

9/2 - Asked for Floor Plans
- Existing and Proposed.

9/16 - Received Proposed Floor Plans
Still need existing

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Addition/SFD	B22003406	09/01/2022
Description of Work		
build a one-story rear addition 26' w x 37' d. To include bdrm, bath, laundry, living area, closets, kitchenette., 1 STORY, Crawl Space, 5R, 1FB, 0HB, 0FP, OTHER STRUCTURE = None, 1BR, PORCH/DECK = N/A, ENERGY METHOD = Prescriptive Method,		

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
4321	BUCKSKIN WOOD	DR
Unit Type	Unit #	X Coordinate
--Select--		-76.97908
		Y Coordinate
		39.25447
City	State	Zip Code
ELLCOTT CITY	MD	21042
	Primary	
	Yes	

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
889787	77	40027	175000	0	753700	RURAL
Legal Description						
IMPVLOT 10 40027 SQ[]4321 BUCKSKIN WOOD DR[]BUCKSKIN RIDGE						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	10	605101	5				
Plan Area	State Tax Id	Subdivision Name					
	1405435951						
Section	Area	Tax Map					
		22					
Grid	Zoning District	ADC Map					
22-20	RR-DEO	4813-D10					
SDP No.	Final Plan No.	WP File No.					
	F-01-191						
Record Plat No.	WS Contract No.	FDP No.					
15523							
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	2004	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-02A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Approved
g8 9/22/22

Property File
Online
A513618-J-05 -
435951

Owner (This section is not required.)

Search Reset Clear

Name *

Street Address
8835-M COLUMBIA 100 PARKWAY
Address Line 2

City State Zip Code
COLUMBIA MD 21045
Phone Cell Fax
410-997-7700 410-997-7338
E-mail
betty@starcomdesignbuild.com

Addtl Info

Est Construction Cost * 312300
Housing Units * 0
Number of Buildings * 0
Public Owned No
Construction Type
434 - Additions, Alterations and Conversions - Residential

RESIDENTIAL ADDITION INFORMATION

RESIDENTIAL ADDITION INFORMATION

Capital Project-No Fee * Yes No
Capital Project Number
Fee Exempt * Yes No
Roadside Tree Project Permit Yes No
Roadside Tree Project Permit #
No of Stories * 1
Foundation * Crawl Space
Basement * N/A
No of Rooms * 5
Full Baths * 1
Half Baths * 0
Existing Use * Existing Structure

Model *
build a one-story rear addition 26' w x 37' d. To include bdrm, bath, laundry, living area, closets, kitchenette.
[check spelling](#)

Other Structure * None
Bedrooms * 1
Porch Deck * N/A
No of Fireplaces * 0
Type of Fireplace --Select--
Energy Code Prescripti
W & S Fees Paid Yes No
Water * Private
Sewage * Private
Utilities * Electric
Heating System * Electric
Sprinkler System * None
Roofing --S--
1st Floor Width 26 FT
1st Floor Depth 37 FT
2nd Floor Width
2nd Floor Depth
Basement Width
Basement Depth
Height
Total Square Footage * 962 SQFT
Occupiable Square Footage * 962 SQFT
Affordable Housing Funding * N/A
Foundation Measurement
Footings
Walls
Roof
Change In Use Yes No
Grading Permit No

Additional Description Info

Expiration Date
2/28/2023

[check spelling](#)

PAYMENT INFORMATION

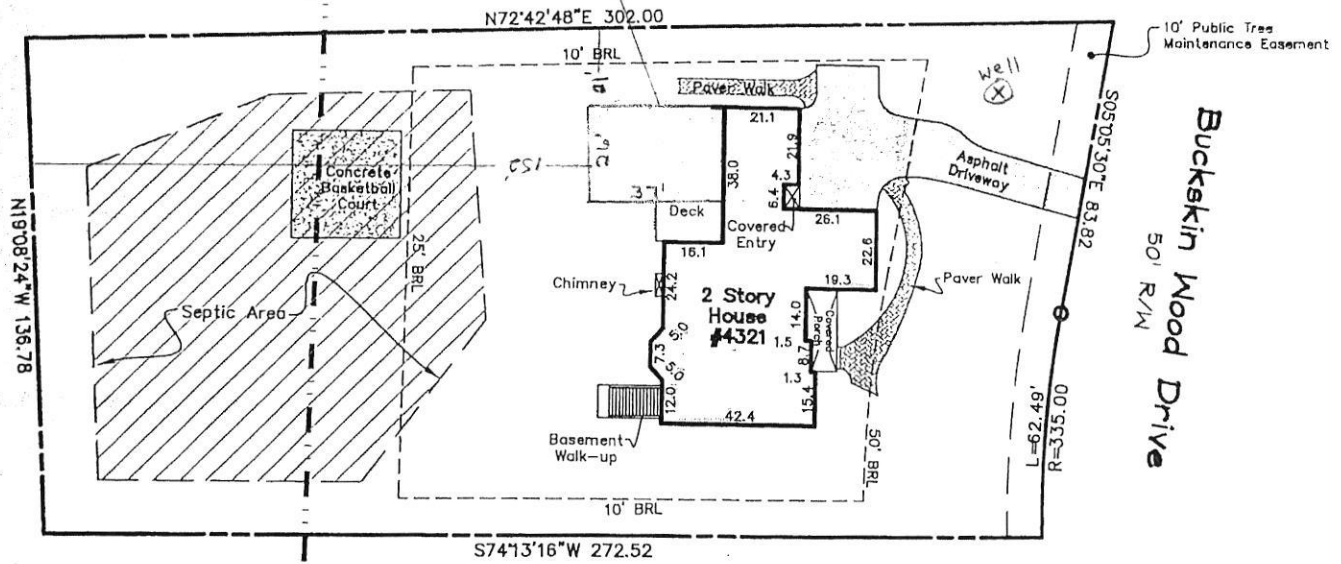
Check 1 Payee 1
Check 2 Payee 2
SAP Doc No
SAP Entered

Submit Cancel



65' DBA Noise Line

FILE X MGR
NOT TO BE
REPRODUCED



Surveyor's Certificate

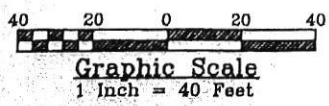
The information shown hereon has been based upon the results of a field inspection pursuant to the deed or plat of record. I hereby certify that this location survey was prepared or approved by me, and I am a duly licensed professional surveyor under the laws of the state of MD, license number 21931, expiration December 18, 2022.

James W. Witmer
James W. Witmer, Professional Land Surveyor
Maryland reg. No. 21931



JNM ENGINEERING, LLC

CIVIL ENGINEERING, SURVEYING, LAND PLANNING,
ENVIRONMENTAL, ARBORICULTURE, LEED PROFESSIONALS
1105 LEAFY HOLLOW CIRCLE, MOUNT AIRY, MD 21771
(301) 514-2808; JNMEENGINEINGLLC.COM



LOCATION DRAWING FOR: 4321 Buckskin Wood Drive

Liber 12469 Follo 1, Lot 10
Plat 15704, Acct#05-435951
40,027 Square Feet, Howard County

Scale:	1" = 40'
Date:	6/23/21
Field By:	JWW
Drawn By:	JWW
File No.:	JTC-21-20
Page No.:	1 of 2



Prepared For:

**HOWARD COUNTY DEPARTMENT OF INSPECTIONS,
LICENSES AND PERMITS
ON-LINE PLAN DROP OFF**

To: Plan Review Division

From: Betty Weickgenannt
(Name)
Starcom Design Build Corp
(Company)

Telephone #: 410-997-7700 ^{ex 101} Email address betty@starcomdesignbuild.com

Permit Site Address 4321 Buckskin Wood Dr Ellicott City MD

Permit Number: B 22003406 21042

Application On-Line File Date: 9-1-22

The above referenced permit was applied for online and the drawings are being dropped off for review and approval. These drawings represent the proposed work as outlined on the on-line application. I understand that this Department will not be responsible for any lost plans or documents. It is understood that if any changes to the design or construction of this project is made, revised plans will be submitted prior to any work commencement.

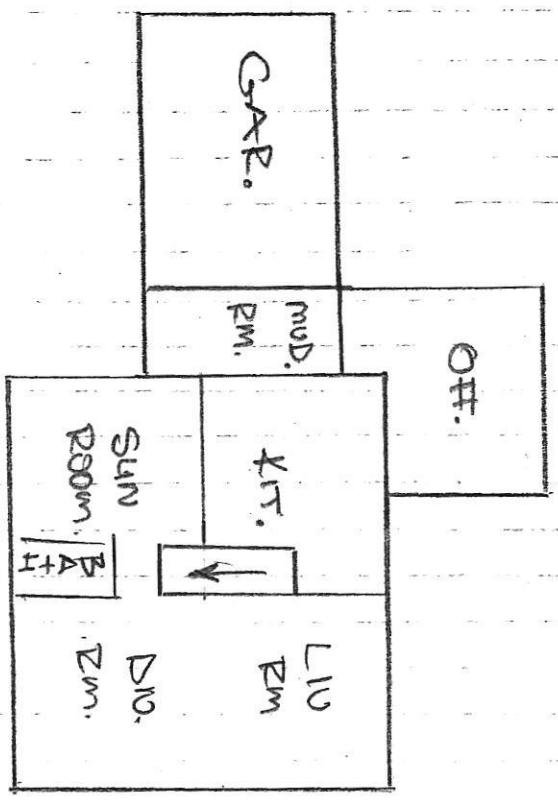
Betty Weickgenannt
Signature of Authorized Agent

For Office Use Only

Accepted by (initials): [initials] on 9/1/22
(Date)

Received by Plan Review (initials): cc: Health Dept

STARRON
DESIGN
BUILD



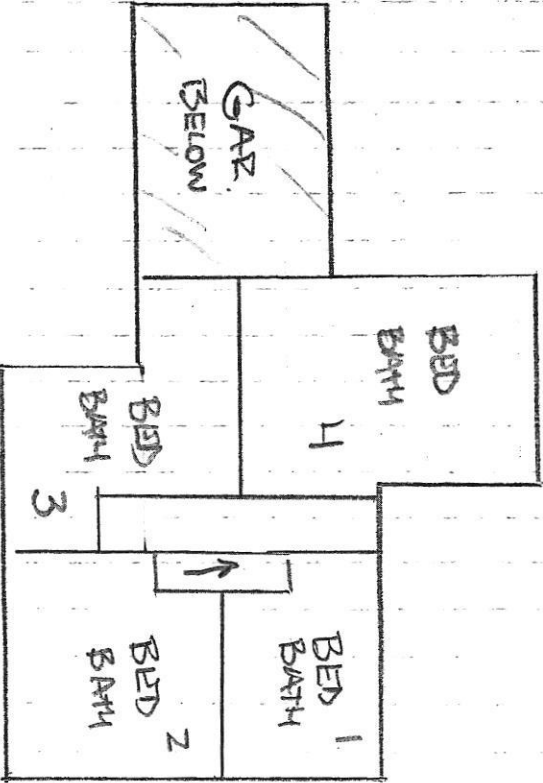
MEARDS
EXISTING
HOUSE
FLOOR
PLAN

1ST FLOOR

SCALE
1" = 20'

9-19-22

MEARDS
EXISTING
HOUSE
FLOOR
PLAN



2ND
FLOOR

STARBUCK
DESIGN
BUILD

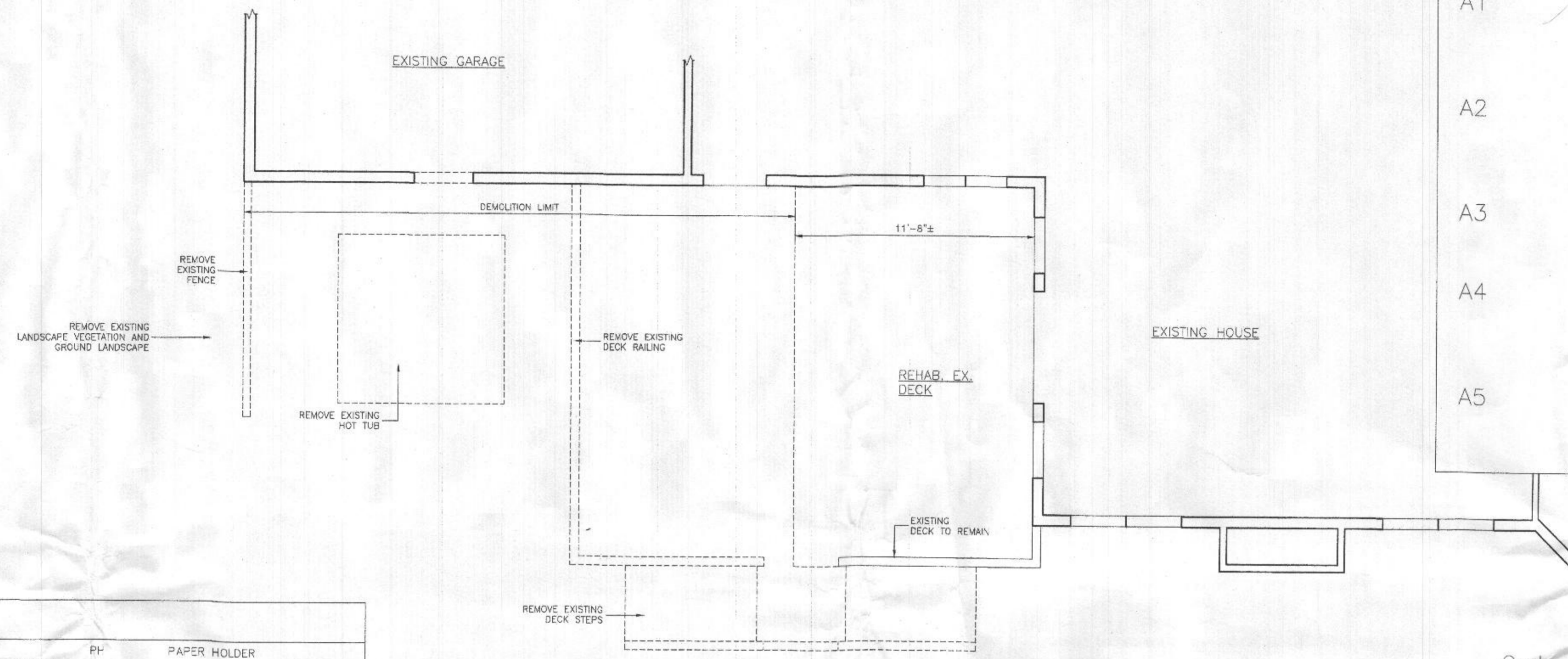
SCALE
1" = 20'

9-19-22

MEARNS RESIDENCE

ADDITION

4321 BUCKSKIN WOOD DR.
ELLICOTT CITY, MD 21042



EXISTING/DEMO. FLOOR PLAN
SCALE: 1/4" = 1'-0"

Drawing Index

SHEET #	SHEET TITLE
CS	COVER SHEET NOTES EX./DEMOLITION FLOOR PLAN
A1	PROPOSED: FOUNDATION PLAN FLOOR/FRAMING PLAN
A2	PROPOSED: ELEVATIONS SECTION B-B
A3	PROPOSED: ELEVATIONS, SECTION A-A & DETAILS ELECTRICAL LAYOUT PLAN
A4	PROPOSED: FLOOR AND ROOF FRAMING PLANS
A5	PROPOSED: BRACE WALL PLAN DETAILS B.W. SCHEDULE AND DETAILS

Abbreviations & Symbols

	SECTION OR DETAIL	ABV.	ABOVE	PH	PAPER HOLDER
	EXTERIOR OR INTERIOR ELEVATION VIEW	APPROX	APPROXIMATELY	PLY.	PLYWOOD
	DETAIL MARKER	BATT	BATT INSULATION	PTD	PAINTED
	EXISTING STUD/CMU WALL	BD	BOARD	P.T.	PRESSURE TREATED
	NEW STUD WALL	BR'G	BEARING	REF	REFRIGERATOR
	NEW WINDOW LABEL SIZE FT.-INCHES X FT.-INCHES	BTWN	BETWEEN	REQ'D	REQUIRED
	NEW DOOR LABEL FT.-INCHES X FT.-INCHES	CANT	CANTILEVERED	SDL	SIMULATED DIVIDED LIGHT
		CLG	CEILING	STN	STAIN
		CONC	CONCRETE	TEMP	TEMPERED
		CONT	CONTINUOUS	TH	TOWEL HOLDER
		COORD	COORDINATE	THK	THICK
		DBL	DOUBLE	TRD	TREATED
		DN	DOWN	TSH	THRESHOLD
		DNSPOT, D.S	DNWNSPOUT	TYP	TYPICAL
		ELEV	ELEVATION	UNO	UNLESS NOTED OTHERWISE
		EXIST	EXISTING	VIF	VERIFY IN FIELD
		EXT	EXTERIOR	WD	WOOD
		FL, FLR	FLOOR		
		F.F	FINISH FLOOR		
		FIN	FINISH		
		FTG	FOOTING		
		GYP	GYPSSUM BOARD		
		HTS	HEIGHT		
		INSUL	INSULATION		
		MC	MEDICINE CABINET		
		MT	MARBLE THRESHOLD		
		O.C	ON CENTER		

SHORING:
THE CONTRACTOR SHALL PROVIDE ALL SHORING, NEEDLING AND BRACING AS REQUIRED TO SUPPORT THE EXISTING STRUCTURE. THE CONTRACTOR SHALL EXAMINE THE EXISTING STRUCTURE TO DETERMINE THE EXTENT OF NECESSARY SHORING AND BRACING. THE CAPACITY AND METHOD USED FOR SHORING AND BRACING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

EXISTING FRAMING PLANS:
THE CONTRACTOR SHALL INSPECT AND VERIFY EXISTING STRUCTURE/CONDITIONS AND CONFIRM THAT THE EXISTING FRAMING PLANS PROVIDED ARE TRUE. THE CONTRACTOR SHALL NOTIFY THE DESIGN TEAM IN A TIMELY MANNER FOR DISCREPANCIES SO TO MAKE ADJUSTMENTS TO THE PLANS FOR ACTION.

Code Information

All contractors to comply with applicable Building Codes :

BUILDING:
INTERNATIONAL BUILDING CODE, 2018 EDITION
INTERNATIONAL BUILDING CODE FOR ONE AND TWO FAMILY DWELLINGS, 2018 EDITION
INTERNATIONAL CODE LOCAL AMENDMENTS

DESIGN LIVE LOADS:
ROOF: 40 PSF
FLOORS: 40 PSF
GROUND SNOW LOAD: 30 PSF
WIND LOAD: 115 MPH
SEISMIC DESIGN CATEGORY 'B', SITE CLASS 'D'
FROST LINE DEPTH: 30"
DECAY PROTECTION: SLIGHT TO MODERATE
FLOOD-RESISTANT CONSTRUCTION PROVISIONS: NONE

DRAWN BY:
MARK J. BANDY, INC.

DESCRIPTION: DATE:
FOR REVIEW 08-16-2022
FOR PERMIT 08-25-2022

Starcom Design/Build, Corp.
8825-M COLUMBIA 100 PARKWAY
COLUMBIA, MARYLAND 21045
(410) 997-7700

MEARNS RESIDENCE
4321 BUCKSKIN WOOD DR.
ELLICOTT CITY, MD 21042

COVERSHEET
EX./DEMO. PLAN
SCALE: AS NOTED

CS