0"
Checked by	Checker	



① North Elevation - Existing
1/8" = 1'-0"



② North Elevation - Proposed
1/8" = 1'-0"

DATIS Real Estate

7965 Harriet Tubman, Columbia, MD 21044

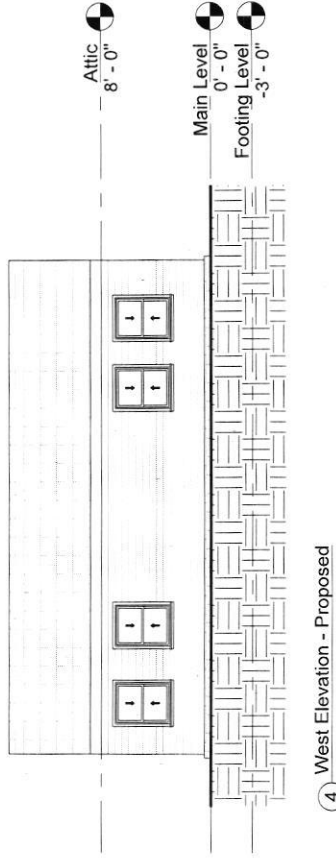
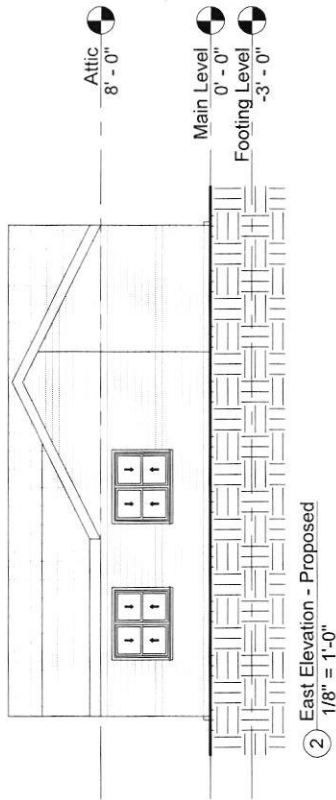
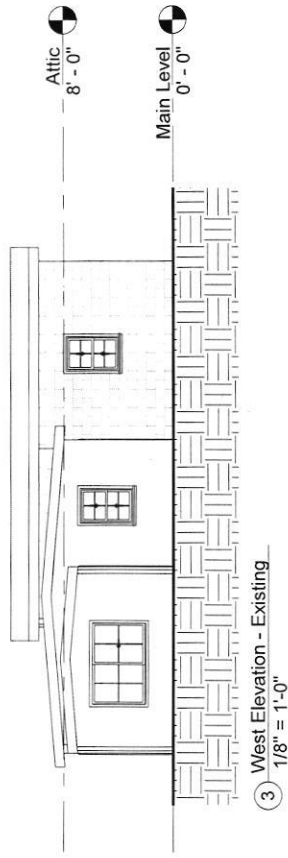
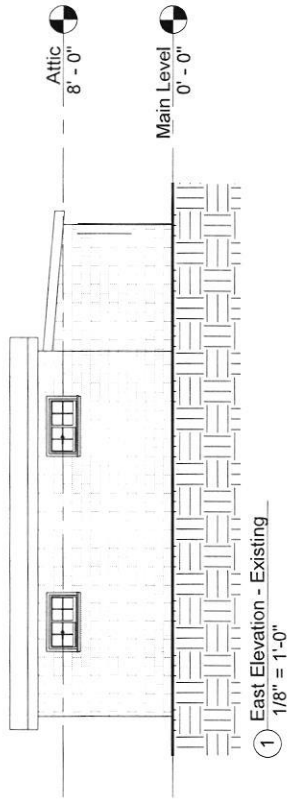
No.	Description	Date

North Elevation

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A007

Scale 1/8" = 1'-0"

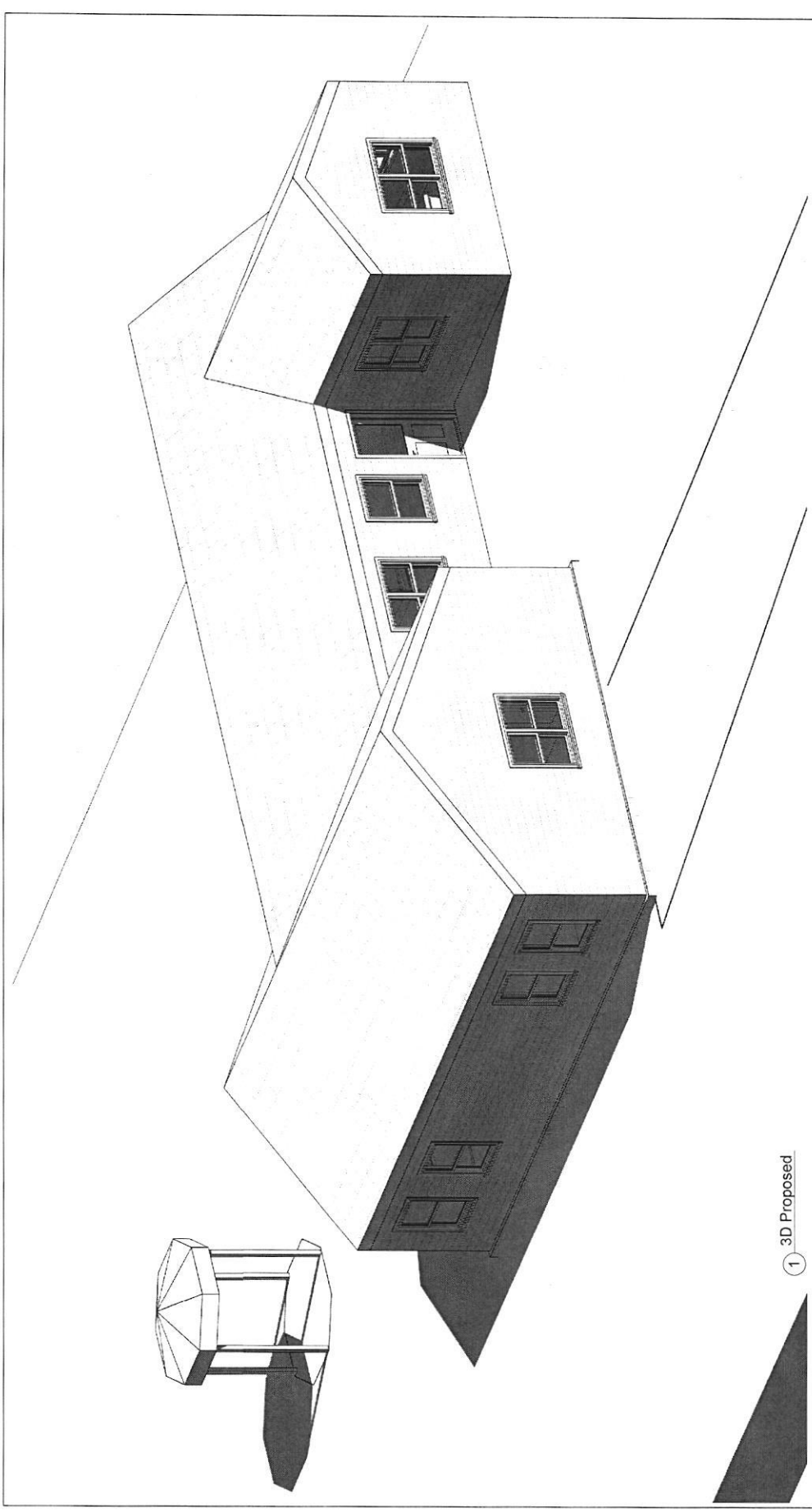


DATIS Real Estate
7965 Harriet Tubman, Columbia, MD 21044

East & West Elevation

Project number	Project Number	A008
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	
		Scale 1/8" = 1'-0"

No.	Description	Date



① 3D Proposed

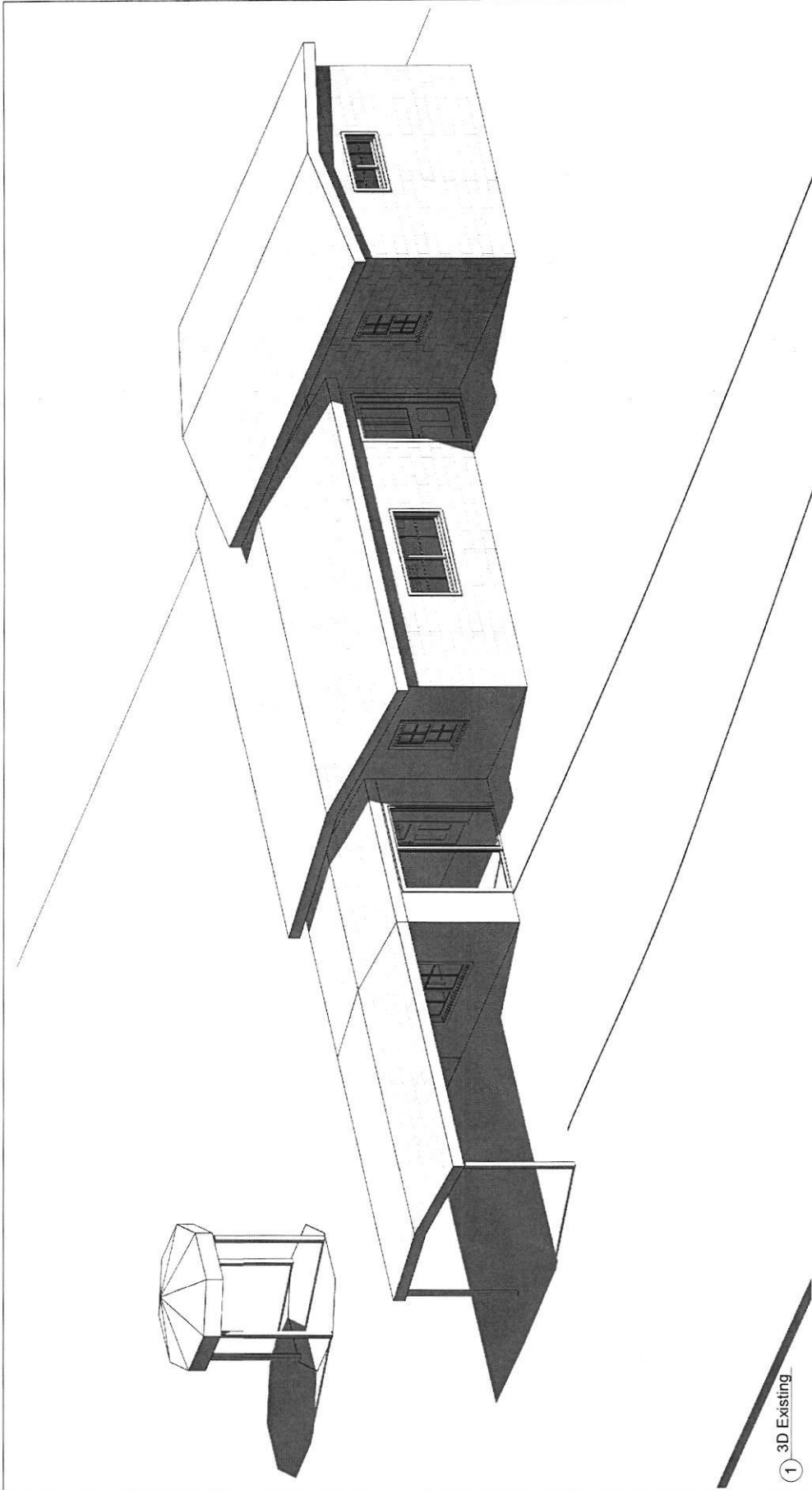
3D View - Proposed

Project Number	Project Number	A009
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	
		Scale

No.	Description	Date

DATIS Real Estate
7965 Harriet Tubman, Columbia, MD 21044





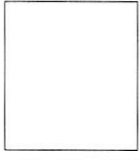
① 3D Existing

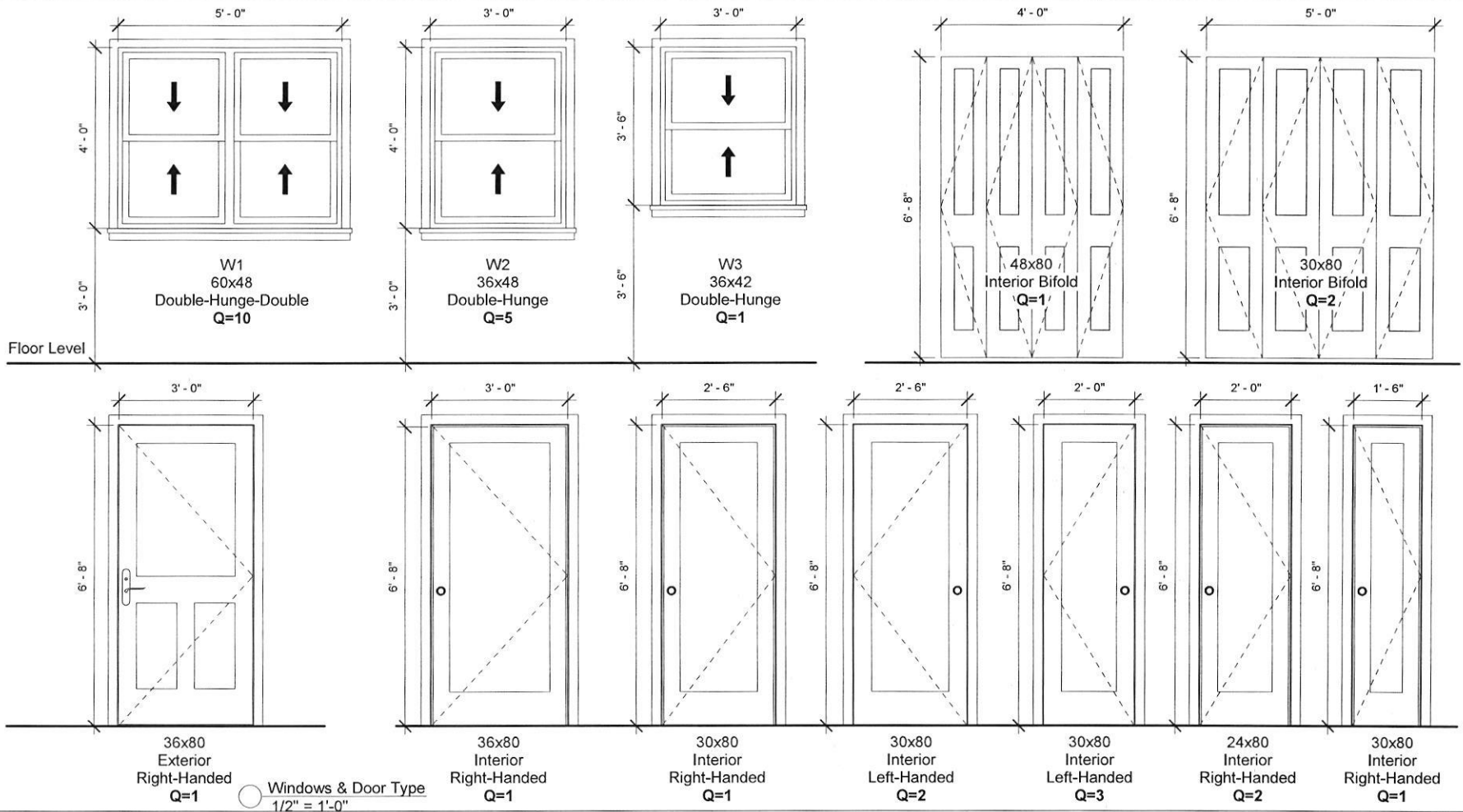
3D View - Existing

Project number	Project Number	A010
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	
		Scale

No.	Description	Date

DATIS Real Estate
 7965 Harriet Tubman, Columbia, MD 21044

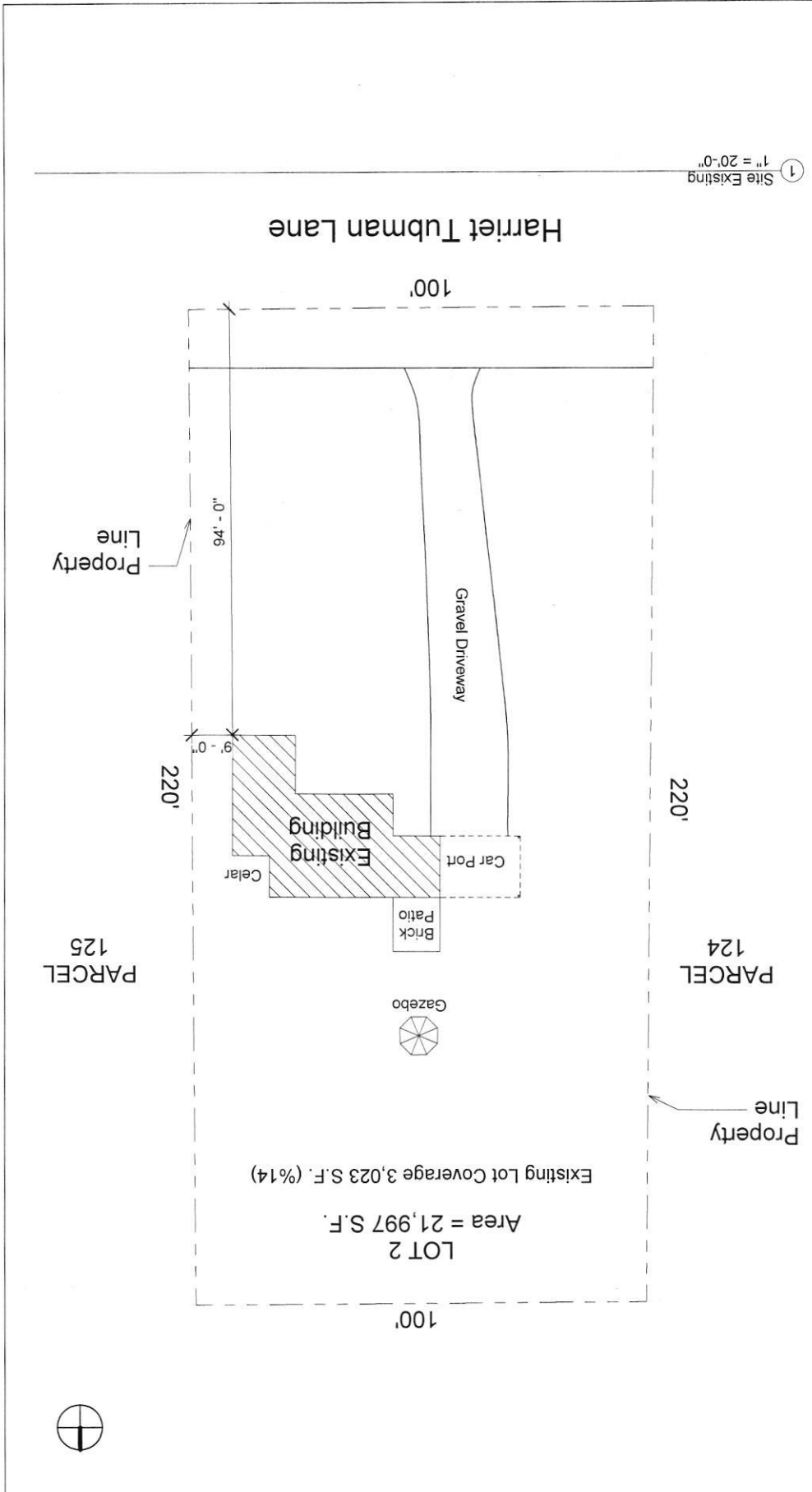




DATIS Real Estate
 7965 Harriet Tubman, Columbia, MD 21044

No.	Description	Date

Windows & Doors Type	
Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker
A011	
Scale 1/2" = 1'-0"	



Site Plan - Existing

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

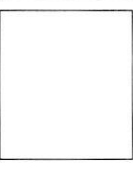
Z001

Scale 1" = 20'-0"

No.	Description	Date

DATIS Real Estate

7965 Harriet Tubman, Columbia, MD 21044



DATIS Real Estate
 7965 Harriet Tubman, Columbia, MD 21044

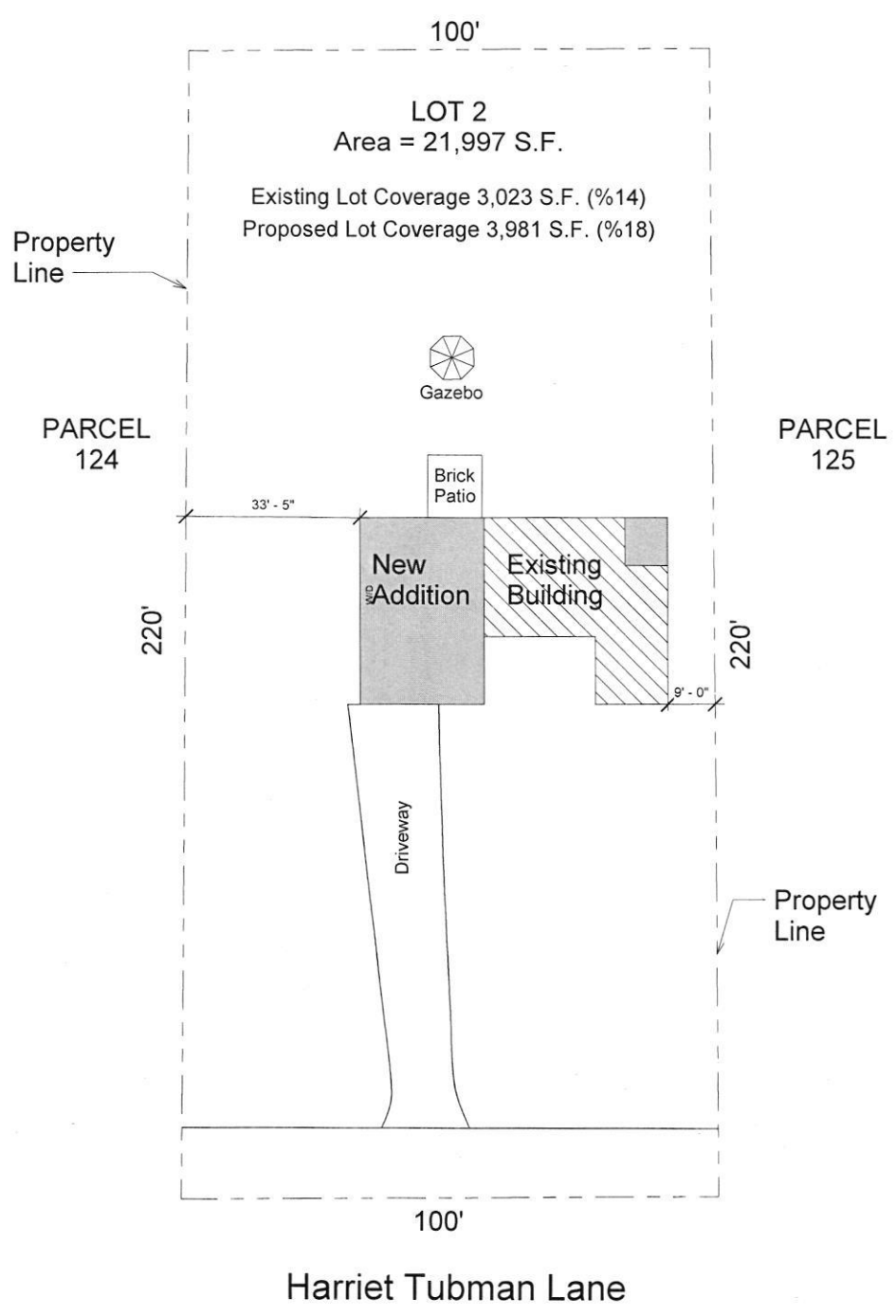
No.	Description	Date

Site Plan - Proposed

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

Z002

Scale 1" = 20'-0"



① Site Proposed
 1" = 20'-0"

PROJECT INFORMATION:

PROJECT NAME:
7965 HARRIET TUBMAN LN PROJECT

SCOPE OF PROJECT:
PROJECT CONSIST OF ADDITIONAL
RESIDENTIAL AREA TO THE EXISTING
BUILDING

GENERAL NOTES:

Notes and symbols included in this set are standard and may not necessarily be applicable to this project.
CODES AND REGULATIONS:
All work and materials shall conform to all governing codes and regulations including the International Building Code, International Electrical Code, the NFPA 70 and the National Board of Fire Underwriters.
INSURANCE:
The contractor shall carry all necessary liability and workmen's compensation insurance.
MEASUREMENTS:
The contractor shall verify all dimensions on site prior to ordering materials or performing any work.
DRAWING DISCREPANCIES:
Should the contractor find, after visiting the site or during construction, any discrepancies, omissions, ambiguities or conflicts in the drawings, or to be unclear as to their meanings, he/she should immediately notify the Architect.

PROTECTION OF EXISTING INSTALLATIONS, MATERIALS, AND WORK:
The contractor shall protect all existing structures, utilities, and installations of all kinds against damage. The contractor will be required to return it to its original condition when the work is completed. The contractor shall be responsible for all cutting, fitting, or patching that may be required to complete the Work or make its several parts fit together properly. Any unusual conditions or existing work shall be noted and recorded on original and existing work by workmen skilled in the trades involved.

REINSTALLED MATERIALS AND EQUIPMENT:
Carefully remove, store, and protect for reinstallation materials and equipment as described in these drawings and specifications.
STRUCTURAL:
Structural members will be cut, moved, filled, nailed, or replaced in size without the proper written permission of the Architect/Engineer. All drilling and patching for expansion bolts, shields, hangers, and other supports shall be performed subject to the prior approval of the Architect/Engineer. Replace or refinish damaged parts to the satisfaction of the Architect/Engineer.

CLEAN UP:
At all times the Contractor shall keep the premises neat and free of debris. The Contractor shall be responsible for the removal of materials or rubbish caused by his/her operations.
At the completion of the Work, the Contractor shall remove all waste materials and rubbish, tools, construction equipment, machinery, and surplus materials from and about the Project.

GENERAL STRUCTURAL NOTES:

- All notes on Structural Drawings should be assumed typical unless shown otherwise or noted on drawings or specifications.
- All notes are for supplementing the plans and specifications and are in no way to be considered as excluding any item in them.
- It should be the Contractor's responsibility to coordinate the Structural Drawings and their dimensions with other drawings. If a conflict exists he shall not carry out the affected work until the Architect has resolved the conflict.
- In addition to conforming with the following notes, all work should conform to the requirements of the local building codes.
- Existing conditions shown or implied are based on best available but limited information. If conditions are encountered that differ from those shown, stop, or implied, all work in that specific area is to stop and the Architect is to be notified. No work is to continue in such areas without the permission of the Architect.

WOOD FRAMING:

- LIVE LOADS:**
- ROOFS 30 PSF
 - FLOORS 40 PSF
 - DECKS 60 PSF
 - STAIRS 100PSF
- Headers and lintel framing marked S.P. to be Southern Pine No. 2, medium grade, 19% M.C. lumber or better w/ min. fb=1250 PSI, fv=60 PSI, and E=1,010,000 PSI or equivalent. All other framing lumber to be HEAVYR No. 2 as defined by PS-20-70.
- All joists required, but not noted on the plans, to be the same size as well in which they are installed and in quantity as noted in the following schedule.

- 4'-0" opening 1 jack each
 - 6'-0" opening 2 jacks each
 - 8'-0" opening 3 jacks each
- Note: All jacks or posts are to line up with those at floor below even when jacks are not required by framing of the floor below; that is, all jacks or posts above should be continuous, or increased as shown, to lowest level. Where beams, joists, lintels, etc. bear on masonry, there should be a minimum of 16 inches vertical by 16 inches horizontal by the total wall thickness of 100% solid masonry bearing, or plain concrete. All structural wooden members and wood-located within 8 inches of soil should be pressure impregnated to resist decay and insect infestation, subject to approval of the Architect.
 - All timber (lumber) nailing to be done in accordance with the nailing schedule of the BOCA Basic Building Code, a copy of which should be at the site at all times.
 - All screw, lag screws, bolts and nails 20d and greater to be drilled in pre-drilled holes of appropriate size. For screws pre-drill body diameter, for bolts pre-drill major diameter, and for nails, pre-drill 3/4" diameter of nail. Bolts and lag screws are to have washers at contact surfaces.
 - Beams, headers, and lintels spanning across adjacent openings should be continuous over the support at the symbol.
 - Provide and install all sheathing per IBC 2304.7
 - Wood deck plywood sheathing to be 3/4" Plywood Douglas Fir (or equal) grade CC (min) bonded with 100% waterproof glue for floor and roof.
 - Unless shown otherwise, double up the as-shown support structure (posts, etc.) that are not shown in the same general direction as the floor support structure.

Soils:

- Footings are designed for a bearing capacity of 2000 PSF. Footings shall bear on natural undisturbed soil, 1'-0" below original grade and bottom of exterior footing shall be at least 2'-6" below finished grade. Contractor shall verify soil pressure in the field. If found to be less than 2000 PSF, the footings will have to be redesigned.
 - Do not backfill against walls until supporting slabs and walls are in place and have attained required strength.
 - All fill and backfill material, all footing bearing, excavations, and compaction control shall be inspected and approved in writing by a Qualified Engineer.
 - Utility lines shall not be placed through, or below foundations without the Engineer's approval. All excavations to be approved by proper authorities prior to the placing of foundations.
- CONCRETE:

- Except as noted, all reinforcing shall be high strength new billet steel conforming to ASTM designation A-615 (Fy = 60,000 psi). All stirrups and ties shall be new intermediate grade steel conforming to ASTM designation A-615 (Fy = 60,000 psi). All reinforcing shall be detailed, fabricated, and placed in accordance with the ACI's "Manual of Standard Practice for Detailing Concrete Structures" (ACI-315).
- Reinforcing steel shall be placed in accordance with the "CRSI Manual of Standard Practice for Reinforced Concrete Construction".
- Lap all splices, 36 bar diameters (2'-0" min.) except as noted on plans. Bend outside face wall horizontal reinforcing 1'-0" around all corners or provide 4'-0" long corner bars to match horizontal reinforcing. Splicing of #6 or larger bars shall not be permitted unless otherwise noted or authorized by the Engineer. Lapped splices of #14 or #18 bars shall not be permitted.
- Hooks and bend shall conform to ACI-318 standards for minimum bend radius and extensions. Lengths given for bent bars do not include the radius and maximum extensions for standard hooks.
- All concrete work shall be in accordance with the requirements of the American Concrete Institute Code (ACI 318 - latest edition).

- Concrete surfaces shall be cured in accordance with ACI Specifications. Submit manufacturers material for Engineer's review.
- All concrete work shall conform to the latest approved (by local government) editions of the following ACI and ASTM documents
 - ACI-301 specifications
 - ACI-318 code
 - ACI-214 compression tests
 - ACI-306 cold weather
 - ACI-315 detailing
 - ACI-308 formwork
 - ACI-305 hammer
 - ACI-605 proportions of concrete
 - ACI-614 placing concrete
 - ACI-ASCE Committee 423 unbound tendons
 - ASTM- C84 ready-mix concrete
- Provide 3'-0" concrete protection for reinforcing in accordance with ACI.
- All concrete, except as noted elsewhere, shall be (fc = 3000 psi) natural hard rock aggregate concrete. All exterior concrete shall be air-entrained at minimum 5% to maximum 6%.
- No calcium chloride shall be added to the concrete without written approval by the Engineer.
- Unless noted otherwise, concrete slab surfaces shall be receive a smooth, trowelled finish. Surface tolerance shall be 1/4 inch in 10 feet unless otherwise noted. Ramps shall receive a medium broom finish.

13. Contractor must submit a concrete design mix in accordance with ACI 318 (latest local approved edition) for approval by the Engineer. Such design mix shall be accompanied by the appropriate graphs and background data. Concrete design mix shall indicate 7 and 28 day strengths, cement content and water cement ratio, fine and coarse aggregates and admixtures for each design strength.

- All field and lab testing of concrete shall conform to the latest approved (by local government) editions of:
 - ASTM-C-431 Field
 - ASTM-C-143 Slump test
 - ASTM-C-39 Lab testing cylinders
 - ASTM-C-172 Sampling fresh concrete
 - ASTM-C-42 Hardened cores (when required)
- Upon completion of concrete testing, the agency shall certify their results as follows: "I certify that the field and lab testing conforms to the ASTM documents and good practice as approved by _____, P.E. (for Agency)"
- Concrete test cylinders shall be made in accordance with ACI 318. Mold and cure samples in accordance with ASTM C31. Test cylinders in accordance with ASTM C39, 1 at 7 days age, and 2 at 28 days. Determine slump in accordance with ASTM C143. Determine air content of concrete for each strength test in accordance with ASTM C231.
- Notify delivery tickets and control addition of water at the site.
- Inspection of all placed concrete and reinforcement is required. Engineer shall approve inspector. Inspection Agency shall certify formwork, concrete and reinforcement under an engineer's seal. Submit daily reports to Owner, Contractor, Architect, Building Department, and Engineer.



NO.	DESCRIPTION	DATE

A & A STRUCTURES LLC
22 HONEYCREEK BETHESDA, MD 20817
TEL: 246-633-9999 EMAIL: AAS@AASSTRUCTURES.COM

PROJECT: **7965 HARRIET TUBMAN LN ADDITION**
LOCATION: **7965 Harriet Tubman Ln, Columbia, MD 21044**

TITLE: _____
GENERAL NOTES

PROJECT: 7965 HARRIET TUBMAN LN ADDITION

LOCATION: 7965 Harriet Tubman Ln, Columbia, MD 21044

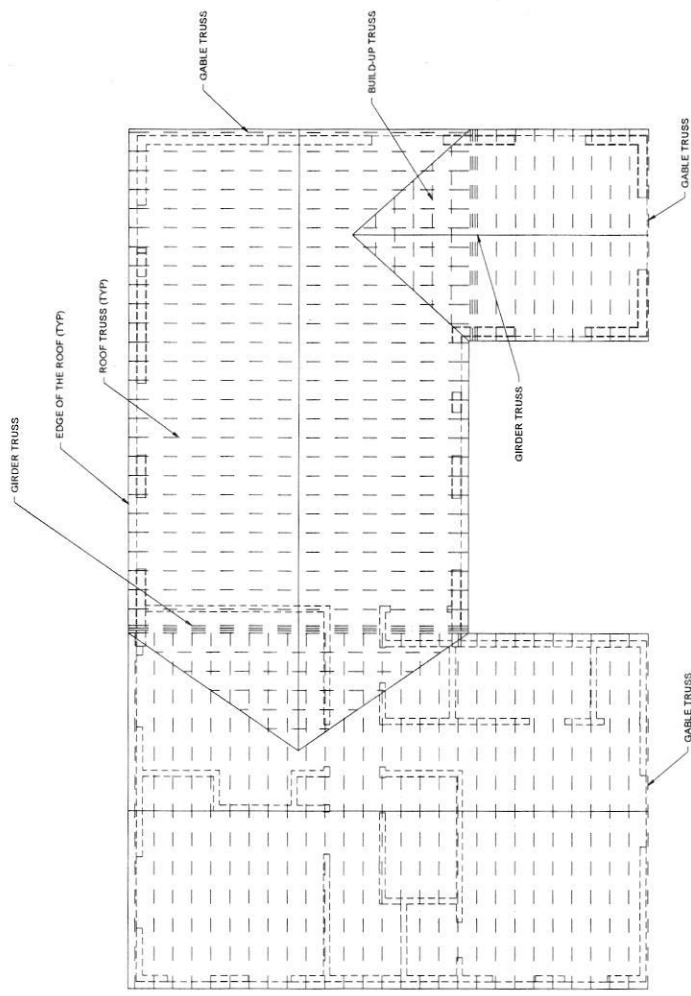
A & A STRUCTURES LLC
 22 HOLLIS CT, BETHESDA MD 20817
 TEL: 240-674-3988 EMAIL: AASTRUC@GMAIL.COM

DESIGNED BY: Y.A. DATE: 11/19/21
 CHECKED BY: E.A. DRAWING TITLE: ROOF PLAN FOR PERMIT
 APPROVED BY: Y.A. DATE: 11/19/21

DATE	DESCRIPTION
11/19/21	ISSUED FOR PERMIT



Professional Certification
 documents were prepared
 by me or under my direct
 supervision and I am a duly
 licensed professional
 engineer under the laws of
 the State of Maryland.
 License number 25924
 Expiration date 07/25/2023



Professional Certification
 documents were prepared
 or approved by me, and
 I am a duly licensed
 engineer under the laws of
 the State of Maryland.
 License number: 5000.
 Expiration date: 01/25/2023



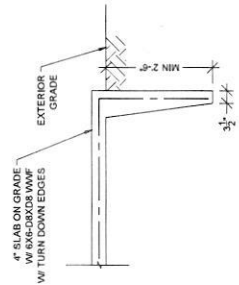
DESIGNED BY	Y.A.
CHECKED BY	Y.A.
APPROVED BY	Y.A.
DATE	12/15/2021
PROJECT	7965 HARRIET TUBMAN LN ADDITION
LOCATION	7965 Harriet Tubman Ln, Columbia, MD 21044

A & A STRUCTURES LLC
 22 HOLLYLEAF CT. BETHESDA MD 20817
 TEL: 202-753-8398 EMAIL: ASTRUC@GMAIL.COM

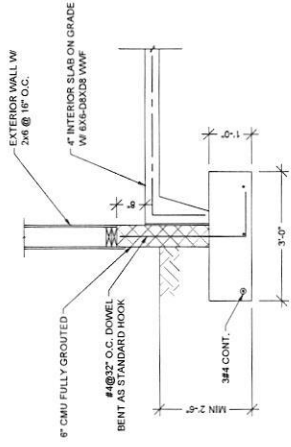
7965 HARRIET TUBMAN LN ADDITION
 LOCATION: 7965 Harriet Tubman Ln, Columbia, MD 21044

TITLE: _____
 SECTIONS

SHEET NO. **S-04**



SECTION B
 SCALE: 3/4" = 1'-0"



SECTION A
 SCALE: 3/4" = 1'-0"

Professional Certification
 The design and construction of this project
 is approved by me, and
 I am a duly Licensed Professional Engineer
 in the State of Maryland, License No. 23024
 License expiration date 12/31/2024
 Expiration date 01/25/2025



PROJECT:	7965 HARRIET TUBMAN LN ADDITION
LOCATION:	7965 Harriet Tubman Ln, Columbia, MD 21044
TITLE:	WALL BRACING PLAN
SHEET NO.:	S-05
DESIGNED BY:	J.A.
CHECKED BY:	J.A.
APPROVED BY:	J.A.
DATE:	12/19/2023
SCALE:	AS SHOWN
KEY:	SEE SECTION 2008.3.2
DATE:	12/19/2023
PROJECT:	7965 HARRIET TUBMAN LN ADDITION
LOCATION:	7965 Harriet Tubman Ln, Columbia, MD 21044
TITLE:	WALL BRACING PLAN
SHEET NO.:	S-05
DESIGNED BY:	J.A.
CHECKED BY:	J.A.
APPROVED BY:	J.A.
DATE:	12/19/2023
SCALE:	AS SHOWN
KEY:	SEE SECTION 2008.3.2
DATE:	12/19/2023

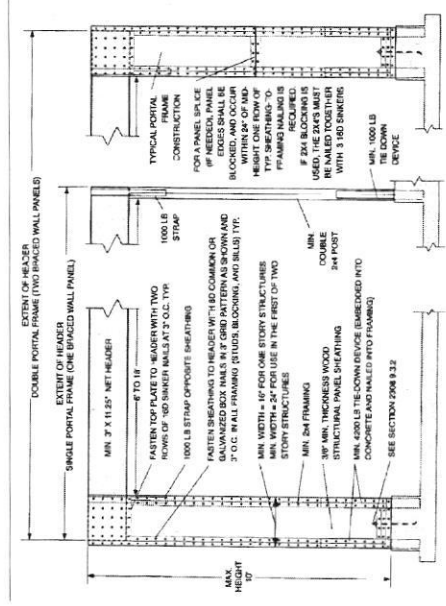
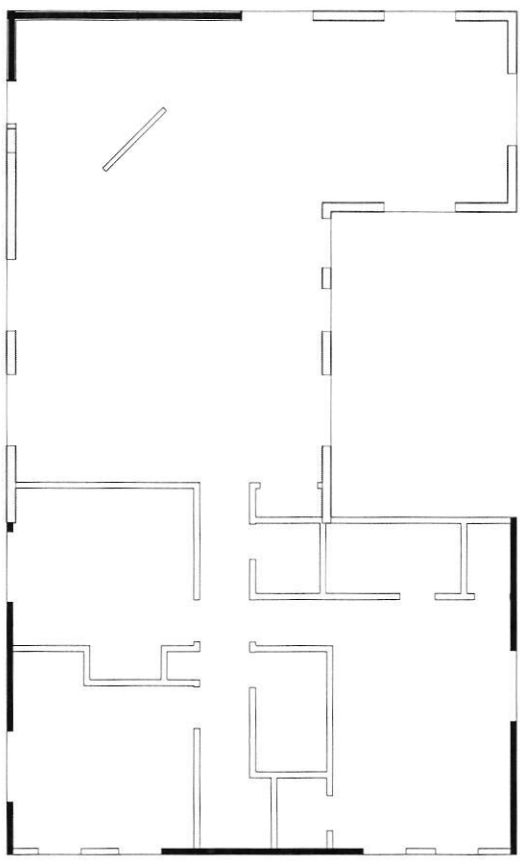
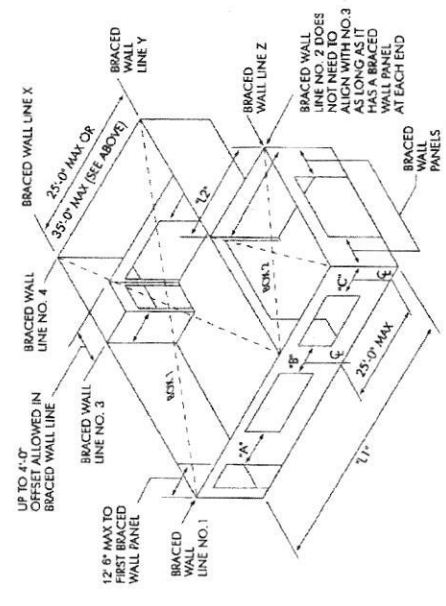


FIGURE 2008.3.2
 ALTERNATE BRACED WALL PANEL ADJACENT TO A DOOR OR WINDOW OPENING



FIRST FLOOR WALL BRACING PLAN

SCALE: 1/4" = 1'-0"

— NON BRACING WALL
 - - - WALL BRACING

PROJECT:
 LOCATION:
 TITLE:

SHEET NO. S-05

Real Property Data Search (w4)

Search Result for HOWARD COUNTY

View Map	View GroundRent Redemption	View GroundRent Registration
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Special Tax Recapture: None

Account Identifier: District - 05 Account Number - 361389

Owner Information

Owner Name:	CASCADE FUNDING MORTGAGE TRUST	Use:	RESIDENTIAL
Mailing Address:	14405 WALTERS ROAD SUITE 200 HOUSTON TX 77014-	Principal Residence:	NO
		Deed Reference:	/20689/ 00354

Location & Structure Information

Premises Address:	7965 HARRIET TUBMAN LN COLUMBIA 21044-0000	Legal Description:	LOT 2 .505 AR 7965 HARRIET TUBMAN LN SIMPSONVILLE
--------------------------	---	---------------------------	---

Map:	Grid:	Parcel:	Neighborhood:	Subdivision:	Section:	Block:	Lot:	Assessment Year:	Plat No:
0035	0023	0333	5030303.14	3003			2	2020	Plat Ref:

Town: None

Primary Structure Built	Above Grade Living Area	Finished Basement Area	Property Land Area	County Use
1948	947 SF		21,997 SF	

Stories	Basement	Type	Exterior	Quality	Full/Half Bath	Garage	Last Notice of Major Improvements
1	NO	STANDARD UNIT	BLOCK/	3	1 full	1 Carport	

Value Information

	Base Value	Value	Phase-in Assessments
		As of	As of
		01/01/2020	07/01/2021
Land:	214,100	240,400	As of 07/01/2022
Improvements	58,100	67,500	
Total:	272,200	307,900	296,000 307,900
Preferential Land:	0	0	

Transfer Information

Seller:	Date: 07/02/2021	Price: \$0
Type: NON-ARMS LENGTH OTHER	Deed1: /20689/ 00354	Deed2:
Seller:	Date:	Price: \$0
Type:	Deed1: /00747/ 00366	Deed2:
Seller:	Date:	Price:
Type:	Deed1:	Deed2:

Exemption Information

Partial Exempt Assessments:	Class	07/01/2021	07/01/2022
County:	000	0.00	
State:	000	0.00	
Municipal:	000	0.00 0.00	0.00 0.00

Special Tax Recapture: None

Homestead Application Information

Homestead Application Status: Approved 06/26/2008

Homeowners' Tax Credit Application Information

Homeowners' Tax Credit Application Status: No Application

Date:

1. This screen allows you to search the Real Property database and display property records.
2. Click **here** for a glossary of terms.
3. Deleted accounts can only be selected by Property Account Identifier.
4. The following pages are for information purpose only. The data is not to be used for legal reports or documents. While we have confidence in the accuracy of these records, the Department makes no warranties, expressed or implied, regarding the information.

Oswald, Hank

From: Allen, Nancy
Sent: Tuesday, December 21, 2021 1:25 PM
To: Oswald, Hank
Subject: RE: Public Water and Sewer Inquiry_7965 Harriet Tubman

Hi Hank,
7965 Harriet Tubman connected to public water 11/17/2015.
Not connected to public sewer.

Please let me know if you have further questions.
Thank You,
Nancy Allen
nallen@howardcountymd.gov

From: Oswald, Hank
Sent: Tuesday, December 21, 2021 1:18 PM
To: Allen, Nancy <nallen@howardcountymd.gov>
Subject: Public Water and Sewer Inquiry_7965 Harriet Tubman

Hi Nancy:

Good afternoon. Can you tell me if 7965 Harriet Tubman is connected to public water and sewer?

Thanks,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Well & Septic Program
410.313.1786
hoswald@howardcountymd.gov

7965 Harriet Tubman Ln, Columbia, MD 21044

DRAWING INDEX:

Sheet List	
Sheet Number	Sheet Name
A00	Cover Sheet
A000	General Code Requirements
A001	Main Level - Proposed
A002	Main Level - Existing
A003	Main Level - Demolition
A004	Section 1
A005	Section 2
A006	South Elevation
A007	North Elevation
A008	East & West Elevation
A009	3D View - Proposed
A010	3D View - Existing
A011	Windows & Doors Type
S01	Structure General Notes
S02	Foundation Plan
S03	Roof Plan
S04	Sections
S05	Wall Bracing
Z001	Site Plan - Existing
Z002	Site Plan - Proposed

BUILDING CODES:

MBPS 2018
IBC 2018
IRC 2018
IECC 2018

PROJECT INFORMATION:

ADDRESS:
7965 HARRIET TUBMAN LN
COLUMBIA, MD 21044

DESIGNER:
Hamid Shirazi

E-mail: hamidshirazi@gmail.com

ADDITION AREA:

	Existing Area	Addition Area	Total Level Area
Main Level:	1061 Sq.Ft.	777 Sq.Ft.	1838 Sq.Ft.

Addition Percentage: %73

Note: This is not an infill development.

DEMOLITION AREA:

	Existing Area	Demolition Area
Main Level:	1061 Sq.Ft.	425 Sq.Ft.

Demolition Percentage: %40

WINDOW AND INSULATION

WINDOW U FACTOR	0.35
CEILING	R-49
WALL	R-19
SLAB	R-10
FENESTRATION U-FACTOR	0.35

General Code Requirements:

- No inspection will be made unless an approved set of plan is on the job site.
- No changes shall be made to the approved plans without prior approval of the Building Plan Review Branch.
- Separate permits are required to install plumbing, electrical, and mechanical equipment in each dwelling unit, each structure or each area of a structure for which a separate building permit has been issued.
- Submit 3 copies of truss fabricators shop details for approval prior to erection and engineering framing plans for all flat chord trusses.
- Sleeping rooms shall have at least one operable window or exterior door to permit emergency exit or rescue. Where windows are provided they shall have a sill height of not more than 44" above the floor and shall provide not less than 5.7 square feet of openable area with no dimension less than 24" high by 20" wide. Minimum 7'-6" clear ceiling height for habitable rooms.
- Safety glass is required in the following locations:
 - With 1' horizontally from each door. In fixed panels with glazed area more than 9 square feet with the lowest edge less than 18" above the finish floor level or walking surface within 36" of such glazing.
 - Firestop all duct chases, bulkheads, laundry chutes, metal flues, and all shafts at each floor.
 - Smoke alarms shall be installed inside each separate sleeping area in the immediate vicinity of the bedrooms and on cellars. All smoke alarms shall be connected to a sounding device or other detectors to provide, when activated, an alarm, which will be audible in all sleeping areas.
 - Handrails having minimum or maximum heights of 34" and 38", respectively, shall be provided on at least one side of the stairways of three or more risers. Open side of stairs with a total rise of more than 30" above the floor or grade below shall have guardrails. The handgrip portion of the handrails shall be not more than 2" in cross-sectional dimension.
 - Porches, balconies or raised floor surfaces located more than 30" above the floor or grade below shall have guardrails not less than 36" in height. Required guardrails shall have intermediate members which will not allow passage of an object 4" or more in diameter.
 - Exterior walls located less than 3' from property line shall have not less than a 1-hour fire resistive rating. The fire resistive rating of exterior walls located less than 3' from property line shall be rated for exposure from both sides. Openings shall not be permitted in exterior walls of dwelling located less than 3' from the property line.
 - Deck(s) are not approved for future hot tub installation.
 - All plywood used structurally shall meet the performance standards for the type, grade and species of plywood shall be so identified by an approved testing agency. Minimum of 5/8" thickness.
 - Attics and enclosed rafter spaces shall have cross ventilation for each separate space by ventilation openings. The net free ventilation area shall be not less than 1 to 150 of the area of the space ventilation except that the area may be 1 to 300, provided at least 50 percent of the required area is provided by ventilators located in the upper portion of the space to be ventilation at least 3' above eave or cornice vents with the balance of the required ventilation provided by eave or ventilation provided by eave or cornice vents. The net free cross-ventilation area may not be less than 1 to 300 of area of the space ventilated when the vapor barrier having a transmission rate not exceeding 1 perm is installed on the warm side of the ceiling.
 - Floors and walls of shower and bath areas shall be finished with a smooth hard and nonabsorbent surface to a height of not less than 6' above the floor.
 - First nail and last nail to be minimum 2-1/2" from edge.

Division 1- General requirements:

- This new construction shall confirm in all respects to the 2018 Maryland Residential Code.
- All dimensions shown here-in are from face of stud, masonry or rough framing lines unless otherwise noted.
- Unless otherwise determined, selected subcontractors shall supply all miscellaneous blocking, bracing, metal, trim, fasteners, hardware, etc., as required to complete the work of their respective trade.
- Controls and operating mechanism for all doors, fixtures and furnishings shall be operable by a force of no greater than 5 lb. with one hand and not required light grasping, pinching or twisting of the wrist to operate.
- Installation of all products shall be as required by the manufacture(s) latest printed instructions and requirements at the time of permitting.
- Use regular, water resistant, plaster base (if used), and sheathings or other gypsum wallboard and products of one manufacturer throughout this project and as noted or required.
- Electrical, plumbing and mechanical work for this project is to be accomplished by design/build contract as allowed by the Virginia Statewide Building Code.
- Materials required for the work shall be suitably stored on-site and only in areas to be designed by contractor.
- Each contractor and/or subcontractor shall be responsible for all required OSHA Safety Precaution and personnel monitoring affecting it's performance of the work under this agreement.

Division 2- Architectural Site work:

- ** See structural drawings for site preparation and foundation/ slab notes and requirements
- Insure that final installation of all meter bases, subgrade utilities area provided in accordance with site plans and applicable State and local codes and requirements. Owner will provide and pay temporary power, water and sanitary facilities within or from it's existing facilities for each of the selected contractors usage, and will pat for service usage by the associated contractors, at owner's expense.
- Division 3- Concrete :
 - All work within this section shall be as specified on the structural drawings.
 - The contractor shall separate all dis-similar materials (i.e., concrete masonry units and metal flashing) with appropriate bond break materials as required to protect the integrity of the involved materials, trim bond break(s) material as required upon completion so as to conceal from view entirely. Provide backer rod and sealant as required to complete installation.
 - See Structural note for all concrete work.
- Division 4- Masonry:
 - All structural masonry work within this section shall be as specified on the structural drawings attached herein.

Division 5- Metals:

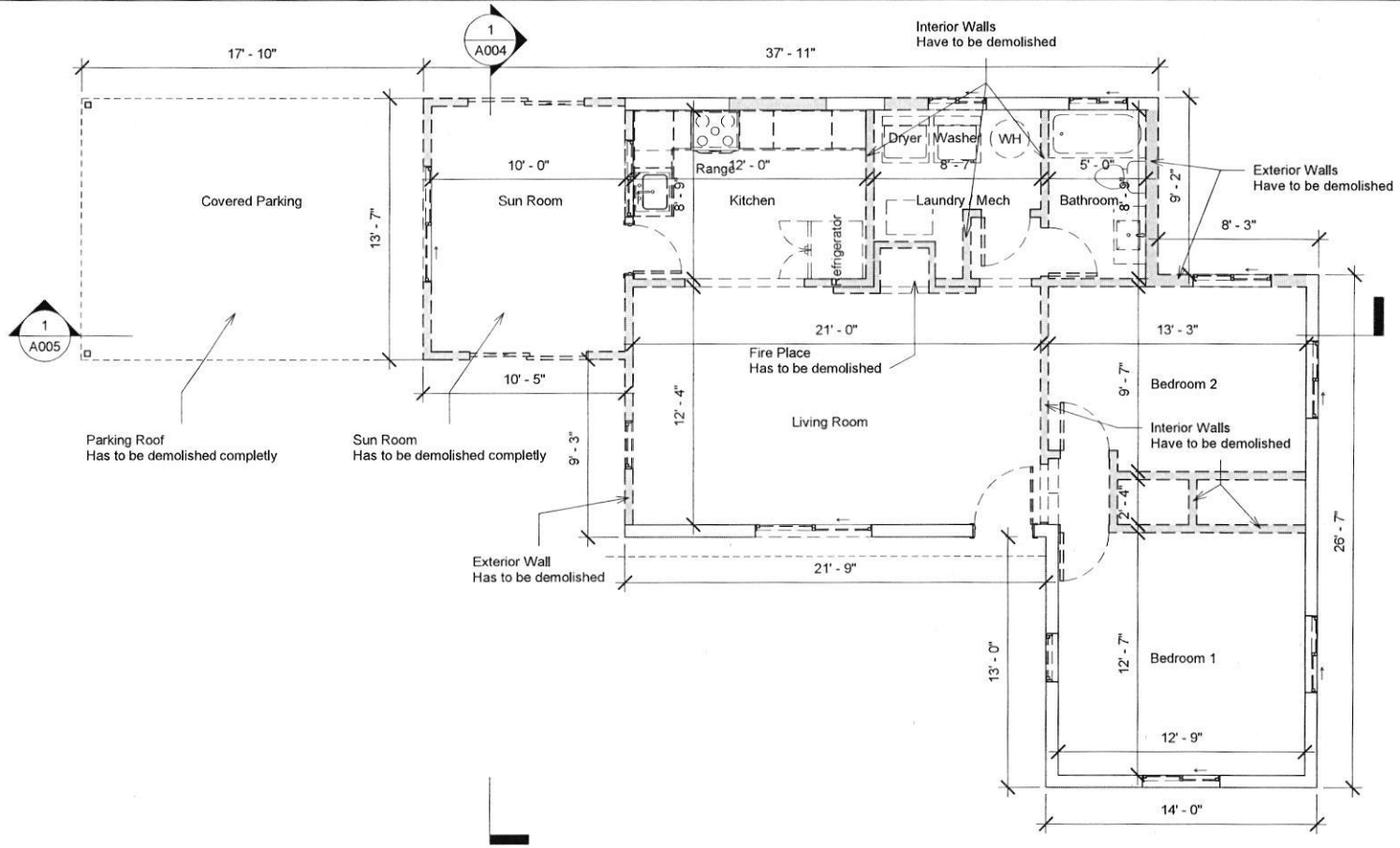
- All structural metalwork within this section shall be as specified on the structural drawings attached herein.

Division 6- Wood:

- Where detailed or otherwise required, all blocking, shim material and the like is to be fire retardant treated lumber as required by USBC subsection 602.4.
- Section of all wood members shall be in accordance with WWPA and sub rules, erected in accordance with accepted trade practiced and applicable code requirements.

Division 7- Thermal and moisture protection:

- Provide minimum 6 in polyethylene vapor barrier below all slabs on grade for use as a vapor barrier and so as to prevent rapid moisture evaporation from the slab into the underlying soils. Install this barrier below the perimeter slab insulation(s).
- Caulking and Sealants: Single component silicone in color to be selected by contractor for exterior and unpainted interior use and single component paint grade latex for interior use where painted finishes occur.
- All structural masonry work within this section shall be as specified on the structural drawings attached herein.
- Division 8- Doors and Windows:
 - Interior and exterior door lock and latches shall be as selected by and installed by the contractor.
 - Interior non rated doors (bifolds, closet and bedroom, etc.) may be wood and of the pre-hung type, as selected by the Contractor.
- Division 9- Finishes:
 - All interior finishes of walls and ceiling including wall coverings (if used shall be provided with a flame spread rating not greater than class 1 (flame spread < 0-25) as determined by ASTM E84.
 - Use regular, water resistant, gypsum liner panels, high impact abuse resistant and other gypsum wallboard and products of manufacturer throughout this project and as noted or required. Use fire code core (type "X") where noted and/ or otherwise required.
 - Use no nails for securing wallboard to studs, joist r similar supports unless otherwise required by listing assembly or structural requirement. Use 1-1/4" minimum length corrosion resistant bugle head screws spaced as required by building codes specified in the cover sheet.

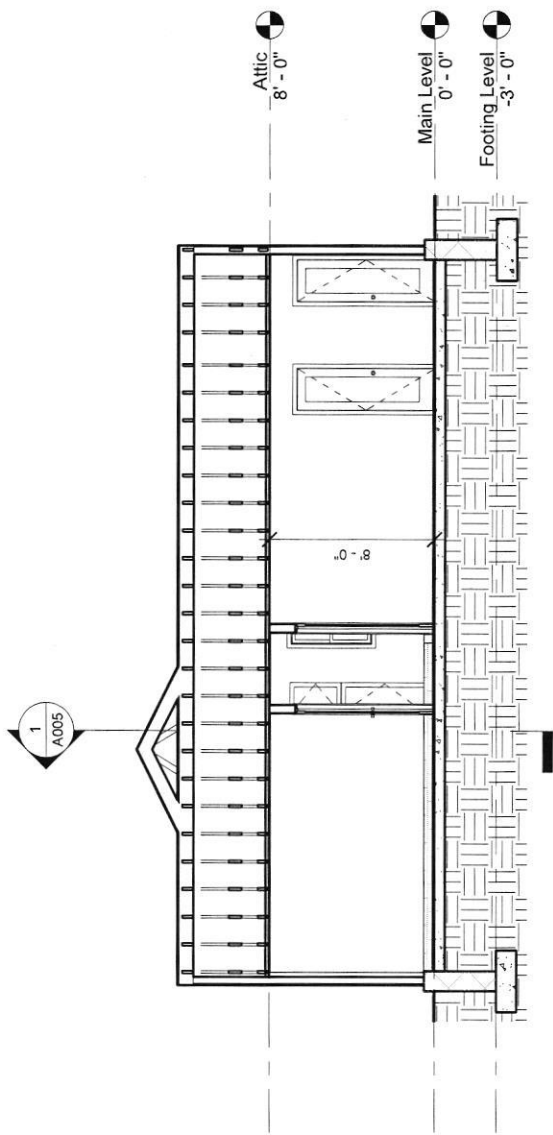


① Main Level - Demolition
3/16" = 1'-0"

DATIS Real Estate
7965 Harriet Tubman, Columbia, MD 21044

No.	Description	Date

Main Level - Demolition		
Project number	Project Number	A003
Date	Issue Date	
Drawn by	Author	
Checked by	Checker	
		Scale 3/16" = 1'-0"

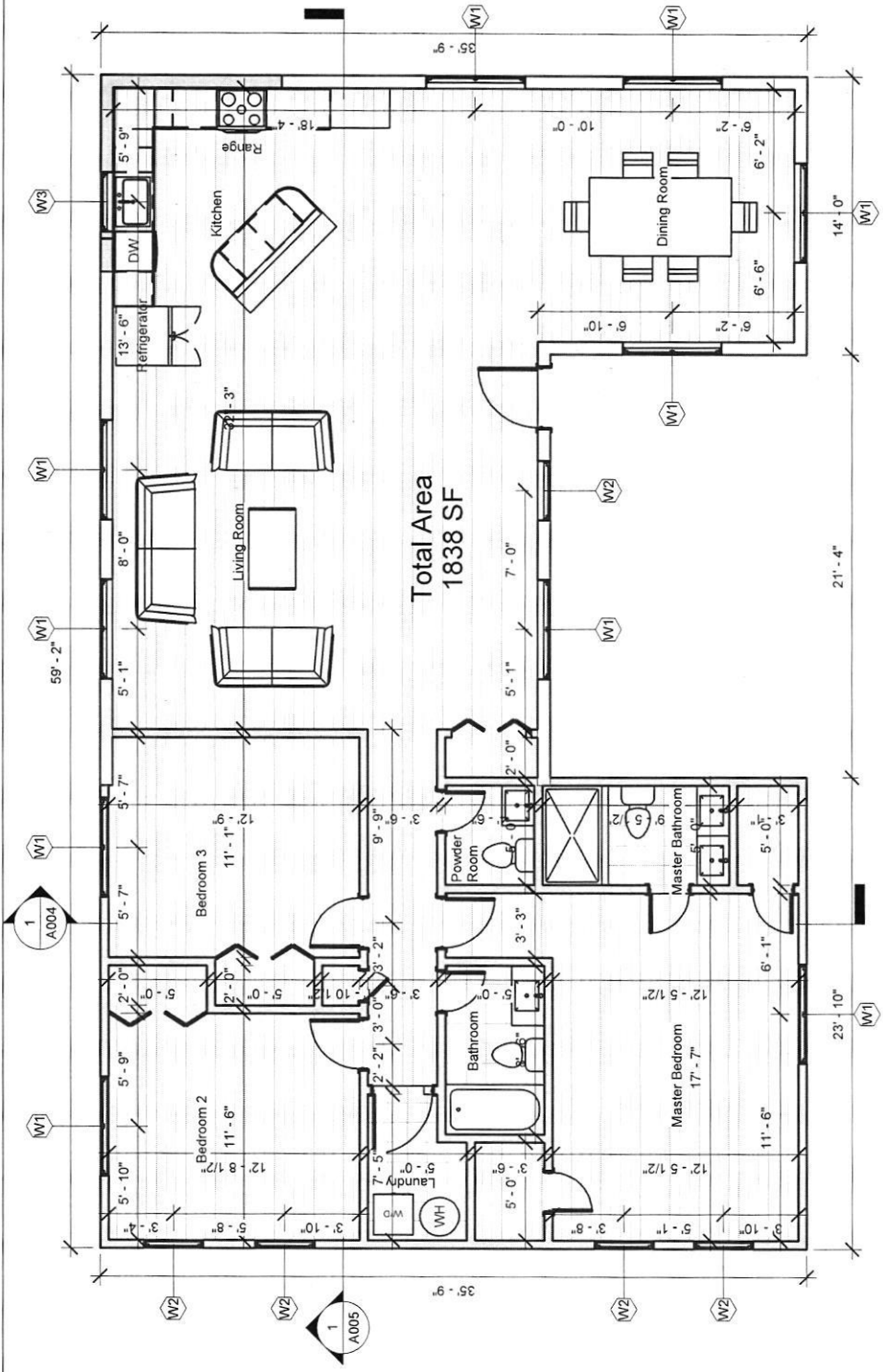


1 Section 1
3/16" = 1'-0"

Section 1			
Project number	Project Number		
Date	Issue Date		
Drawn by	Author		
Checked by	Checker		
			A004
			Scale: 3/16" = 1'-0"

No.	Description	Date

DATIS Real Estate
7965 Harriet Tubman, Columbia, MD 21044



1 Main Level - Proposed
3/16" = 1'-0"

Main Level - Proposed

Project number	Project Number
Date	Issue Date
Drawn by	Author
Checked by	Checker

A001

Scale: 3/16" = 1'-0"

No.	Description	Date

DATIS Real Estate

7965 Harriet Tubman, Columbia, MD 21044

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 12/21/2021 Online Permit
To: Plan Review / Health Dept
(Person's Name and Division)
From: Pooyan Noori, DATIS Construction (202) 999-5987
(Your Name, Company Name and Telephone Number)
Subject: Project name 7965 Harriet Tubman
Project site address 7965 Harriet Tubman Ln, Columbia, MD 21044
Permit # B 21004868 SDP # _____
Other information pertinent to this project _____

✓ Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- Letter Summarizing Changes
- Energy conservation calculations
- 3 Copies of Building Drawing (be specific). Architectural / structural
_____ Health Department Request _____ DPZ/ DED Request _____ Applicant's Request
- Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
- 2 Other Copies of survey (plot plan)

Contact Person Information: (Required)

Pooyan Noori
Please Print Name

Telephone No: (202) 999-5987

E-Mail Address: pooyan.nk@gmail.com

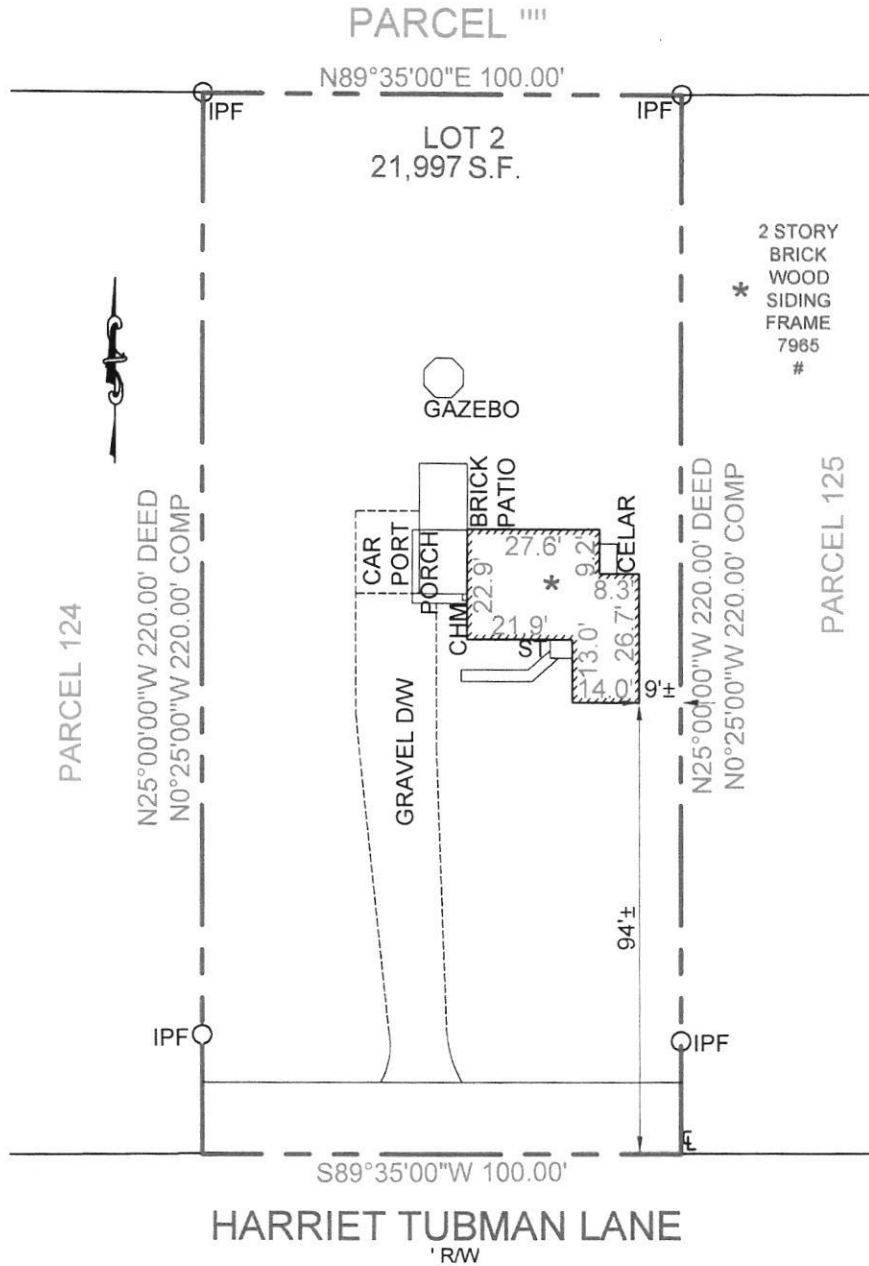
PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by [Signature]

DILP 2021 DEC 21 AM 11:4

LOCATION DRAWING

ADDRESS: 7965 HARRIET TUBMAN LANE



- NOTES:
1. THIS LOCATION DRAWING IS OF BENEFIT TO A CONSUMER ONLY IN SO FAR AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR REFINANCING.
 2. THIS LOCATION DRAWING IS NOT TO BE RELIED UPON FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING.
 3. LEVEL OF ACCURACY IS 1'±.

DRAWN BY: BF

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY SHOWN HEREON FOR THE PURPOSE OF LOCATING THE IMPROVEMENTS ONLY, AND THE PROPERTY CORNERS HAVE NOT BEEN ESTABLISHED OR SET, UNLESS OTHERWISE NOTED. WE ASSUME NO RESPONSIBILITY, OR LIABILITY FOR ANY RIGHT-OF-WAYS ON THE RECORD OR EASEMENTS RECORDED OR UNRECORDED NOT APPEARING ON THE RECORDED PLAT OR MENTIONED IN THE DEED REFERRED TO HEREON. NO TITLE REPORT WAS FURNISHED.



10/28/2021

PROFESSIONAL SEAL

DATE

LAND PRO ASSOCIATES, LLC.

8843 GREENBELT ROAD SUITE 334
LANHAM, MD 20770
PHONE 301-388-1944
FAX 301-794-8751
LANDPRO@MAIL.COM

LOCATION DRAWING
LOUIS M & EVA M BROWN
LOT 2 DISTRICT 5
BOOK 20689 PAGE 354
HOWARD COUNTY, MARYLAND

SCALE: 1" = 30'

DATE: 10/28/2021

FILE: #7965 HARRIET TUBMAN LANE CASE: # 0