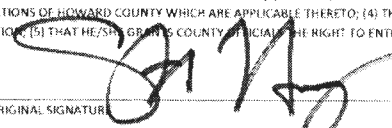


PERMIT NUMBER: B 21004913

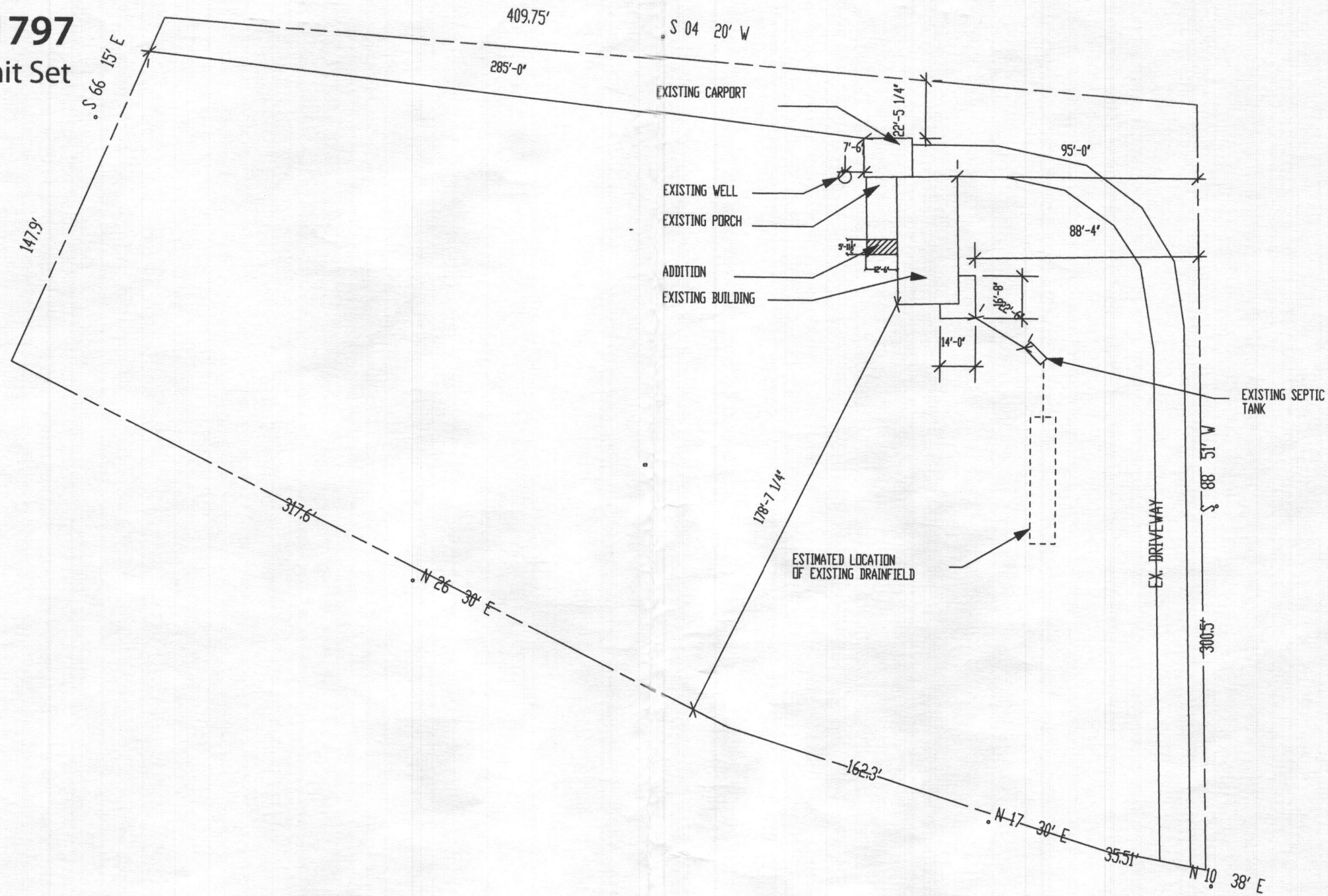
DATE ACCEPTED:

DR P 2021 DEC 20 4:10 PM

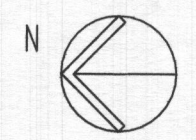
RESIDENTIAL BUILDING PERMIT APPLICATION					
HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS					
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4					
www.howardcountymd.gov					
BUILDING SITE ADDRESS REQUIRED					
Street Address: 605 MORGAN STATION RD				Unit: N/A	
City: WOODBINE		State: MD		Zip Code: 21797	
Subdivision/Village/Complex Name: N/A				SDP/WP/BA #:	
Lot:		Tax Map:		Parcel: 04.312562	
				Grading Permit #: N/A	
DESCRIPTION OF WORK REQUIRED					
Existing Use: RESIDENTIAL		Proposed Use: RESIDENTIAL		Estimated Cost: \$18,000.00	
Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVACR) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> None					
ONE STORY KITCHEN ADDITION OF NET 66 SF					
PROPERTY OWNER INFORMATION REQUIRED					
Owner(s) Name(s) (As it appears on tax records): Seth Harry & Ruth Landsman				Primary Residence: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Owner's Street Address: 605 MORGAN STATION ROAD					
City: WOODBINE		State: MD		Zip Code: 21797	
Phone: 410-913-0856		Email: Scharry@aol.com			
APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION					
Business Name: Seth Harry			Contact Name:		
Street Address: 605 MORGAN STATION RD					
City: WOODBINE		State: MD		Zip Code: 21797	
Phone: 410-913-0856		Email: Scharry@aol.com			
CONTRACTOR INFORMATION REQUIRED					
Business Name: BJC CONSTRUCTION, LLC					
Licensee's Name: EDER RAMIREZ			License #: 05-135522		
Street Address: 1310 MULBERRY CT					
City: PLEASANTON		State: MD		Zip Code: 21701	
Phone: 301-305-8166		Email: ederamirez2009@gmail.com			
ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE					
Business Name: Sweeney Engineering			Name: Pat Sweeney		
Street Address: 1118 Oak Lodge Road					
City: Catonsville		State: MD		Zip Code: 21228	
Phone: 410-319-7446		Email: pat@sweeneyengineering.net			
BUILDING CHARACTERISTICS REQUIRED					
Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)				Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Utilities: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Gas		Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)		Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)	
Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane <input checked="" type="checkbox"/> Other:				Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #	
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input checked="" type="checkbox"/> None				Fire Alarm System: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Voice Evac	
ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)					
Model Name & Options:					
# of Bedrooms (SF):		# of efficiency units (MF*):		# of 3 BR (MF*):	
# Rooms:		# Full Baths:		# Half Baths:	
# Fireplaces:					
Garage/Carport Info: <input type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None					
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial					
1 st Fl Width: 5'-6"		1 st Fl Depth: 12'-0"		2 nd Fl Width:	
2 nd Fl Depth:		Bsmt Width:		Bsmt Depth:	
Energy Method: <input type="checkbox"/> Prescriptive <input checked="" type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI				Gross Area: 66 sq ft	
				Occupiable Area: 66 sq ft	
AGREEMENT/ DISCOUNTER REQUIRED					
THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.					
APPLICANT'S ORIGINAL SIGNATURE: 				DATE SIGNED: 12/20/2021	
FOR OFFICE USE ONLY					
CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY					
AGENCIES REQUIRED/APPROVALS:					
<input checked="" type="checkbox"/> PR		<input checked="" type="checkbox"/> DPZ		<input checked="" type="checkbox"/> DED	
<input checked="" type="checkbox"/> Health 1/22/22		<input type="checkbox"/> SHA		<input type="checkbox"/> CID	
SUBMITTAL FEES: \$25.00		PAYMENT: CK# 822		ACCEPTED BY: AKH	

PLANS RECEIVED

605 Morgan Station Road
 Woodbine, MD 21797
 12.14.21 Permit Set



605 MORGAN STATION ROAD
 WOODBINE, MARYLAND 21797
 SQUARE FOOTAGE OF ADDITION = 69.5 S.F.
 [Symbol] EXISTING BUILDING
 [Symbol] NEW CONSTRUCTION

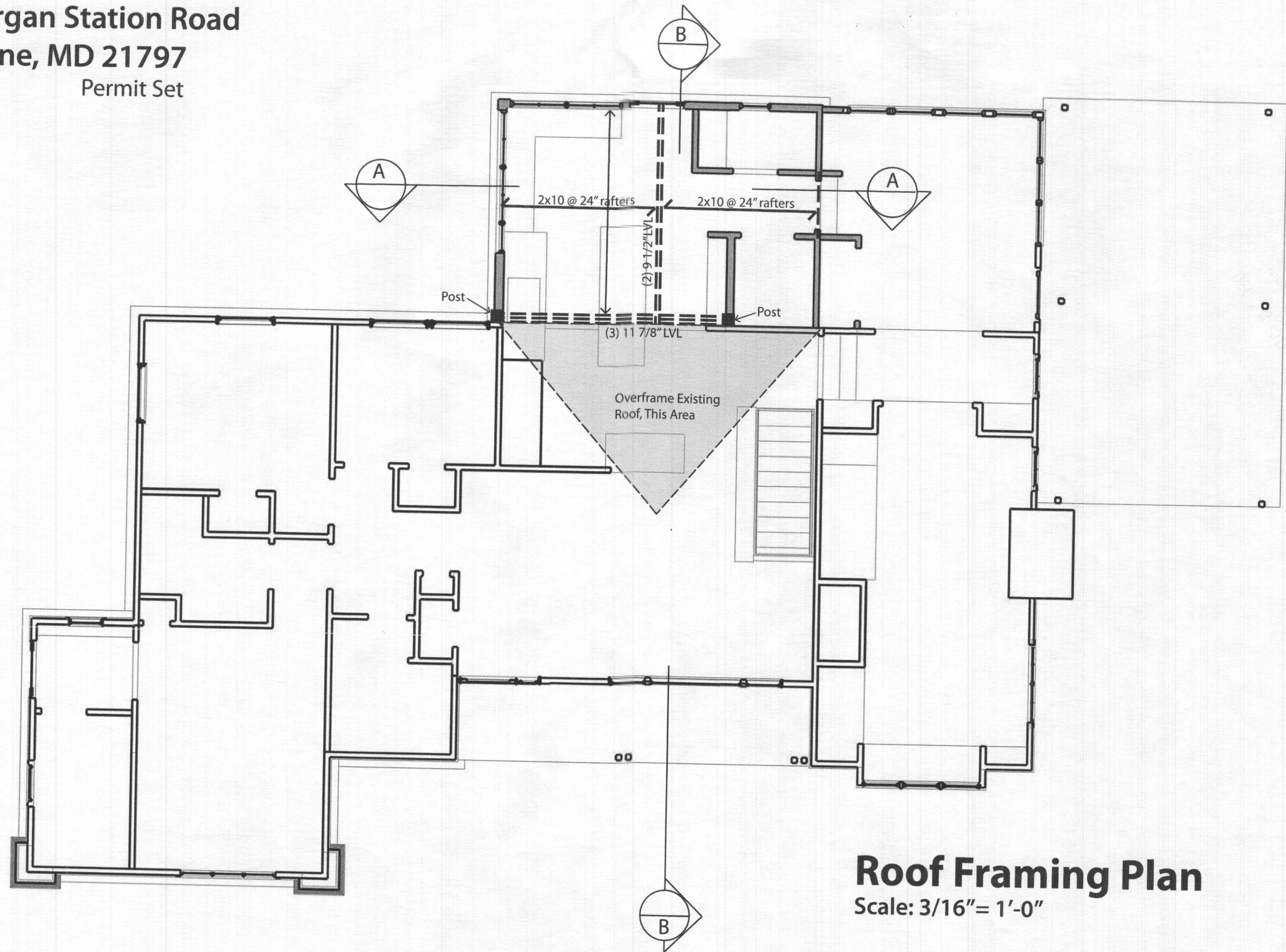


SITE PLAN

SP-1

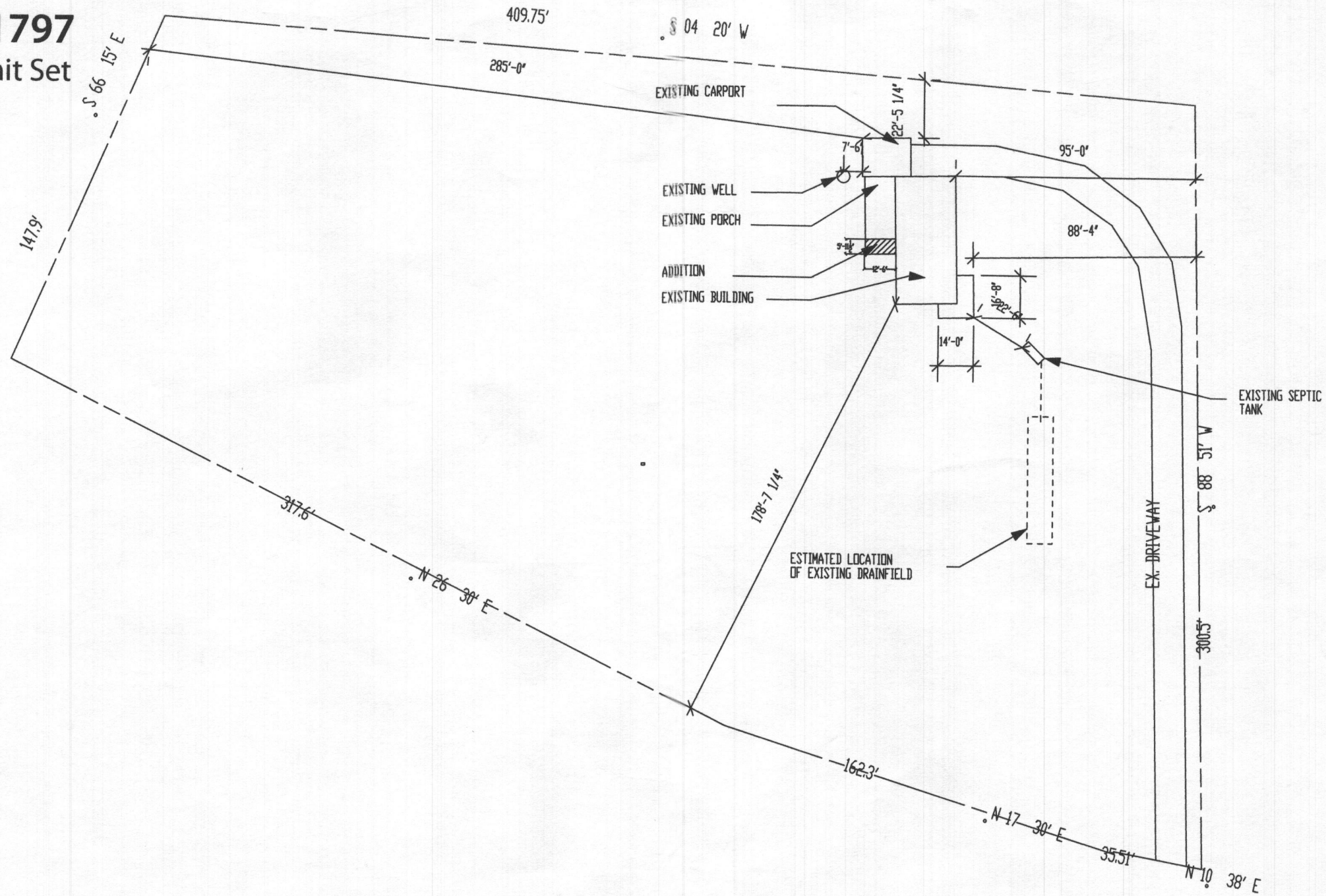
SP-1 Property Site Plan
 1" = 50'-0"

605 Morgan Station Road
Woodbine, MD 21797
12.14.21 Permit Set

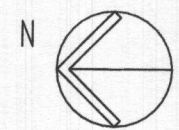


Roof Framing Plan
Scale: 3/16" = 1'-0"

605 Morgan Station Road
 Woodbine, MD 21797
 12.14.21 Permit Set



605 MORGAN STATION ROAD
 WOODBINE, MARYLAND 21797
 SQUARE FOOTAGE OF ADDITION = 69.5 SF.
 [Symbol] EXISTING BUILDING
 [Symbol] NEW CONSTRUCTION



SITE PLAN

SP-1

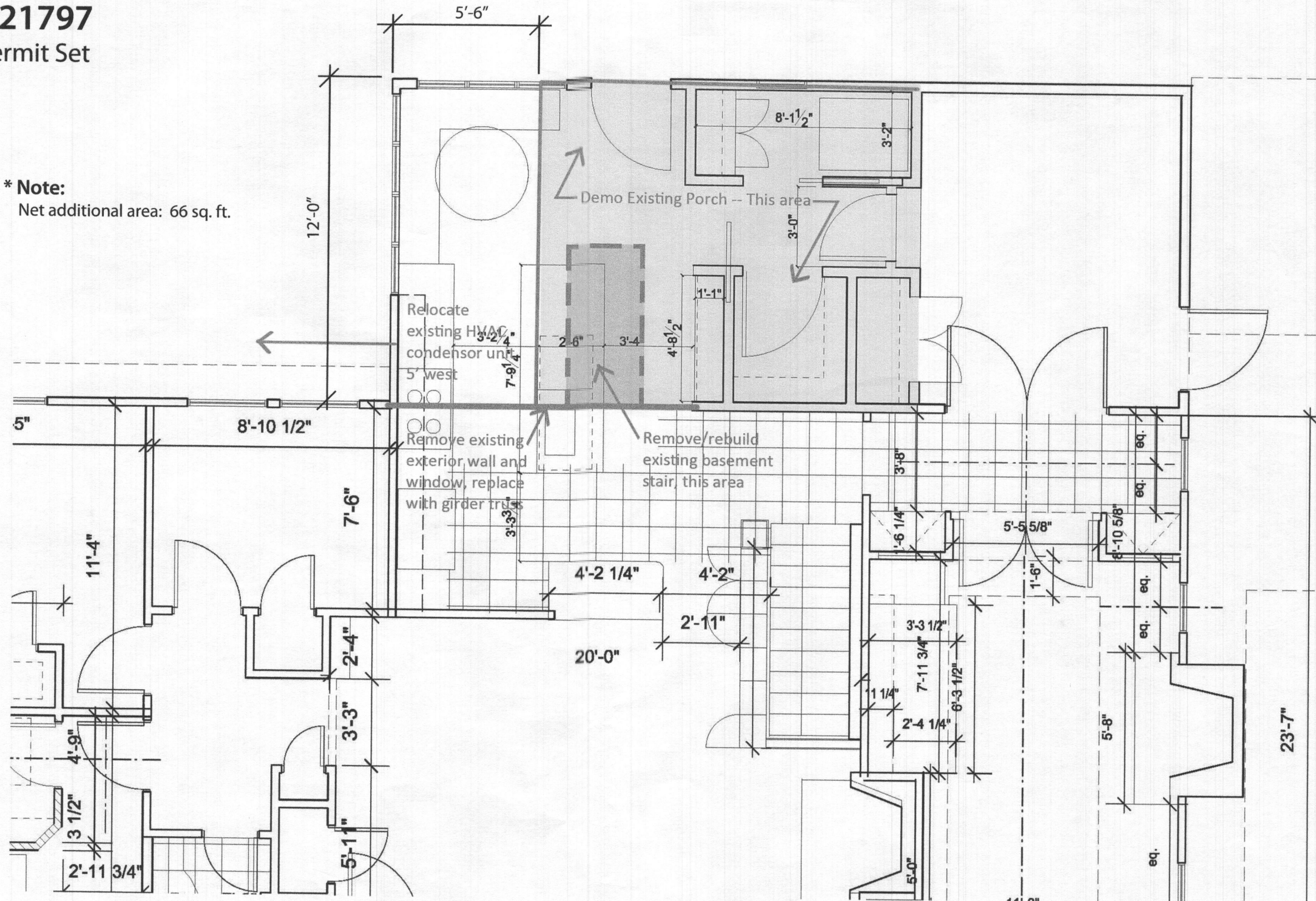
SP-1 Property Site Plan
 1" = 50'-0"

605 Morgan Station Road
Woodbine, MD 21797

12.14.21

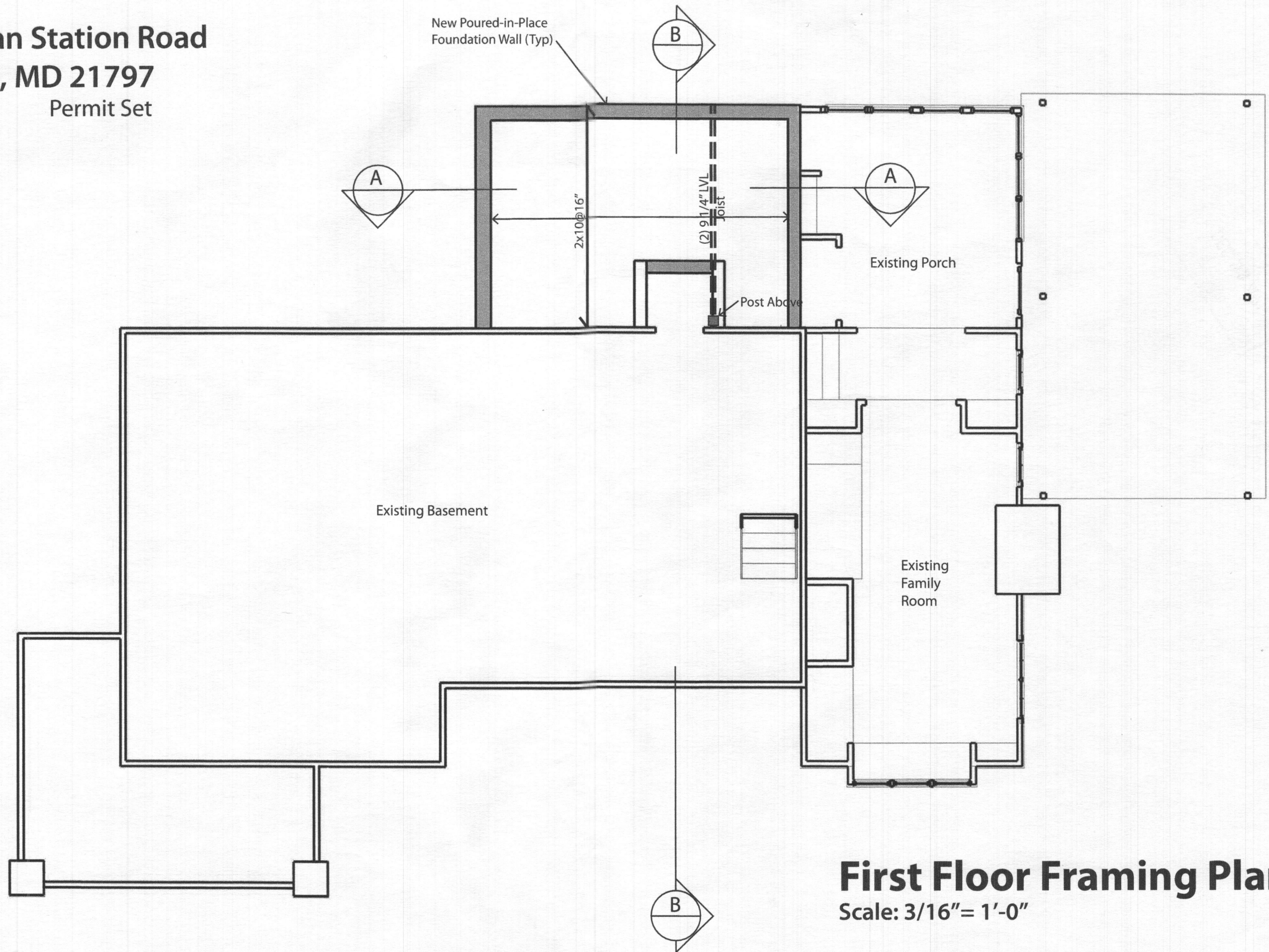
Permit Set

* Note:
Net additional area: 66 sq. ft.



D-1 Demolition Plan
Scale: 1/4" = 1'-0"

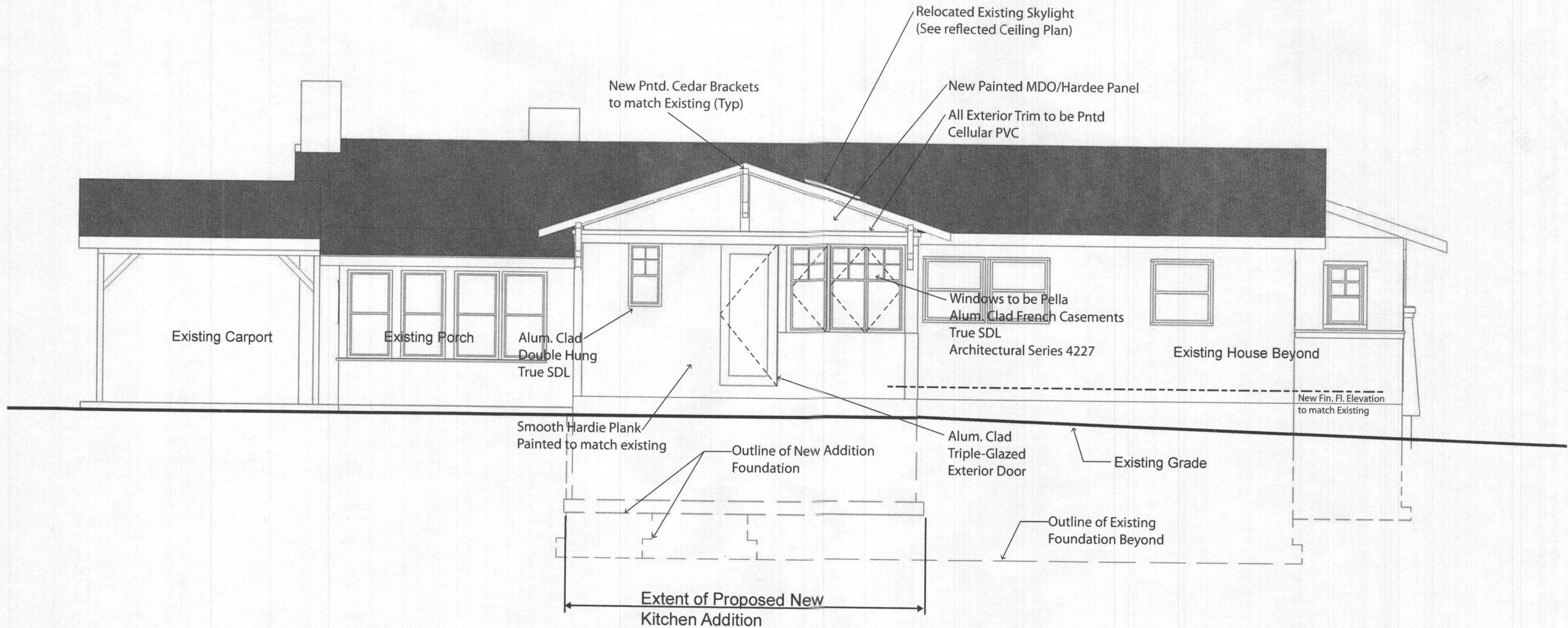
605 Morgan Station Road
Woodbine, MD 21797
12.14.21 Permit Set



First Floor Framing Plan

Scale: 3/16" = 1'-0"

605 Morgan Station Road
Woodbine, MD 21797
12.14.21 Permit Set



North Elevation

Scale: 3/16" = 1'-0"

605 Morgan Station Road

Woodbine, MD 21797

12.14.21

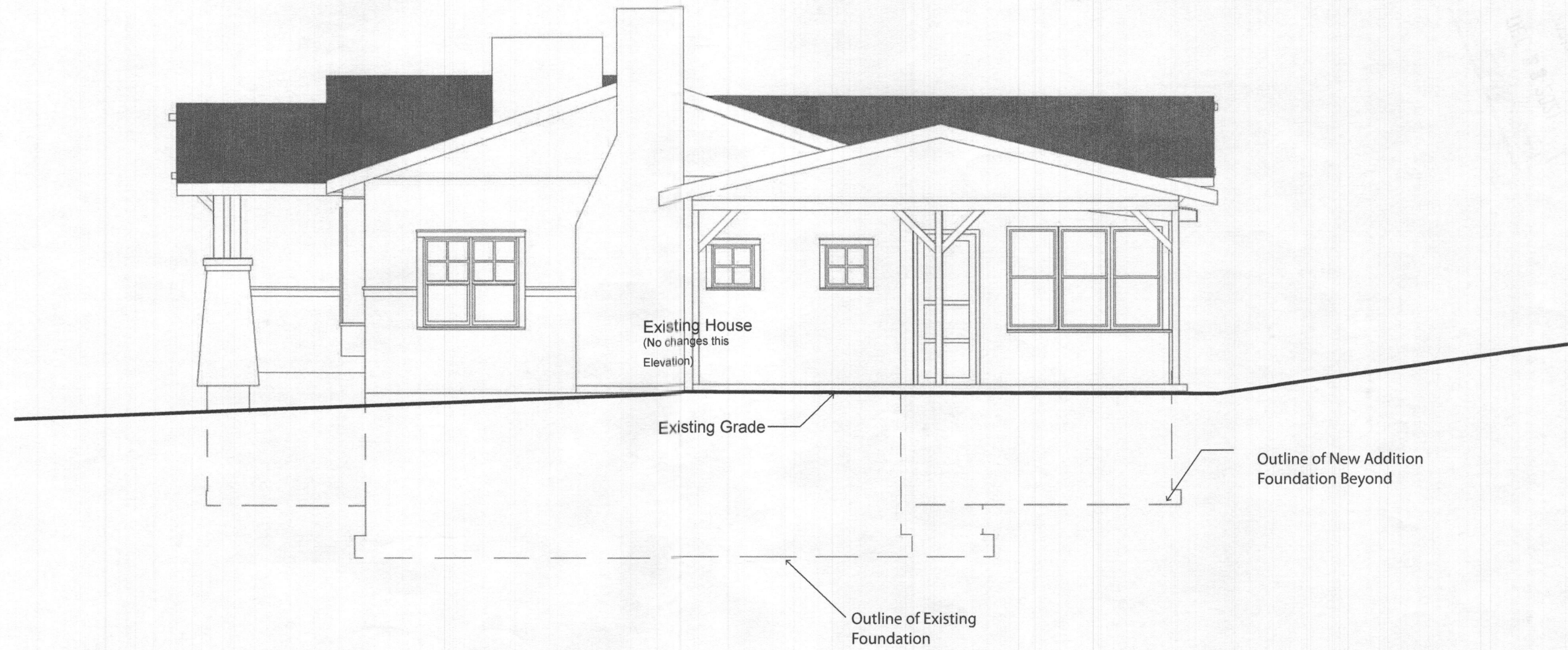
Permit Set



South Elevation

Scale: 3/16" = 1'-0"

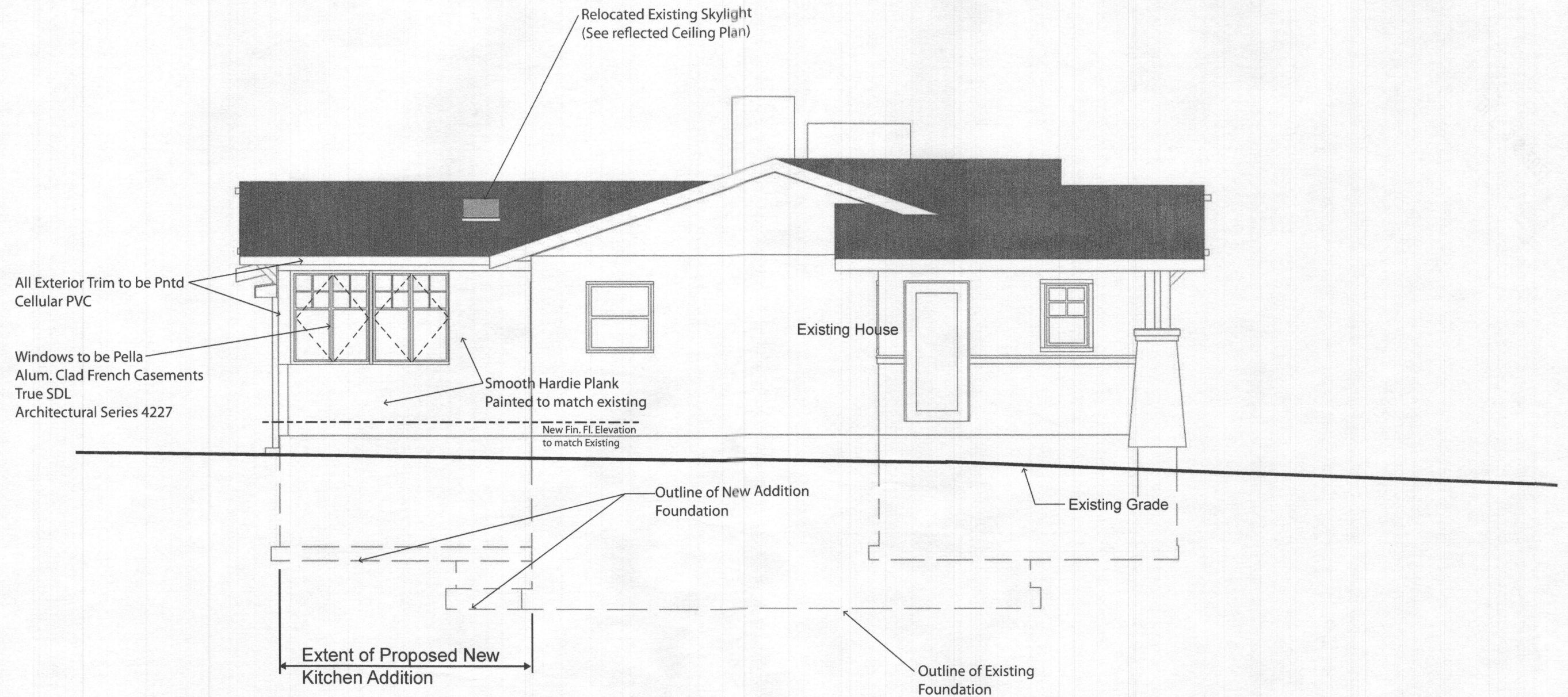
605 Morgan Station Road
Woodbine, MD 21797
12.14.21 Permit Set



East Elevation

Scale: 3/16" = 1'-0"

605 Morgan Station Road
Woodbine, MD 21797
12.14.21 Permit Set



West Elevation
Scale: 3/16" = 1'-0"