

PERMIT NUMBER: B **22002834** DATE ACCEPTED:

**COMMERCIAL BUILDING PERMIT APPLICATION**  
 HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS  
 3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4  
[www.howardcountymd.gov](http://www.howardcountymd.gov)

**BUILDING SITE ADDRESS REQUIRED**

Street Address: **4310 Columbia Rd.** Unit: \_\_\_\_\_  
 City: **Ellicott City** State: **MD** Zip Code: **21042**  
 Subdivision/Village/Complex Name: **Forest Hill Pool +Tennis Club** SDP/WP/BA #: \_\_\_\_\_  
 Lot: \_\_\_\_\_ Tax Map: \_\_\_\_\_ Parcel: \_\_\_\_\_ Grading Permit #: \_\_\_\_\_

**DESCRIPTION OF WORK REQUIRED**

Existing Use: **Deck** Proposed Use: **Deck** Estimated Cost: \$ **90,000**  
 Trade Work to Be Completed (Separate Permits Required):  Mechanical (HVACR)  Electrical  Plumbing  None  
**Composite deck 100' x 14', 16 steps plus railings**  
**Duradeck membrane for the roof, new roof**

**PROPERTY OWNER INFORMATION REQUIRED**

Owner(s) Name(s) (As it appears on tax records): **Forest Hill Swim & Tennis Club**  
 Owner's Street Address: **4310 Columbia Rd**  
 City: **Ellicott City** State: **MD** Zip Code: **21042**  
 Phone: **410-465-1386** Email: **matthewkbaldwin@gmail.com**

**TENANT INFORMATION REQUIRED**

Business Name: **Forest Hill Swim & Tennis Club** Contact Name: \_\_\_\_\_  
 Street Address: **4310 Columbia Rd**  
 City: **Ellicott City** State: **MD** Zip Code: **21042**  
 Phone: **410-465-1386** Email: **matthewkbaldwin@gmail.com**

**APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION**

Business Name: **Maryland's Best Remodeling** Contact Name: **Mike Criddle**  
 Street Address: **1806 Sparrows Dr.**  
 City: **Woodbine** State: **MD** Zip Code: **21797**  
 Phone: **443-474-7899** Email: **Mike @ marylandsbest.com**

**CONTRACTOR INFORMATION REQUIRED**

Business Name: **Maryland's Best Remodeling**  
 Licensee's Name: **Michael Criddle** License #: **88399**  
 Street Address: **1806 Sparrows Dr.**  
 City: **Woodbine** State: **MD** Zip Code: **21797**  
 Phone: **443-474-7899** Email: **Mike @ marylandsbest.com**

**ARCHITECT/ENGINEER INFORMATION REQUIRED - INDIVIDUAL WHO SIGNED PLANS**

Business Name: **Steadfast** Name: **Mike Dominelli**  
 Street Address: **564 University Pkwy**  
 City: **Baltimore** State: **MD** Zip Code: **21210**  
 Phone: **443-267-8730** Email: **mikedominelli@steadfast.com**

**BUILDING CHARACTERISTICS (PLEASE SELECT/COMPLETE ALL THAT APPLY)**

Utilities:  Electric  Gas Water Supply:  Public  Private (Well) Sewage Disposal:  Public  Private (Septic)  
 Heating System:  Electric  Natural Gas  Propane  Other: **none** Roadside Tree Project:  No  Yes: #  
 Sprinkler System:  NFPA 13  NFPA 13R  None Fire Alarm System:  Yes  No  Voice Evac

**ADDITIONAL COMMERCIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)**

Area of Construction: **1400** sq ft Gross Area: **2800** sq ft Height: \_\_\_\_\_ ft # of Stories: **1**  
 Construction Classification(s): **Commercial** Use Group: **private pool**  
 Was the tenant space previously occupied?  Yes  No Shell Building Permit # (for interior completions): \_\_\_\_\_

**ADDITIONAL MULTI-FAMILY INFORMATION IF APPLICABLE**

# of efficiency units (MF): \_\_\_\_\_ # of 1 BR (MF): \_\_\_\_\_ # of 2 BR (MF): \_\_\_\_\_ # of 3 BR (MF): \_\_\_\_\_  
 Energy Method:  Performance  UA Alternative  ERI  A 90.1 Gross Area: \_\_\_\_\_ sq ft Occupiable Area: \_\_\_\_\_ sq ft

**AGREEMENT/ DISCAILMER REQUIRED**

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES

APPLICANT'S ORIGINAL SIGNATURE: \_\_\_\_\_ DATE SIGNED: **July 7, 2022**

**FOR OFFICE USE ONLY** CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:

PR  DPZ  OED  Health  SHA  CID

SUBMITTAL FEES: **\$200.00** PAYMENT: **# 2165** ACCEPTED BY: **[Signature]**

\*Per Jeff Pickett, He did not think a red line was required per Applicant





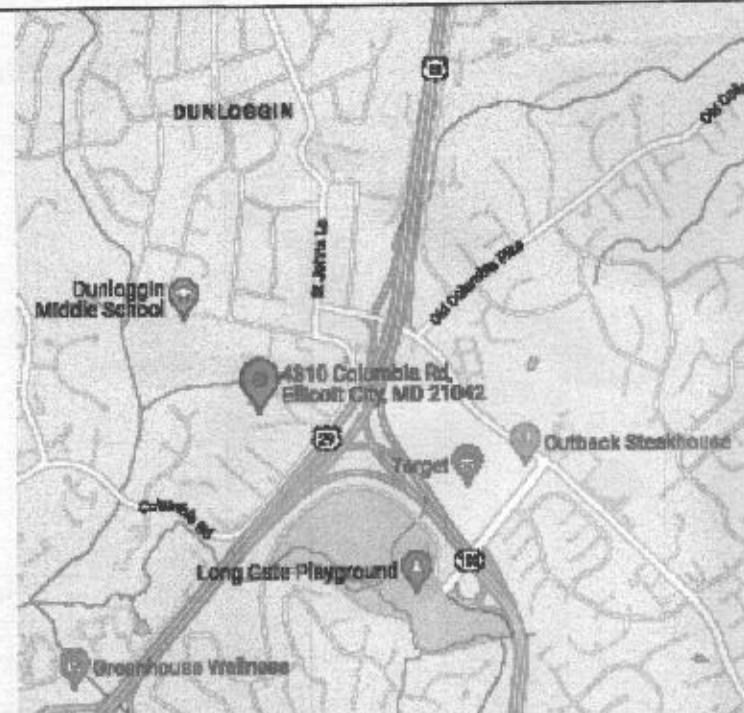
**Property Information**

Howard County  
District - 2  
Account - 209292

Owner:  
Forest Hill  
PO Box 285  
Ellicott City, MD 21042-0285

**Location Plan**

NTS



**Building Code Design Criteria**

International Residential Code 2021  
ASCE 7-16

ASCE Risk Category: II ASCE Exposure Category: B  
ASCE Importance Factor: 1  
IBC Usage Group: A-4 IBC Construction: V-B

Basic Wind Speed, V = 115 mph  
Exposure Category: B  
Design Wind Pressure at Walls (C&C): 20 psf  
Design Wind Uplift at Roof (C&C): 40 psf  
Design Wind Pressure (MWR): 25 psf

Ground Snow Load: 40 psf Design Snow Load: 30 psf

Seismic: SS = 0.143 S1 = 0.043  
Site Class D Design Category A  
Seismic Load / Floor = 0.01 x dead load per floor

Roof Live Load: 40 psf Floor Live Load: 100 psf

Dead Load: 10 psf + self-weight

Deflection Criteria: L / 240 for total loading, L/360 for live loading

Geotechnical: 1 tsf Allowable soil bearing pressure  
Frost depth: 30"

**Summary of Work**

- Existing club house.
- Scope of work is a Level 1 alteration to replace existing deck in kind.

**General Notes**

- All work to be done in accordance with noted Building Code, State and County regulations.
- Contractor must inspect premises carefully before starting work. Contractor shall assume responsibility for all existing conditions as they affect his work.
- All dimensions shown are approximate. Contractor is responsible for making his own measurements in the field, shop drawings and final fitting of all work.
- Contractor shall be responsible for cutting and patching as required to complete the scope of work.
- Contractor shall be responsible for temporary or permanent removal or relocation of building systems as required to complete the scope of work. Contractor shall submit certificate of insurance, with coverage approved by owner, prior to commencing work.
- Contractor shall coordinate his work with the building owners and occupants.
- All work is subject to inspection and acceptance by the engineer.
- Contractor shall be responsible for obtaining required permits.
- All plumbing work to be performed by a licensed plumber.
- All electrical work to be performed by a licensed electrician.
- Contractor shall remove all rubbish, leaving premises broom clean after each day's work.
- Contractor shall take all necessary precautions during construction activity to safeguard the property of the building owner and users.
- Contractor shall keep all exits free of obstructions at all times.
- Contractor shall arrange with owner times for delivery of material and removal of debris in order to avoid disturbance.
- Construction operations will be confined to normal working hours: 9AM to 5PM Monday through Friday, except legal holidays.
- Construction operations will not interrupt services to any occupied portions of the building.
- Construction work will be confined to the area of work described on the drawings. Take precaution to limit dust, dirt or other inconveniences to building users outside of the area of work.

**Fastener Schedule for Structural Members**

Note: Fastener requirements in these tables shall not be used to supersede specifically annotated requirements on the drawings and details

ITEM	DESCRIPTION OF BUILDING ELEMENTS	NUMBER AND TYPE OF FASTENER(S)	SPACING OF FASTENERS	
			Edges (inches)(f)	Intermediate supports (c,e) inches
<b>Roof</b>				
1	Blocking between joists or rafters to top plate, toe nail	3-8d (2-1/2" x 0.113")	6	12(g)
2	Ceiling joists to plate, toe nail	3-8d (2-1/2" x 0.113")	6	12(g)
3	Ceiling joists not attached to parallel rafter, laps over partitions, face nail	3-10d	6	12(g)
4	Collar tie rafter, face nail or 1-1/4" x 20 gage ridge strap	3-10d (3" x 0.128")	6	12(g)
5	Rafter to plate, toe nail	2-16d (3-1/2" x 0.135")	6	12(g)
6	Roof rafters to ridge, valley or hip rafters:			
	toe nail	4-16d (3-1/2" x 0.135")	6	12(g)
	face nail	3-16d (3-1/2" x 0.135")	6	12(g)
<b>Wall</b>				
7	Built up corner studs	10d (3" x 0.128")	6	12(g)
8	Built up header, two pieces with 1/2" spacer	16d (3-1/2" x 0.135")	6	12(g)
9	Continued header, two pieces	16d (3-1/2" x 0.135")	6	12(g)
10	Continuous header to stud, toe nail	4-8d (2-1/2" x 0.113")	6	12(g)
11	Double Studs, face nail	10d (3" x 0.128")	6	12(g)
12	Double top plates, face nail	10d (3" x 0.128")	6	12(g)
13	Double top plates, minimum 48-inch offset of end joints, face nail in lapped area	8-16d (3-1/2" x 0.135")	6	12(g)
14	Sole plate to joist or blocking, face nail	16d (3-1/2" x 0.135")	6	12(g)
15	Sole plate to joist or blocking at braced wall panels	3-16d (3-1/2" x 0.135")	6	12(g)
16	Stud to sole plate, toe nail	3-18d (2-1/2" x 0.113") or 2-16d (3-1/2" x 0.135")	6	12(g)
17	Top or sole plate to stud, end nail	2-16d (3-1/2" x 0.135")	6	12(g)
18	Top plates, laps at corners and intersections, face nail	2-10d (3" x 0.128")	6	12(g)
19	1" brace to each stud and plate, face nail	2-8d (2-1/2" x 0.113") 2 staples 1-3/4"	6	12(g)
20	1" x 6" sheathing to each bearing, face nail	2-8d (2-1/2" x 0.113") 2 staples 1-3/4"	6	12(g)
21	1" x 8" sheathing to each bearing, face nail	2-8d (2-1/2" x 0.113") 3 staples 1-3/4"	6	12(g)
22	Wider than 1" x 8" sheathing to each bearing, face nail	3-8d (2-1/2" x 0.113") 4 staples 1-3/4"	6	12(g)
<b>Floor</b>				
23	Joist to sill or girder, toe nail	3-8d (2-1/2" x 0.113")	6	12(g)
24	1" x 6" subfloor or less to each joist, face nail	2-8d (2-1/2" x 0.113") 2 staples 1-3/4"	6	12(g)
25	2" subfloor to joist or girder, blind and face nail	2-16d (3-1/2" x 0.135")	6	12(g)
26	Rim joist to top plate, toe nail (roof applications also)	8d (2-1/2" x 0.113")	6	12(g)
27	2" planks (plank and beam - floor and roof)	2-16d (3-1/2" x 0.135")	6	12(g)
28	Built up girders and beams, 2-inch lumber layers	10d (3" x 0.128")	6	12(g)
29	Ledger strip supporting joists or rafters	3-16d (3-1/2" x 0.135")	6	12(g)

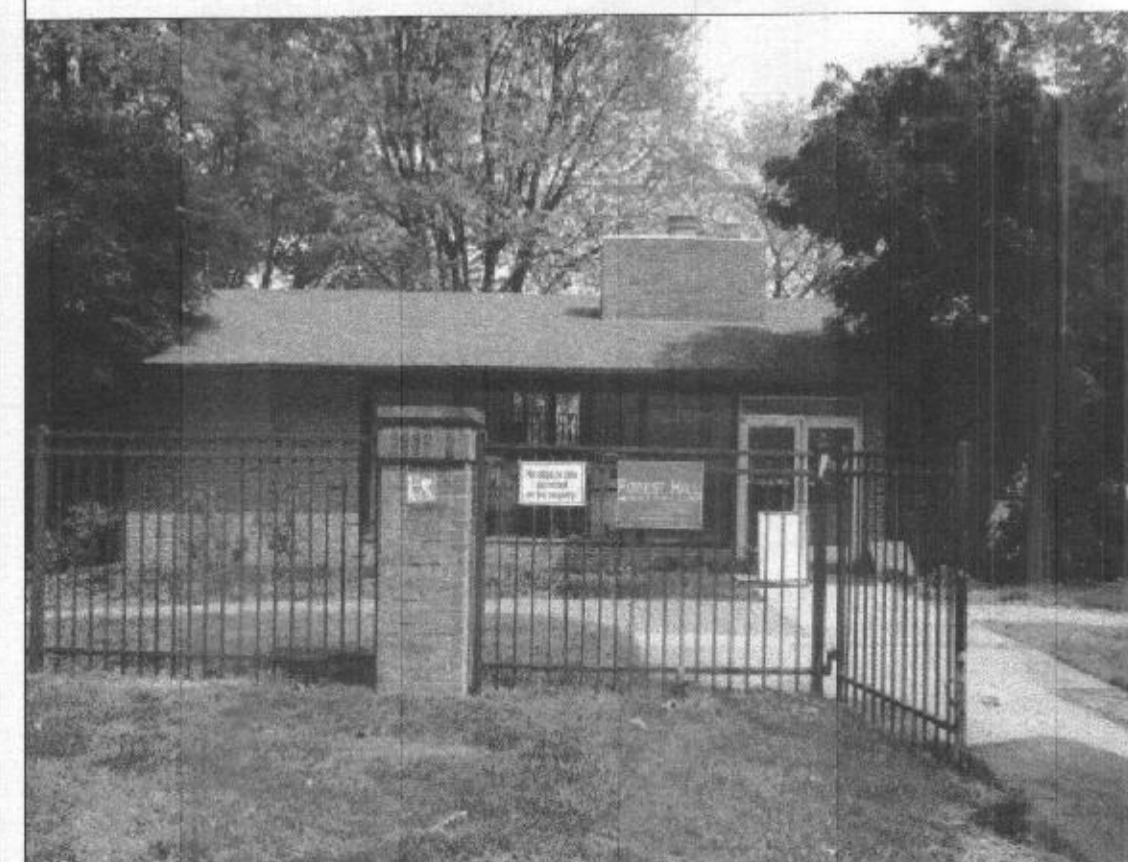
ITEM	DESCRIPTION OF BUILDING MATERIALS	DESCRIPTION OF FASTENER(S)	SPACING OF FASTENERS	
			Edges (inches)(f)	Intermediate supports (c,e) inches
<b>Wood structural panels, subfloor, roof and interior wall sheathing to framing and particleboard wall sheathing to framing</b>				
30	3/8" - 1/2"	8d common (2" x 0.113") nail (subfloor wall)(f) 8d common (2-1/2" x 0.131") nail (roof)	6	12(g)
31	5/16" - 1/2"	6d common (2" x 0.113") nail (subfloor wall) 8d common (2-1/2" x 0.131") nail (roof)(f)	6	12(g)
32	19/32" - 1"	8d common nail (2-1/2" x 0.131")	6	12(g)
33	1-1/8" - 1-1/4"	10d common (3" x 0.148") nail or deformed nail 8d (2-1/2" x 0.131")	6	12
<b>Other wall sheathing(h)</b>				
34	1/2" structural cellulose fiberboard sheathing	1/2" galvanized roofing nail, 7/16" crown or 1" crown staple 16ga., 1-1/4" long	3	6
35	25/32" structural cellulose fiberboard sheathing	1-3/4" galvanized roofing nail, 7/16" crown or 1" crown staple 16ga., 1-1/2" long	3	6
36	1/2" gypsum sheathing(d)	1-1/2" galvanized roofing nail, staple galvanized, 1-1/2" long, 1-1/4" screws, Type W or S	7	7
37	5/8" gypsum sheathing(d)	1-3/4" galvanized roofing nail, staple galvanized, 1-5/8" long, 1-5/8" screws, Type W or S	7	7
<b>Wood structural panels, combination subfloor underlayment to framing</b>				
38	3/4" and less	8d deformed (2" x 0.120") nail or 8d common (2-1/2" x 0.131") nail	6	12
39	7/8" - 1"	8d common (2-1/2" x 0.131") nail or 8d deformed (2-1/2" x 0.120") nail	6	12
40	1-1/8" - 1-1/4"	10d common (3" x 0.148") nail or 8d deformed (2-1/2" x 0.131") nail	6	12

**Timber Framing Notes**

- All framing shall be in accordance with the latest editions, including errata of the "National Design Specification for Wood Construction" (ANSI/AWC NDS) as published by the American Wood Council (AWC).
- All wood products, fasteners and connectors shall be approved for use by the International Code Council Evaluation Service (ICC ES).
- All lumber materials used in the building shall be good, sound, dry material free from large and loose knots, shakes and other imperfections whereby the strength may be impaired, and of the size indicated on the drawings.
- All workmanship, including nailing, blocking, bridging, etc., shall conform to the requirements of the IBC or IRC.
- All beams, joists and rafters to be set with natural crown up.
- Place face grain in direction of span (traverse to joist span).
- Joist hangers, framing anchors and post anchors shall be galvanized steel as manufactured by Teco, USF, Simpson or approved equal. Special nails as supplied by manufacturer shall be used for required nailing.
- Provide seal of neoprene or other approved material where wood bears on masonry.
- Provide min. blocking between joists of 8'-0" o.c. (staggered) and at all end and intermediate supports.
- Exterior lumber and sill plates shall be pressure-treated (PT) per ANPA requirements and recommendations. Lumber shall not be permitted to be incised unless approved by the Engineer.
- Unless indicated on the plans, lumber shall be Douglas Fir-Larch or Southern Yellow Pine No. 2 or better (1.6E).
- Unless otherwise indicated on the plans, dimensional lumber shall be fastened per the fastener table.

**Concrete Notes**

- All concrete design and construction shall be per ACI 318, latest edition.
- All concrete shall be stone concrete conforming to the following:
  - Minimum ultimate compressive strength at 28 days of 5,000 psi.
  - Water-cement ratio 0.4 max.
  - Slump 6" max with superplasticizer
  - Air content 7% ± 1-1/2%
  - Cement content 658 lb/cy min.
- Reinforcing steel shall conform to ASTM designation A615 Grade 60. Welded wire mesh shall be ASTM designation A185 with a minimum fy of 60 ksi.
  - Provide the following minimum cover for reinforcing steel:
    - Slab top reinforcement - 1-1/2"
    - Slab bottom reinforcement - 3/4"
    - Beam top reinforcement - 3" or 3x bar diameter, whichever is greater
    - Beam stirrups at side and bottom of beam - 1-1/2"
    - Beam stirrups at top of beam - 2-1/2"
    - Column ties - 1-1/2"
    - Walls and footings, formed - 1-1/2"
    - Walls and footings, cast against earth - 3"



South Elevation (Front)

**Deck at Forest Hill Swim & Tennis Club**  
**4310 Columbia Road**  
 Ellicott City, Maryland

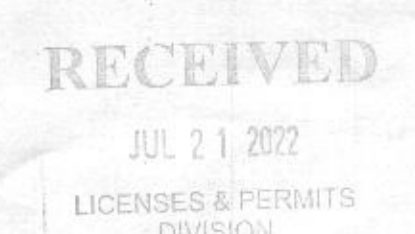


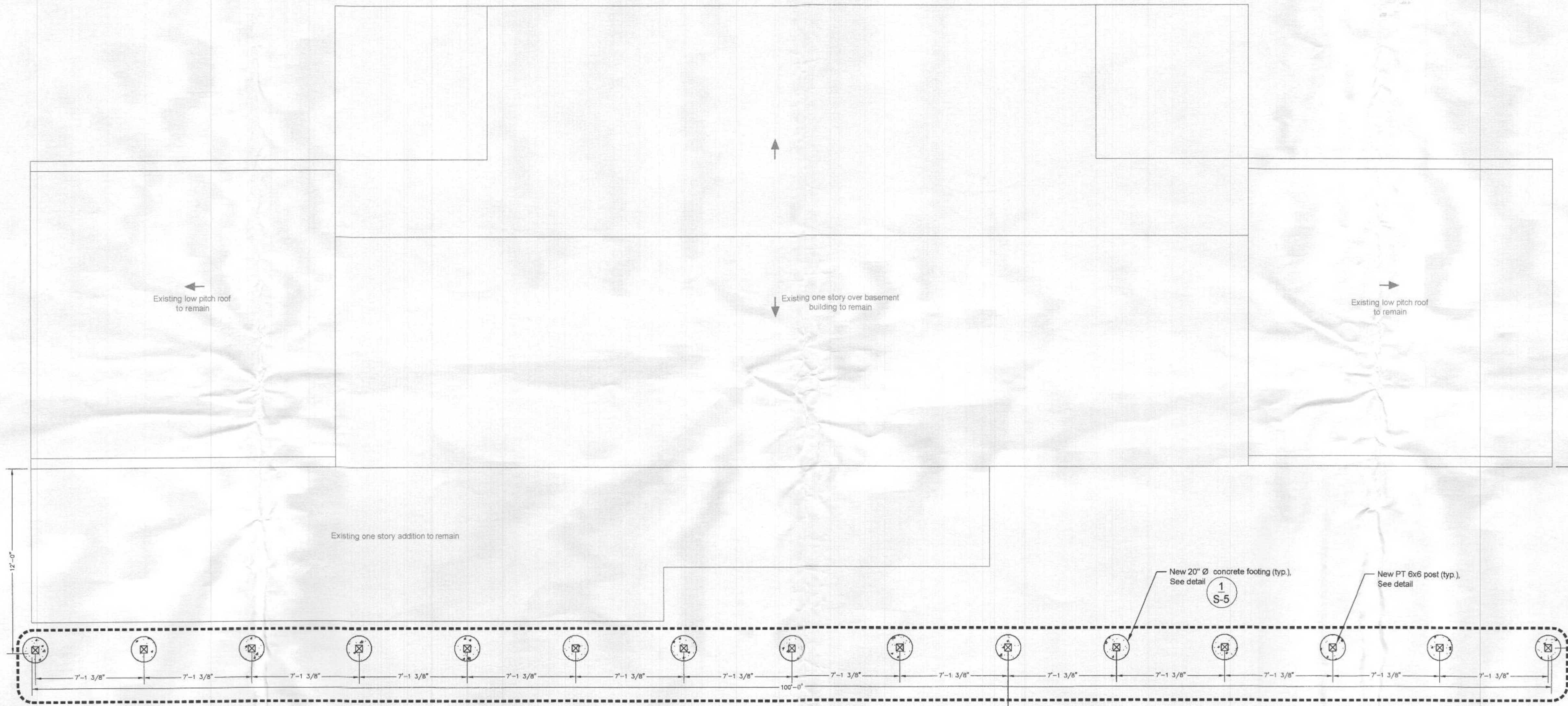
I, Michael F. Dominelli, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17316. Expiration Date: 10-16-2022.

Drawn by: TM  
Checked by: MD  
Date: 5/16/2022  
Project: 21-154

Notes  
Revised:  
**S-1**

*Approved*  
*R22002834*  
*RAC 8/2/2022*

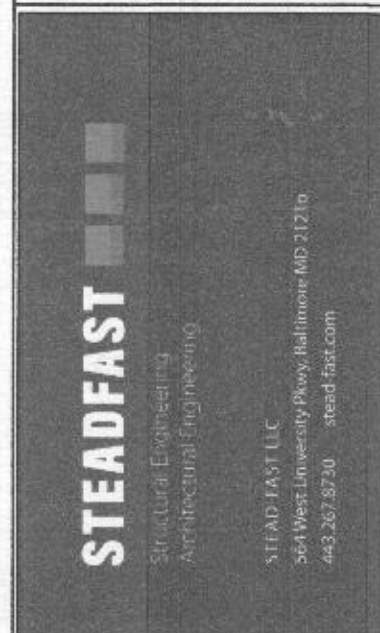




Note:  
 -Posts may be added to accommodate walkways or access to the existing structure.  
 -7'-0" maximum clear span of (3) 2x12 PT designed structure.

1  
 S-2 Footing Plan  
 1/4" = 1'-0"  
 N ↓

Deck at Forest Hill Swim & Tennis Club  
 4310 Columbia Road  
 Ellicott City, Maryland



I, Michael F. Dominelli, hereby certify that these documents were prepared or approved by me or under my direct supervision as a professional engineer under the laws of the State of Maryland. License No. 28023. Expiration Date: 10-16-2022.

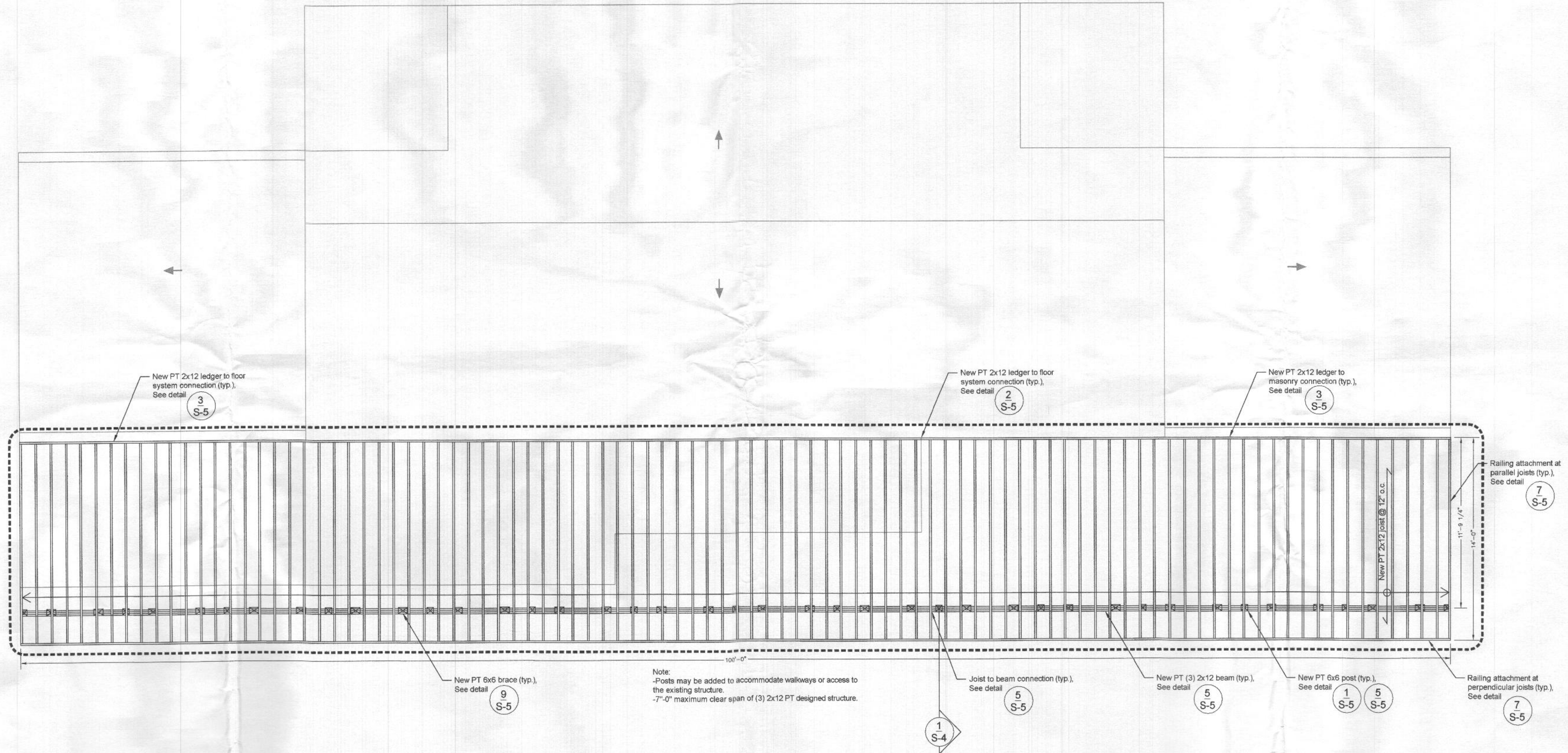
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 Checked by: MD  
 Date: 07/01/22  
 Project: 21-104

Footing Plan

Revised

S-2

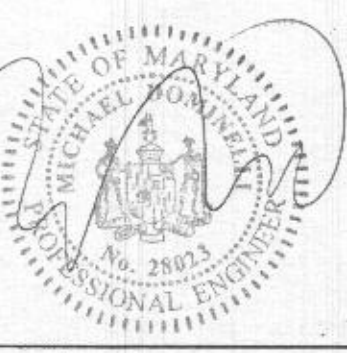
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**1 S-3** Framing Plan  
 1/4" = 1'-0"  
 N ↓

Note:  
 -Posts may be added to accommodate walkways or access to the existing structure.  
 -7'-0" maximum clear span of (3) 2x12 PT designed structure.

**Deck at Forest Hill Swim & Tennis Club**  
 4310 Columbia Road  
 Ellicott City, Maryland

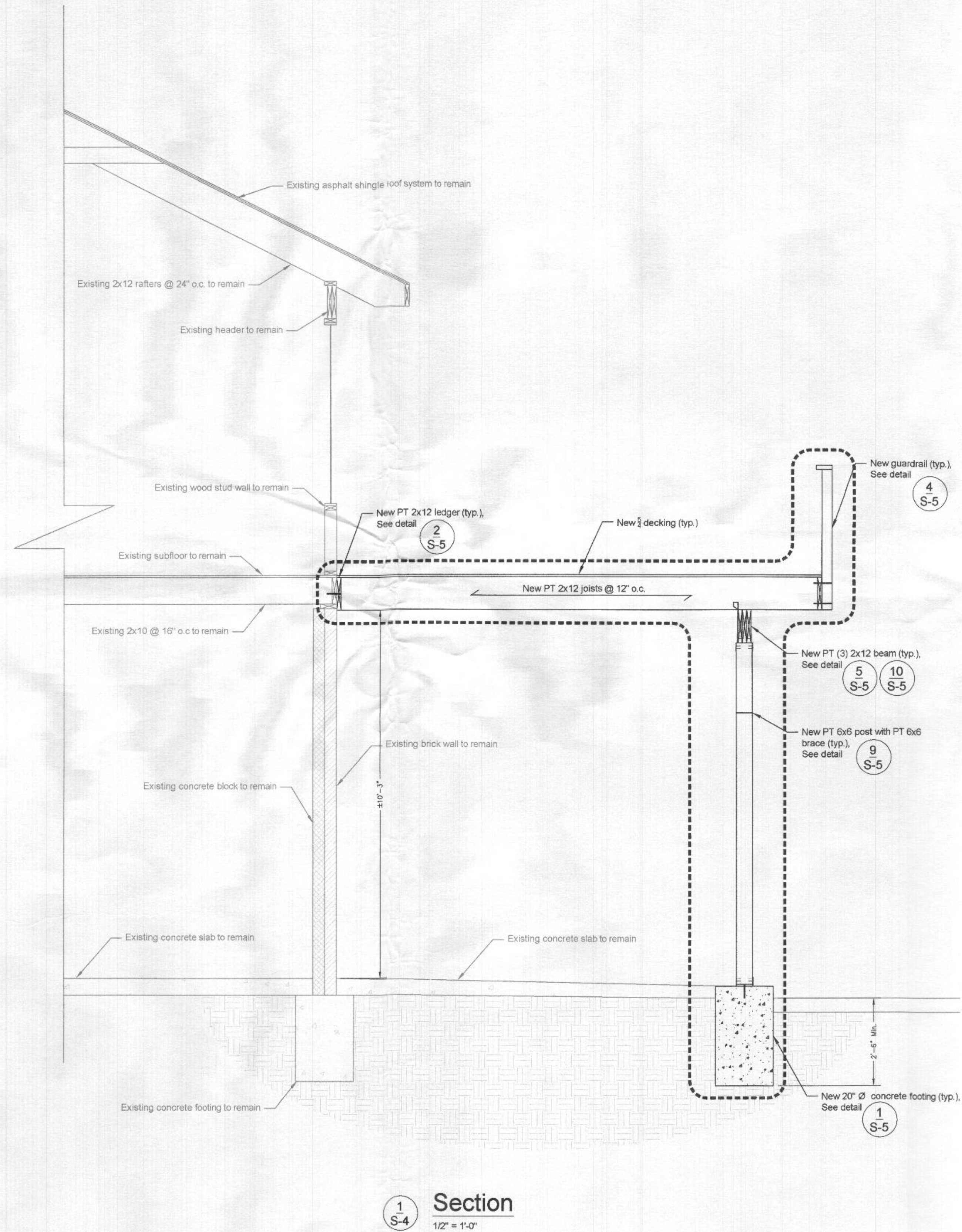


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 Checked by: MD  
 Date: 5/16/2022  
 Project: 21-154

**Framing Plan**  
 S-3

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**1**  
S-4  
**Section**  
1/2" = 1'-0"

**Deck at Forest Hill Swim & Tennis Club**  
4310 Columbia Road  
Ellicott City, Maryland

**STEADFAST**  
Structural Engineering  
Architectural Engineering  
STEADFAST LLC  
345 East University Pkwy, Baltimore MD 21206  
410.528.9176

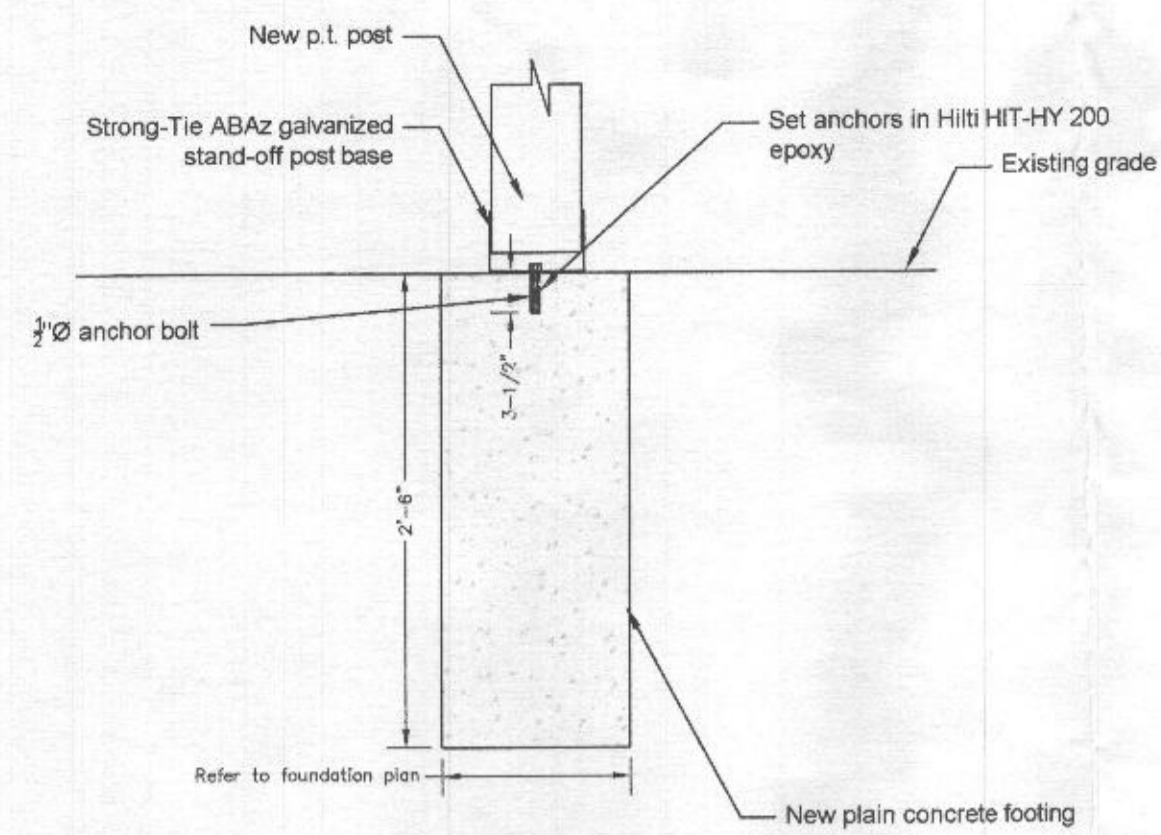


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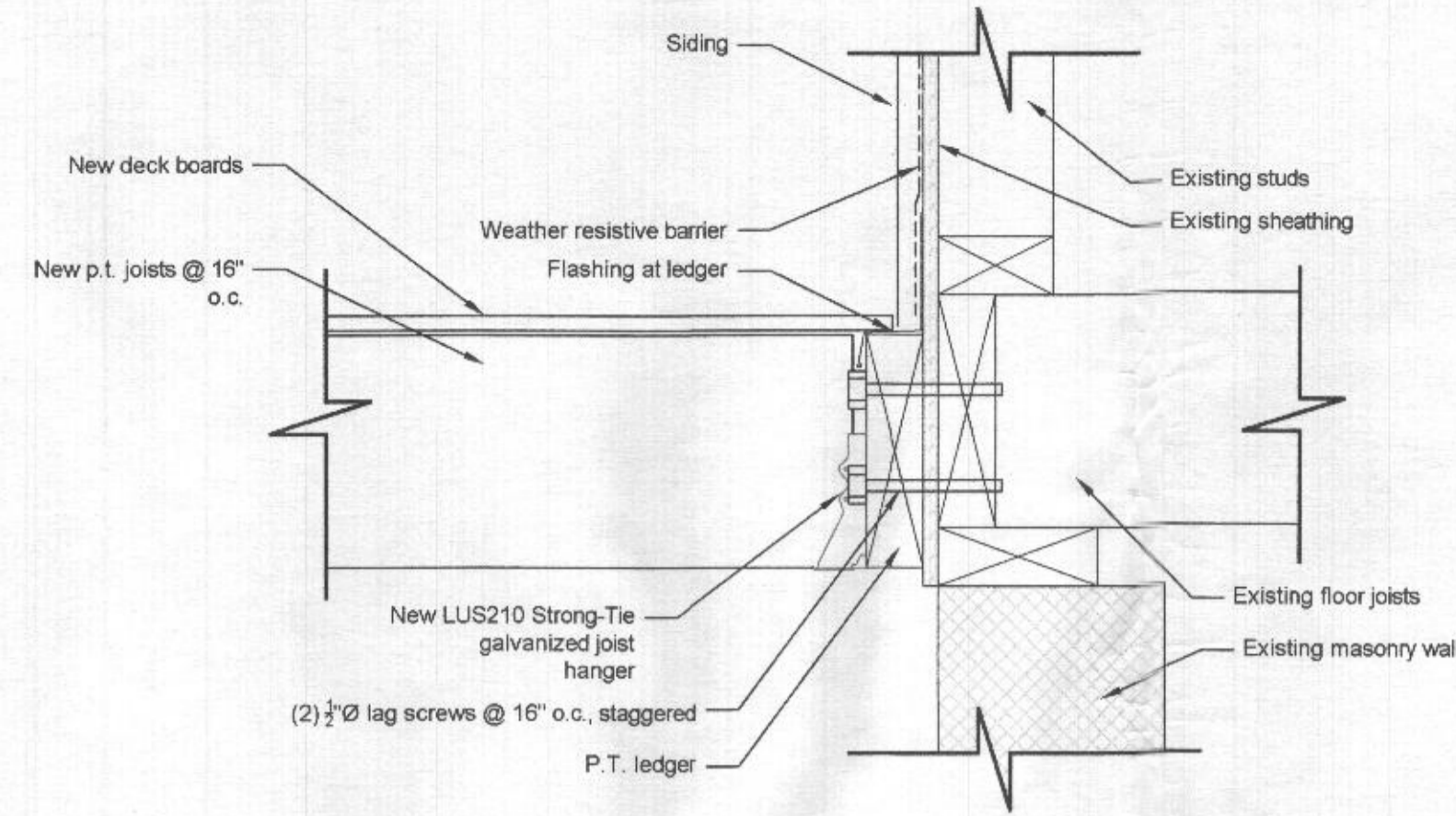
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Checked by: MD  
Date: 07-22-2022  
Project: 21-152

**Framing Plan**  
Revised  
**S-4**

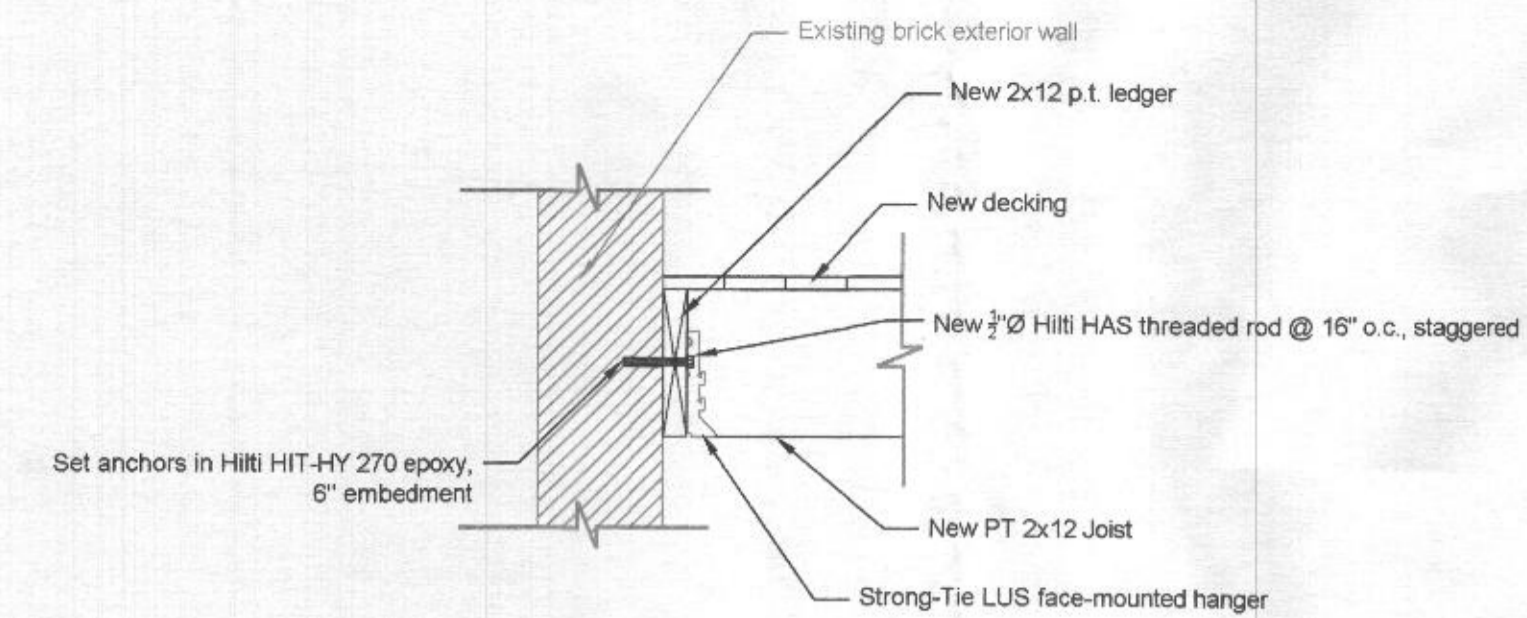
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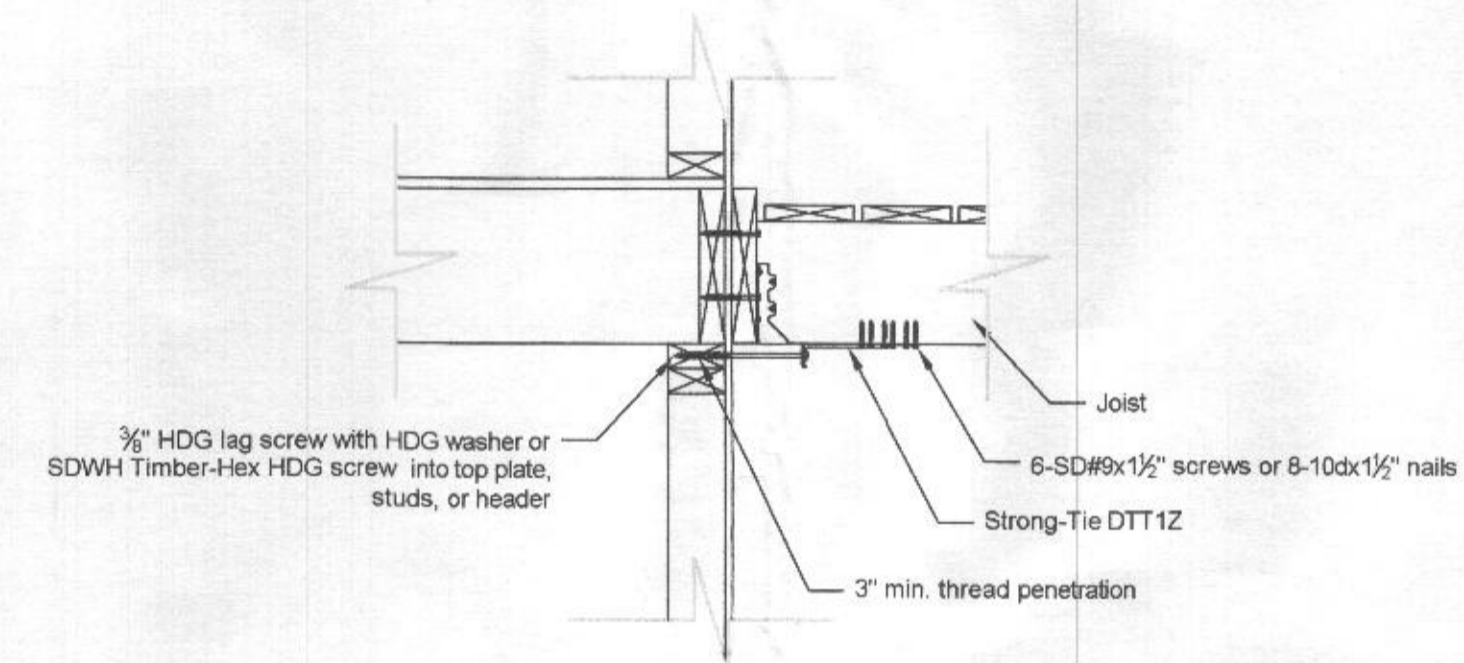
**1**  
S-5 **Round Exterior Footing Detail**  
N.T.S.



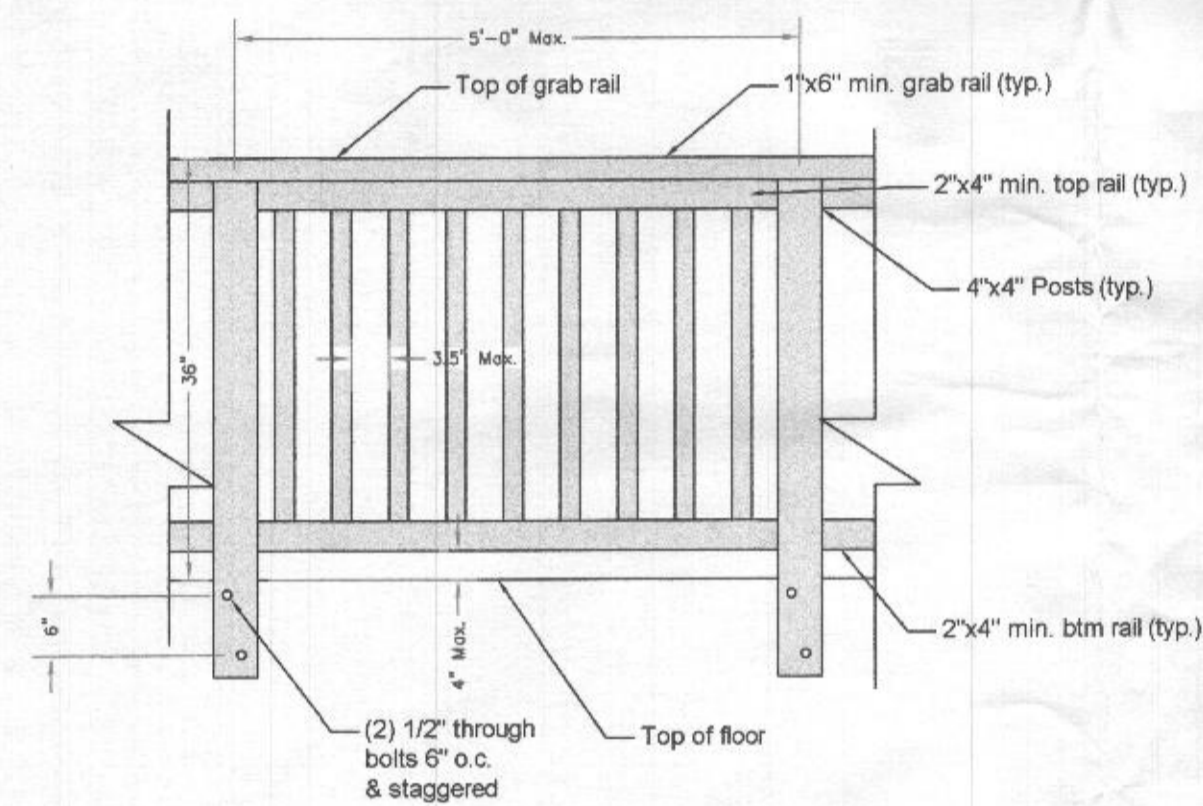
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S-5 **Ledger Connection Detail at Wood Framed Floor**  
N.T.S.



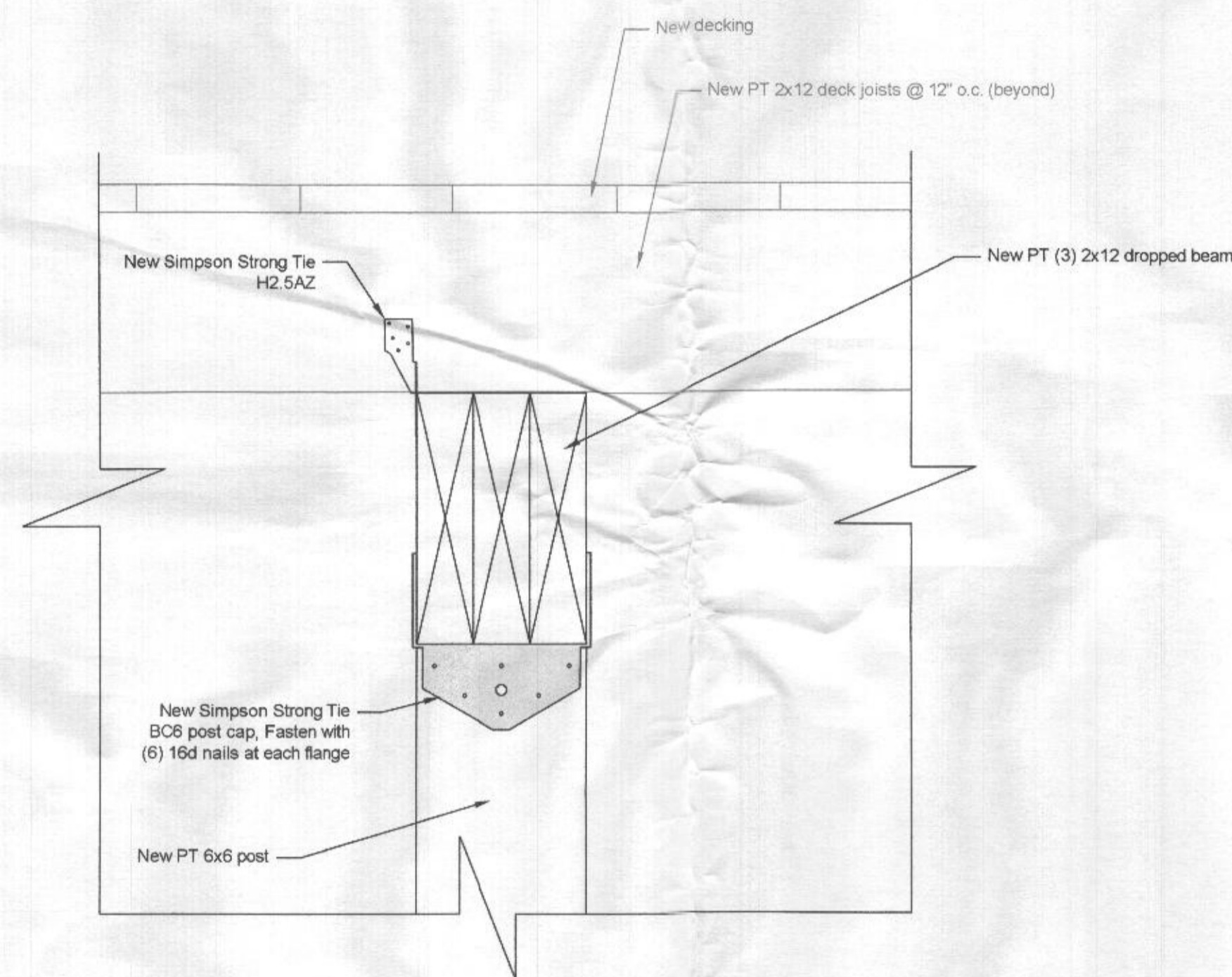
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S-5 **Joist Bearing at Existing Brick Wall**  
N.T.S.



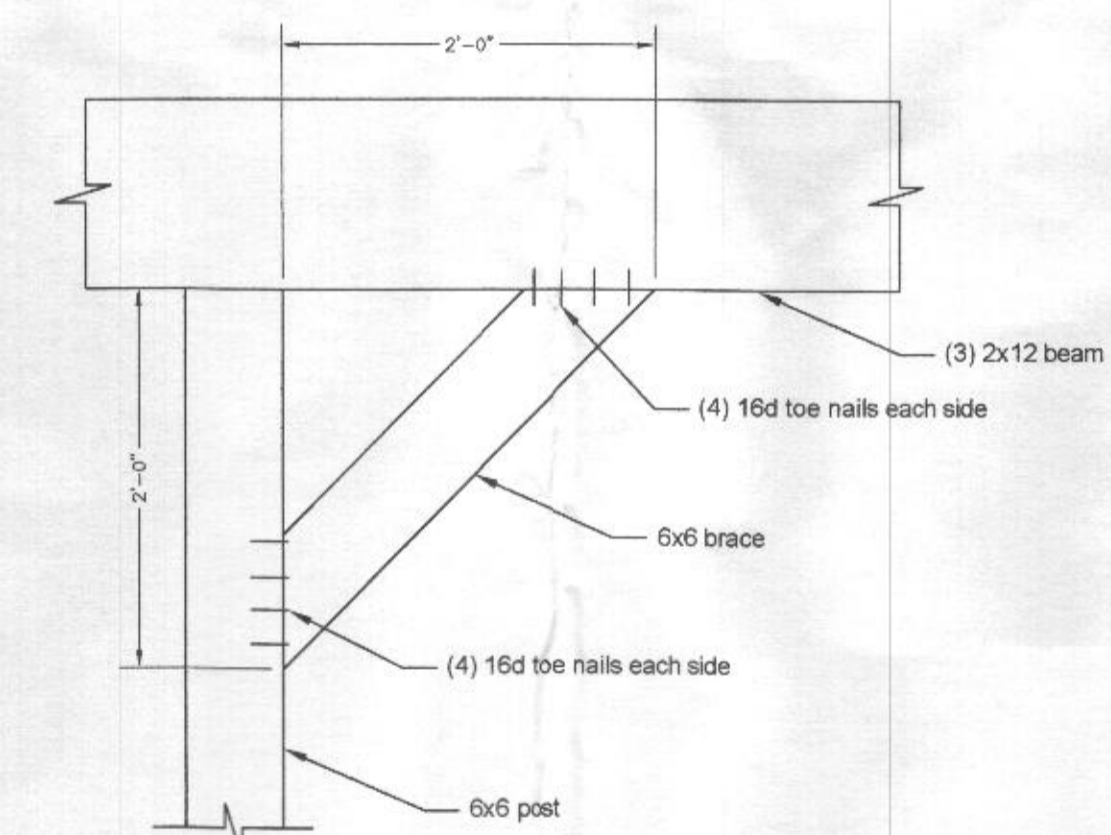
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S-5 **Tension-Tie Connection Detail**  
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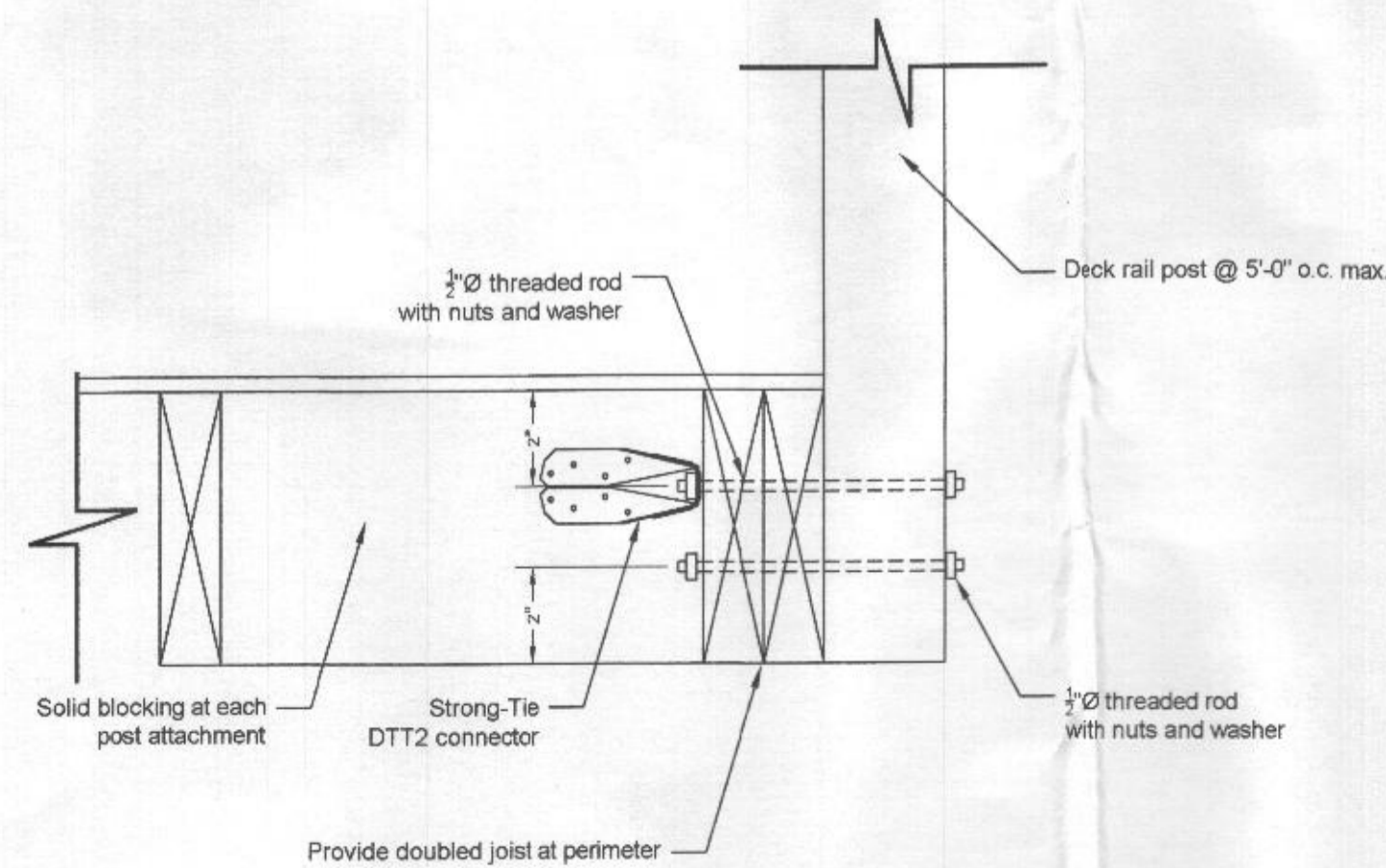
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S-5 **Typical Guardrail Elevation**  
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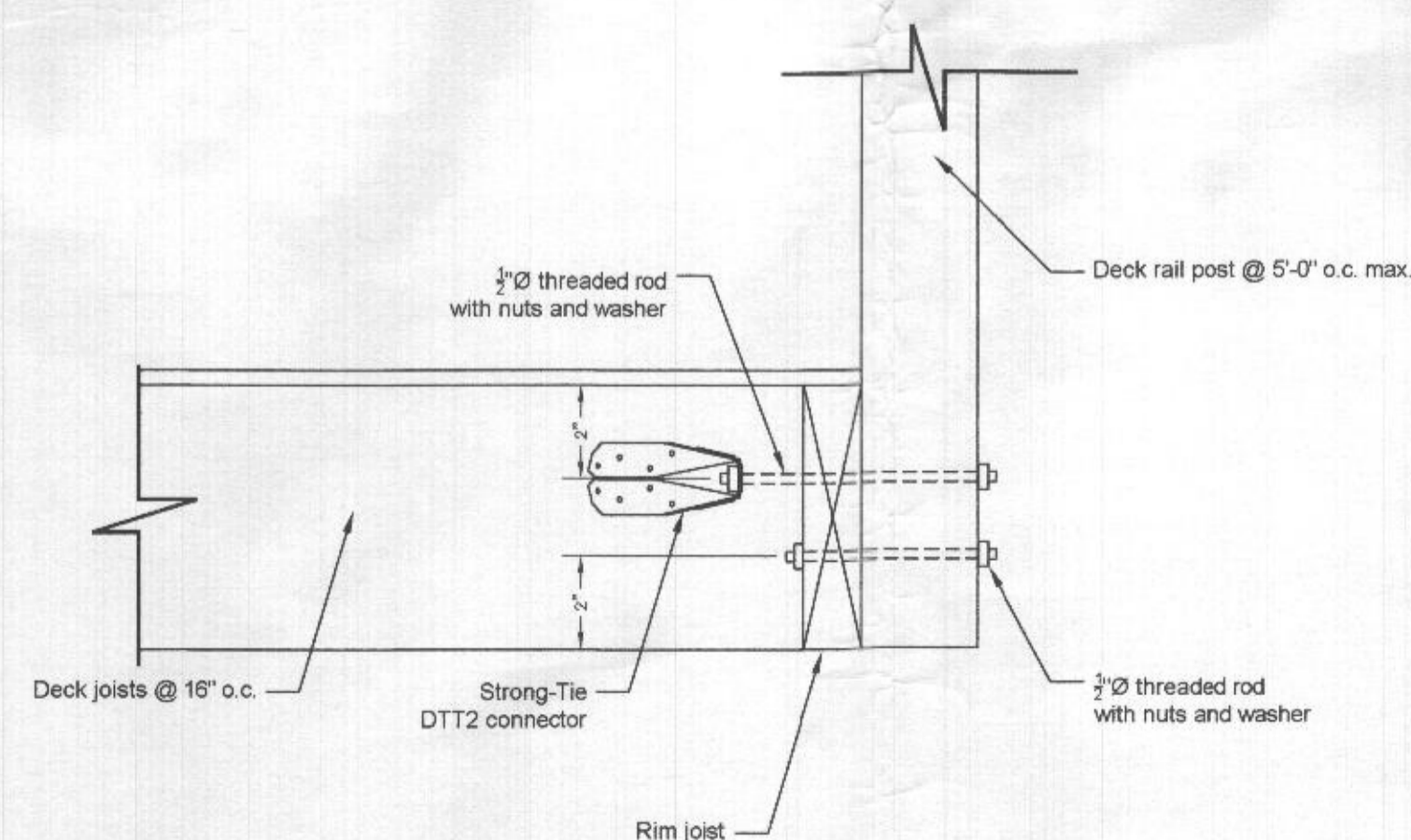
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S-5 **(3) 2x12 Beam-Post Attachment Detail**  
N.T.S.



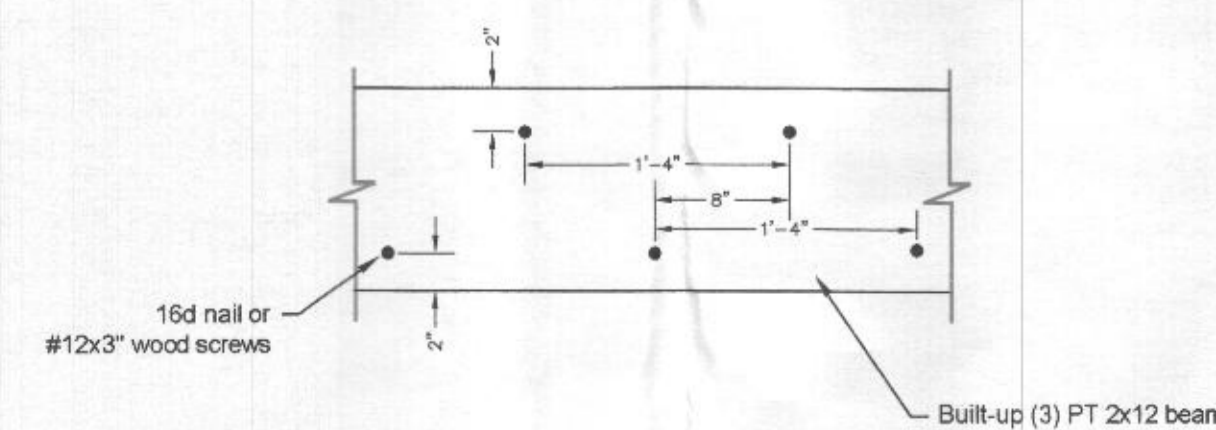
**9**  
S-5 **Detail at 6x6 Brace**  
N.T.S.



**7**  
S-5 **Deck Rail Post Attachment Detail Railing Parallel to Joists**  
N.T.S.



**8**  
S-5 **Deck Rail Post Attachment Detail Railing Perpendicular to Joists**  
N.T.S.



**10**  
S-5 **Built-Up Beam Fastening**  
N.T.S.

**Deck at Forest Hill Swim & Tennis Club**  
4310 Columbia Road  
Ellicott City, Maryland

**STEADFAST**  
STEADFAST LLC  
241 West University Pkwy, Baltimore, MD 21201  
410.529.9739  
steadfast.com



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Details

S-5

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