

PERMIT NUMBER: B 22003879

DATE ACCEPTED:

RECEIVED

OCT 14 2022



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

LICENSES & PERMITS DIVISION

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 10329 CAVEY LANE, City: WOODSTOCK, State: MD, Zip Code: 21163, Subdivision/Village/Complex Name: 0003, SDP/WP/BA #: , Lot: 3C, Tax Map: 0011, Parcel: 0051, Grading Permit #: 450.00

DESCRIPTION OF WORK REQUIRED

Existing Use: RESIDENTIAL, Proposed Use: RESIDENTIAL, Estimated Cost: \$650,000.00, Trade Work to Be Completed: Mechanical (HVACR), Electrical, Plumbing, None, Work includes interior renovation of kitchen, mudroom, (2) bathrooms, hall and stairs to basement and loft. New work includes construction of 1-story, 2-car garage with open porch, including a bath and pantry area. Exterior work includes new open porch at mudroom entry. Standard Grading Plan and Simplified ECP to be submitted by Daft McCune Walker.

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s): BRICKNER LAURIANNE, FILIPCZAK MICHAEL, Primary Residence: Yes, Owner's Street Address: 10329 CAVEY LANE, City: WOODSTOCK, State: MD, Zip Code: 21163, Phone: (443) 463-1450, Email: MKFILIPCZAK@GMAIL.COM

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: brennan+company architects, Contact Name: LILI MUNDROFF, Street Address: 803 OELLA AVENUE, City: ELLICOTT CITY, State: MD, Zip Code: 21043, Phone: (410) 313-8310, Email: LMUNDROFF@BRENNANARCH.COM

CONTRACTOR INFORMATION REQUIRED

Business Name: LEGACY RESTORATIONS INC, Licensee's Name: MICHAEL JOHN LOPEZ, License #: 30401, Street Address: 57 W TIMONIUM ROAD SUITE 103, City: TIMONIUM, State: MD, Zip Code: 21093, Phone: , Email:

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: brennan+company architects, Name: ROBERT P. BRENNAN, AIA, Street Address: 803 OELLA AVENUE, City: ELLICOTT CITY, State: MD, Zip Code: 21043, Phone: (410) 313-8310, Email: RBRENNAN@BRENNANARCH.COM

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling, Condo: No, Utilities: Electric, Gas, Water Supply: Private (Well), Sewage Disposal: Private (Septic), Heating System: Propane, Roadside Tree Project: No, Sprinkler System: None, Fire Alarm System: No, Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: # of Bedrooms (SF): , # of efficiency units (MF\*): , # of 1 BR (MF\*): , # of 2 BR (MF\*): , # of 3 BR (MF\*): , # Rooms: , # Full Baths: , # Half Baths: , # Fireplaces: , Garage/Carport Info: Attached Garage, Basement/Foundation Info: Slab on Grade, 1st Fl Width: , 1st Fl Depth: , 2nd Fl Width: , 2nd Fl Depth: , Bsmt Width: , Bsmt Depth: , Energy Method: Prescriptive, Performance, UA Alternative, ERI, Gross Area: 1275 sq ft, Occupiable Area: sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

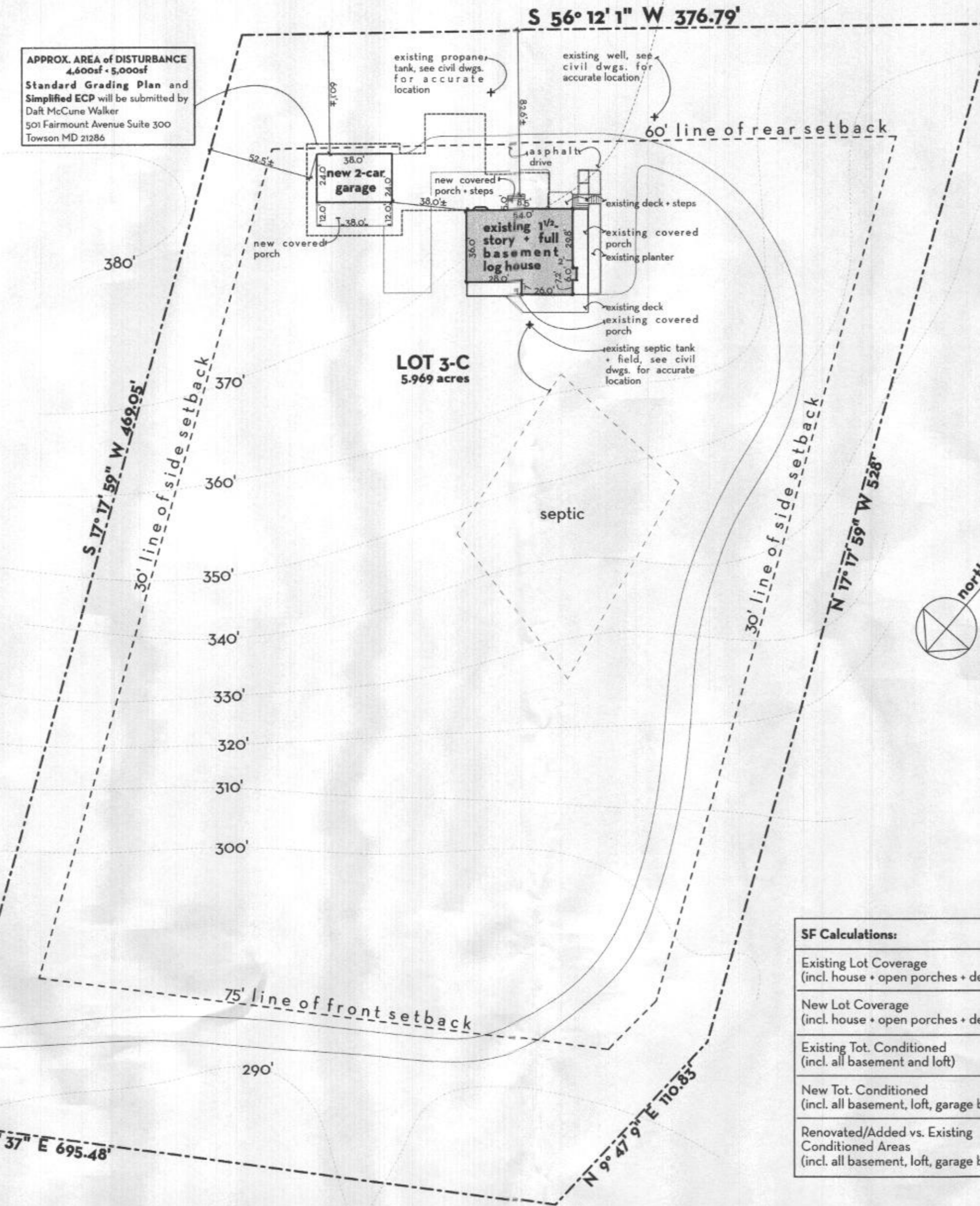
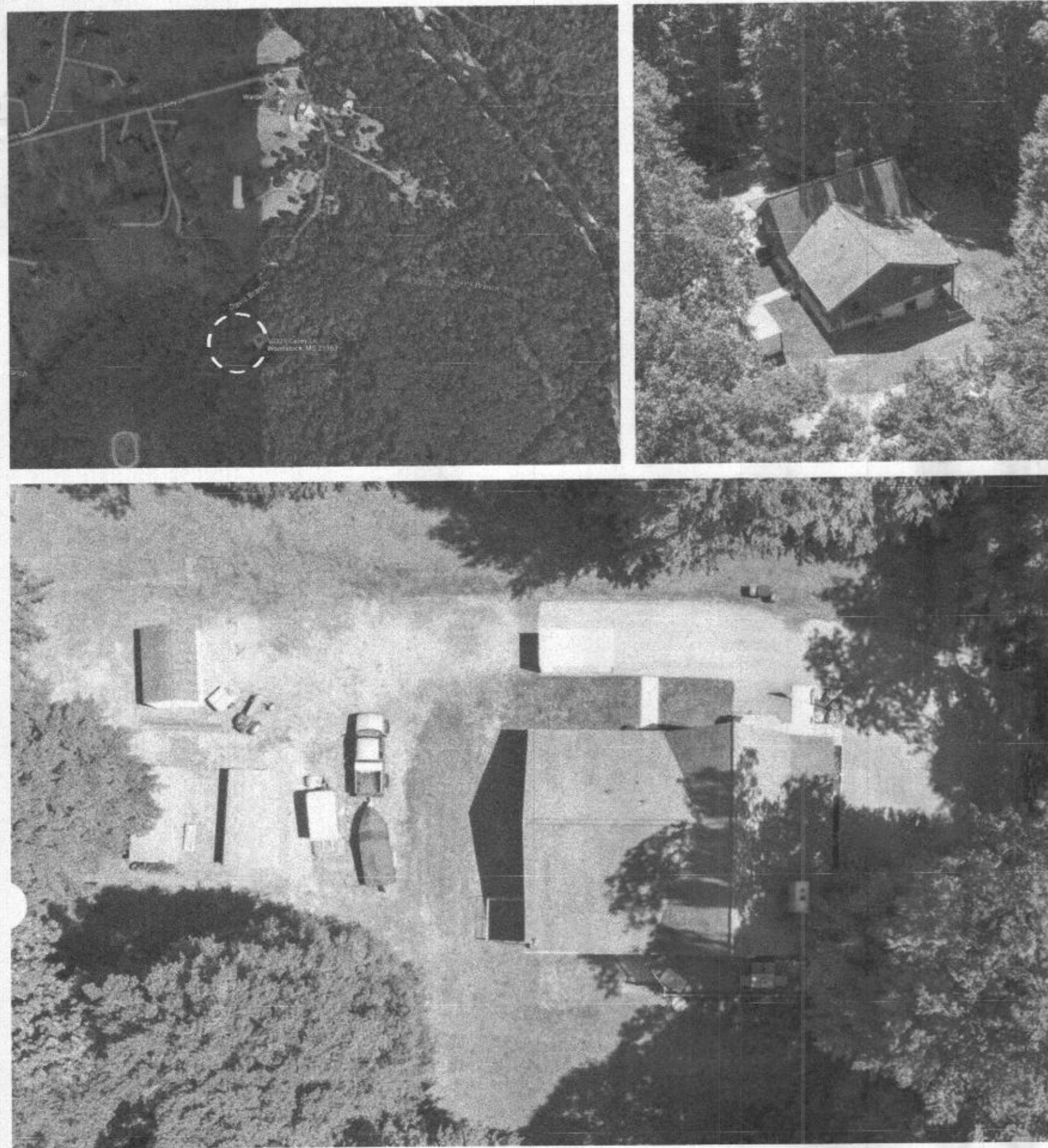
APPLICANT'S ORIGINAL SIGNATURE, DATE SIGNED: 10-13-2022

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR, DPZ, DED, Health 10/26/22, CID, SUBMITTAL FEES: , PAYMENT: , ACCEPTF

**AERIAL VIEWS + SITE PLAN**  
not to scale | scale: 1" = 50'



APPROX. AREA OF DISTURBANCE  
4,400sf - 5,000sf  
Standard Grading Plan and  
Simplified ECD will be submitted by  
Dale McCune Walker  
501 Fairmount Avenue Suite 300  
Towson MD 21286

Information based on:  
Location Drawing  
Howard County  
Liber 968 Folio 746  
Tax Map 11  
June 2002  
KCE Engineering, Inc.  
Executive Center  
3300 N. Ridge Road, Suite 315  
Ellicott City, MD 21043

| SF Calculations:   |                             |
|--|-----------------------------|
| Existing Lot Coverage (incl. house + open porches + decks)                             | 2,672 SF / 5.96 acres       |
| New Lot Coverage (incl. house + open porches + decks + garage)                         | 4,100 SF / 5.96 acres       |
| Existing Tot. Conditioned (incl. all basement and loft)                                | 4,513 SF                    |
| New Tot. Conditioned (incl. all basement, loft, garage bath)                           | 4,598 SF                    |
| Renovated/Added vs. Existing Conditioned Areas (incl. all basement, loft, garage bath) | 1,483 SF vs. 4,513 SF = 33% |

**SKETCHES**  
schematic | not to scale |



**ABBREVIATIONS**

|           |   |
|-----------|---|
| A.F.F.    | ABOVE FINISH FLOOR                                  |
| ADJ.      | ADJUSTABLE  |
| ARCH      | ARCHITECTURAL                                       |
| BLKG/BLK. | BLOCKING  |
| C.L.      | CENTER LINE   |
| CLG.      | CEILING   |
| CONT.     | CONTINUOUS  |
| CONST.    | CONSTRUCTION  |
| DIM.      | DIMENSION   |
| E.A.      | EACH  |
| ELEC.     | ELECTRICAL  |
| EQ.       | EQUAL   |
| EXIST.    | EXISTING  |
| EXT.      | EXTERIOR  |
| FIN.      | FINISH  |
| GYPBD     | GYPSUM WALL BOARD                                   |
| INSUL     | INSULATION  |
| INST.     | INSTALLATION  |
| MAX       | MAXIMUM   |
| MIN       | MINIMUM   |
| MFR.      | MANUFACTURER  |
| MTD.      | MOUNTED   |
| MTL       | METAL   |
| NEC.      | NECESSARY   |
| NO.       | NUMBER  |
| N.T.S.    | NOT TO SCALE  |
| O.C.      | ON CENTER   |
| O.D./C.I. | OWNER PROVIDED CONTRACTOR INSTALL                   |
| PR.       | PAIR  |
| P.T.D.    | PAINTED   |
| PT.       | PRESSURE TREATED                                    |
| REQ.      | REQUIRED  |
| RM.       | ROOM  |
| SMACNA    | SHEET METAL + AIR CONDITIONING NATIONAL ASSOCIATION |
| SQ.       | SQUARE  |
| STD.      | STAINED   |
| STND.     | STANDARD  |
| STRUCT.   | STRUCTURAL  |
| TVF.      | TYPICAL   |
| U.O.N.    | UNLESS OTHERWISE NOTED                              |
| V.F.      | VERIFY IN FIELD                                     |
| W/        | WITH  |
| WD.       | WOOD  |

**SYMBOLS**

|                   |                      |
|-------------------|----------------------|
| ①                 | DOOR #               |
| Ⓐ                 | WINDOW #             |
| Ⓛ                 | PLUMBING FIXTURE #   |
| 2                 | APPLIANCE #          |
| 1<br>4 (A) 2<br>3 | INTERIOR ELEVATION # |
| Dwg #<br>Sheet #  | BUILDING SECTION     |
| ▬                 | NEW WALL             |
| ▬                 | EXISTING WALL        |

**DRAWING LIST**

|     |                                    |
|-----|------------------------------------|
| A0  | site plan + general notes          |
| A1  | floor plan demo                    |
| A2  | floor plan demo                    |
| A3  | roof plan demo                     |
| A4  | exterior elevation demo            |
| A5  | exterior elevation demo            |
| A6  | floor plans + schedules            |
| A7  | floor plans                        |
| A8  | roof plans                         |
| A9  | exterior elevations                |
| A10 | exterior elevations                |
| A11 | garage: floor plans + elevations   |
| A12 | building sections + details        |
| A13 | detail kitchen plan + int. elev's. |
| E1  | rcp + electrical plans             |
| E2  | rcp + electrical plans             |
| S1  | structural plans                   |
| S2  | structural plans                   |
| S3  | structural details + notes         |

**ZONING INFORMATION**

**HOUSE LOCATION**  
Parcel 0051 Map 0011 Grid 0013 Lot 3C  
  
Lot Size 5.96 acres  
10329 CAVEY LANE  
WOODSTOCK, MD 21163  
**ZONING INFORMATION - HOWARD COUNTY**  
Zoned: RC-DEO - Rural Conservation District  
Front Setback: 75 feet  
Side Setback: 30 feet  
Rear Setback: 60 feet  
WELL/SEPTIC: exist. 3-full bath + 1-new full bath = 4 full bath tot.

**CODE INFO**

Design Intent to meet:  
2021 International Residential Code  
2021 International Energy Conservation Code  
2021 International Mechanical Code  
2021 International Plumbing Code  
2021 NFPA 101 Life Safety Code  
COMAR 04.06.21

**GENERAL NOTES**

- Any inconsistencies found between the drawings shall be reported to the Architect. Do not perform any work affected in any manner by the inconsistencies until the Architect has clarified the information. Any work done will be solely at the Contractor's risk and expense. The Architect will resolve the inconsistencies in a timely manner.
- All work shall be done in a workmanlike manner and in conformance with product manufacturer's installation instructions and guarantee requirements. Work shall be completed to the satisfaction of the owner.
- All work shall be done in accordance with applicable state and local codes and regulations.
- Do not scale drawings to determine dimensions.
- Foundation to comply with Howard County radon gas mitigation requirements. Contractor to provide an approved seal at all penetrations to slab and foundation walls.
- All dimensions are to the rough face of framing and centerline dimensions are to finish unless noted otherwise as a clear (clr) dimension.
- Dimensions and notes for a given condition are typical for all similar conditions unless otherwise noted.
- Drawings at larger scale shall take precedence over drawings at smaller scale, except for any inconsistencies that may be found in the drawings.
- Contractor to provide specified copper flashing at all window heads, horizontal window stops, window sills, the bottom of all cavity walls and at all other locations recommended by SMACNA.
- Contractor shall arrange for the proper installation of all public utilities when required, including sewer, water, gas, electric and telephone lines.
- Contractor to complete all work in accordance with the drawings. At the end of the job, Contractor to clean all finished surfaces and leave job in an orderly and neat fashion, capable of being used for its intended purpose. One-year warranty shall begin at substantial completion of the work, as determined by the Architect. Provide all keys, equipment operating instructions, record drawings, etc. to Owner.
- Smoking on property only in areas designated by Owner.

**ENERGY NOTES per IRC 2021**

- Permanent Certification shall be completed and posted on or in the electric distribution panel by the builder. It shall list the predominant R-values of insulation installed for ceiling/roof, walls, foundation (slab, basement wall and/or floor) and ducts outside of conditioned spaces; U-factors for fenestration and the solar heat gain coefficient of fenestration, and the results from any required duct system and building envelope air leakage testing done on the building. Certificate shall list the types and efficiencies of heating, cooling and service water heating equipment. All gas-fired unvented room heaters, electric furnaces, or baseboard electric heaters shall be listed but the efficiency is not required to be listed.

**SITE NOTES**

- It is the owner's intention to preserve the natural vegetation and land features of the site to the greatest extent possible. Remove the minimum amount of existing vegetation possible for new construction.
- Topsoil and large boulders will be stockpiled for future use by the Owner, stockpiling area to be determined by Owner.
- The construction area and access to the construction area will be as small an area as is reasonable to facilitate construction of the home. This area is to be clearly demarcated and roped off to prevent any destruction of natural terrain outside the area by construction vehicles.
- Water must have positive drainage away from the building at all points along its perimeter in a direction of least impact on site and surrounding buildings.
- All downspouts to drain below grade to daylight or cistern, have splash blocks, or rain barrels as shown on plan with an adequate drainage path away from the building.
- Do not treat soil with manufactured chemical treatments.
- Treat sand surfaces under floors and brick or stone walkways with diatomaceous soil.
- Use a barrier cloth under exterior walkways to prevent weed overgrowth.

brennan + company  
ARCHITECTS  
baltimore  
washington

803 wells avenue • ellicott city, maryland 21033  
410.338.8310

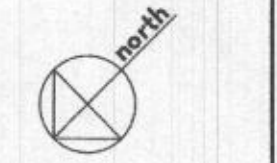
PROJECT:  
**BRICKNER-FILIPCZAK RESIDENCE**  
10329 CAVEY LANE  
WOODSTOCK, MD 21163

| phase  | date       |
|--------|------------|
| MD     | 11.11.2021 |
| DD     | 05.05.22   |
| Permit | 10.13.22   |

**Professional Certification**  
I certify that these documents were prepared or approved by me and that I am a duly licensed Architect under the laws of the State of Maryland, License No. 6363, Expiration Date 05.17.2024



drawing:  
site plan + general notes

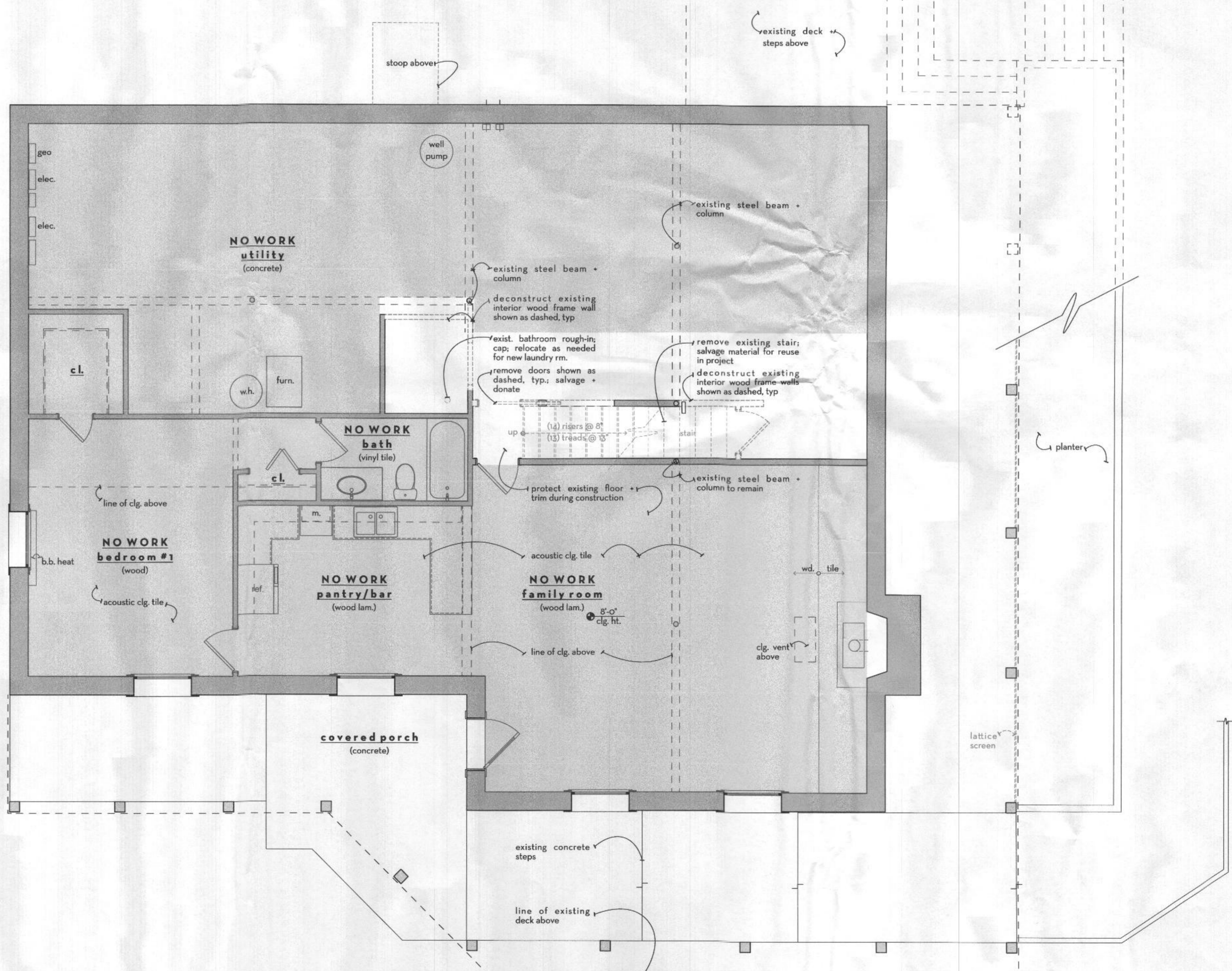


sheet no:

**A0**

### DEMOLITION NOTES

- All exterior masonry or frame walls shown as dashed, in whole or portion, to be demolished to extents noted on new drawings.
- All interior frame walls shown as dashed, in whole or portion, to be demolished to extents noted on new drawings.
- Salvage all existing framing, evaluate condition and reuse in new construction for blocking or framing.
- Provide required structural support prior to demolition work at critical locations.
- All excavated earth to be retained on site in location determined by owner.
- Provide erosion control methods and materials as required by local code.
- Owner to remove and relocate shrubs that they wish to reuse.
- Remove all debris from demolition from site on a regular basis and dispose of according to local requirements. Sort and recycle waste.
- All items specified in Contract Documents for salvage, reuse and storage shall be kept on site and protected from damage. Donate salvaged unused materials to low-income housing projects, theater groups, etc., or recycle waste materials. Sort, salvage and store masonry and stone, miscellaneous metals, flooring, wood studs, all trim and stair parts for reuse.
- Provide proper temporary waterproofing and security following exterior wall/roof demolition work.
- Existing plumbing hookups to be shut off at each immediate location prior to demolition work at each location.
- Remove all miscellaneous protrusions in walls, floors, ceilings, windows and doors including, but not limited to nails, hooks wires, doorbells, etc.
- Remove all existing appliance hookups and electrical fixtures as necessary.
- Minimize job site waste.



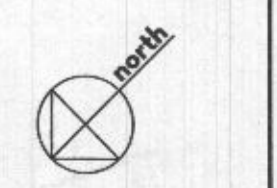
**1** basement floor plan demo  
scale: 1/4" = 1'-0"

| phase  | date      |
|--------|-----------|
| MD     | 11.1.2021 |
| DD     | 05.05.22  |
| Permit | 10.13.22  |

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drawing:  
floor plan demo



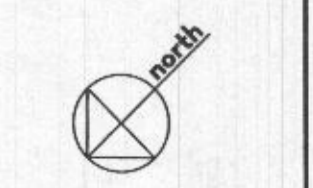
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| phase  | date      |
|--------|-----------|
| MD     | 11.1.2021 |
| DD     | 05.05.22  |
| Permit | 10.13.22  |

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Expiration Date 05.17.2024

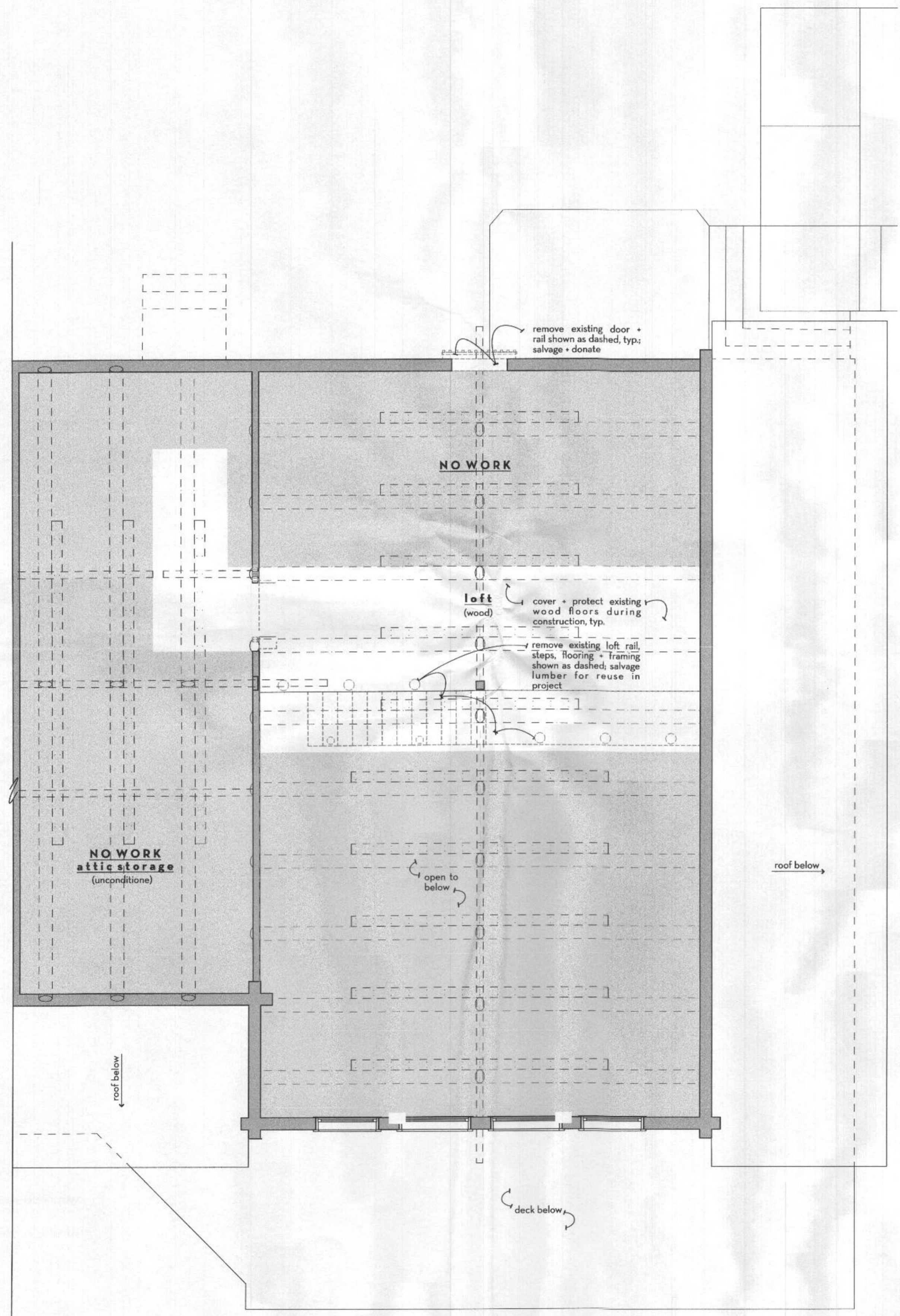


drawing  
floor plan demo

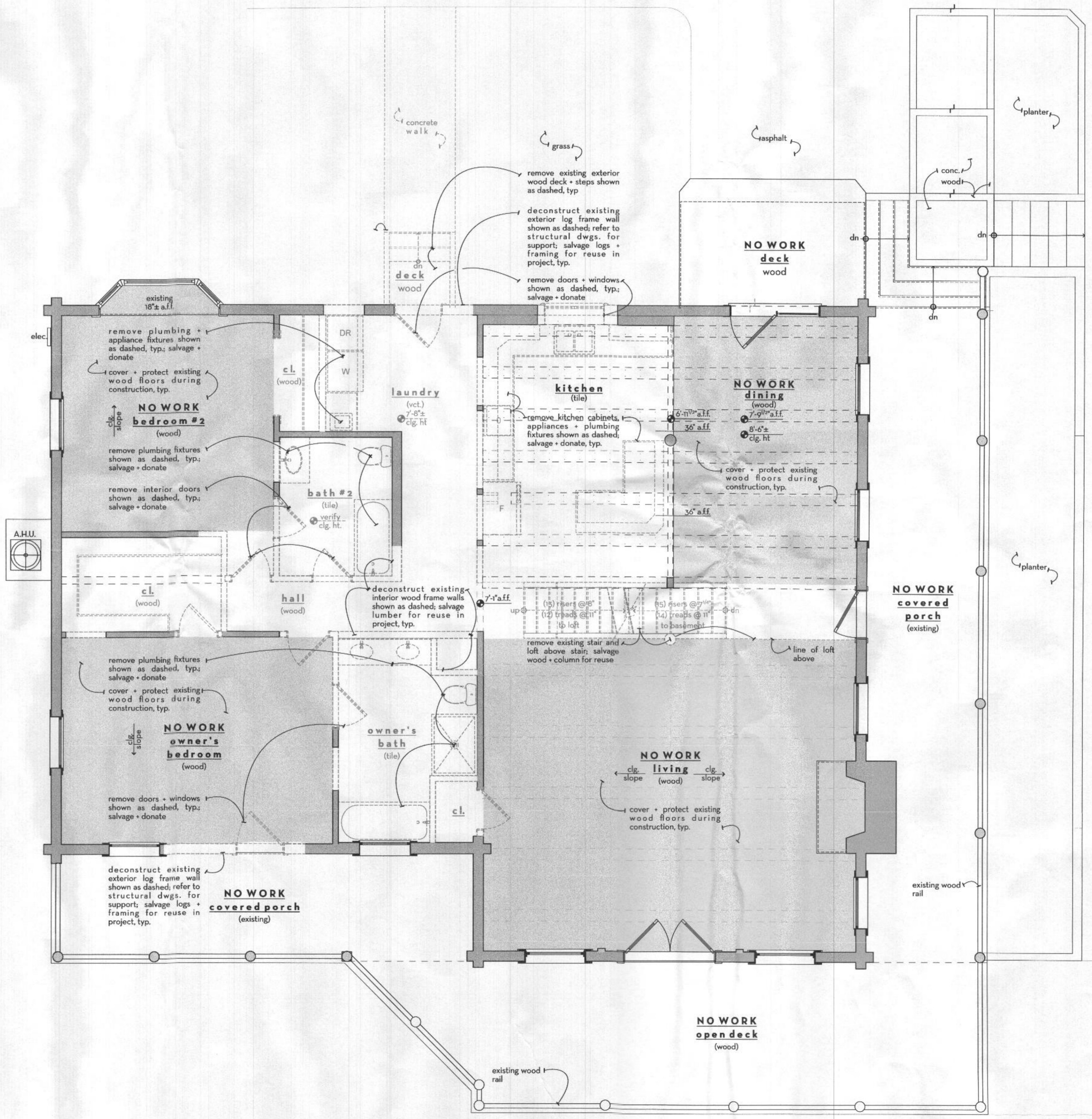


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**A2**



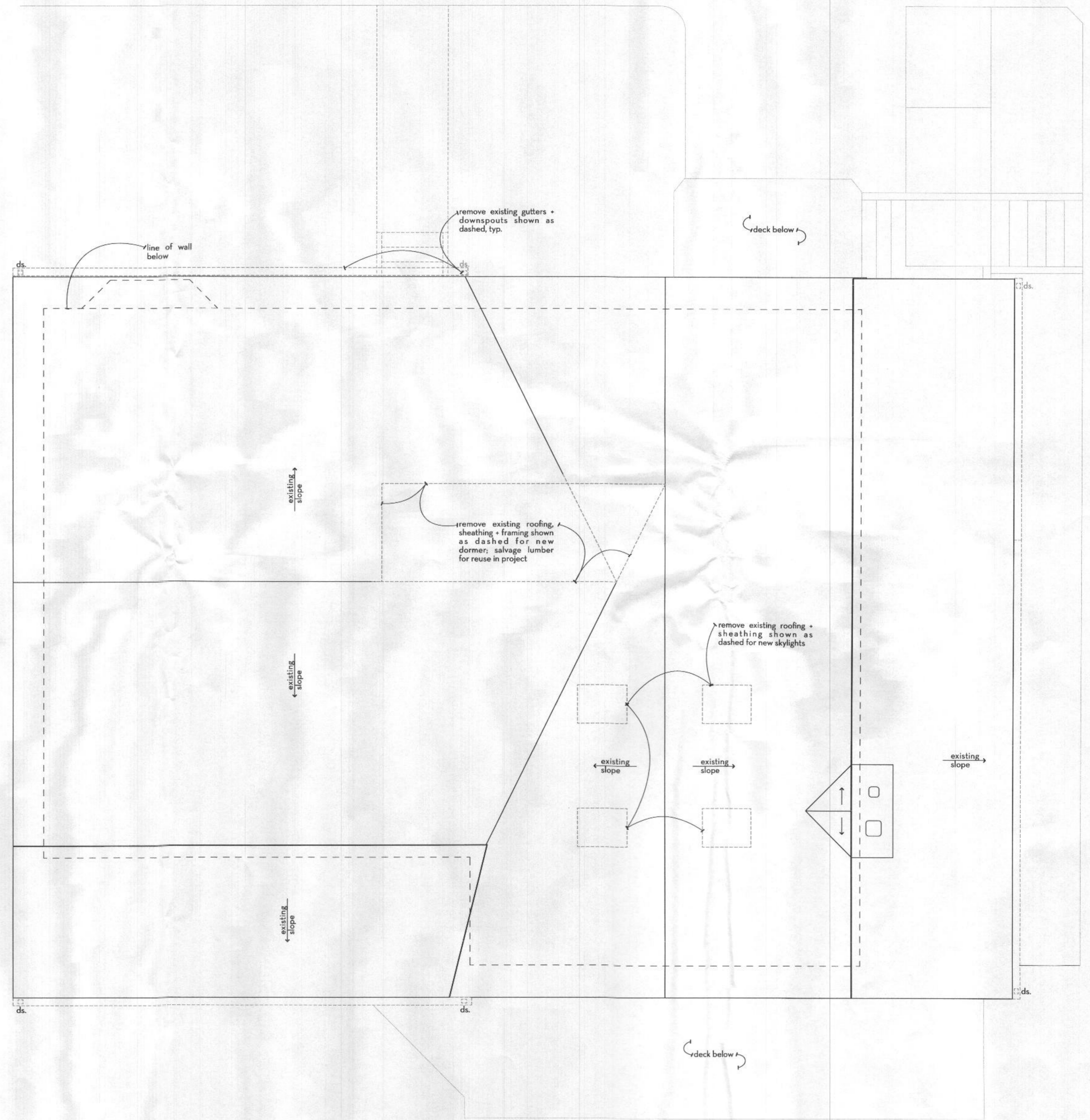
**1 loft floor plan demo**  
scale: 1/4" = 1'-0"



**2 first floor plan demo**  
scale: 1/4" = 1'-0"

BIMcloud; brennan - BIMcloud as a Service; Brickner-Filipczak Residence; Brickner-Filipczak, CD; Lili Mundroff; brennan+company; architects 10/13/22 3:10 PM

BIMcloud: brennan - BIMcloud as a Service / Brickner-Filipczak Residence / Brickner-Filipczak Residence / Brickner-Filipczak CD.Lilj Mundruff Brennan+Company architects 10/13/22 3:10 PM



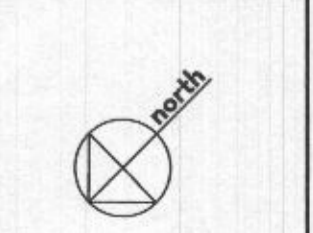
**1** roof plan demo  
 scale: 1/4" = 1'-0"

| phase  | date      |
|--------|-----------|
| MD     | 11.1.2021 |
| DD     | 05.05.22  |
| Permit | 10.13.22  |

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drawing:  
 roof plan demo



sheet no:

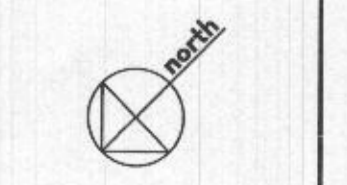
**A3**

| phase        | date                               |
|--------------|------------------------------------|
| MD DD Permit | 11.11.2021<br>05.05.22<br>10.13.22 |

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drawing:  
exterior elevation demo

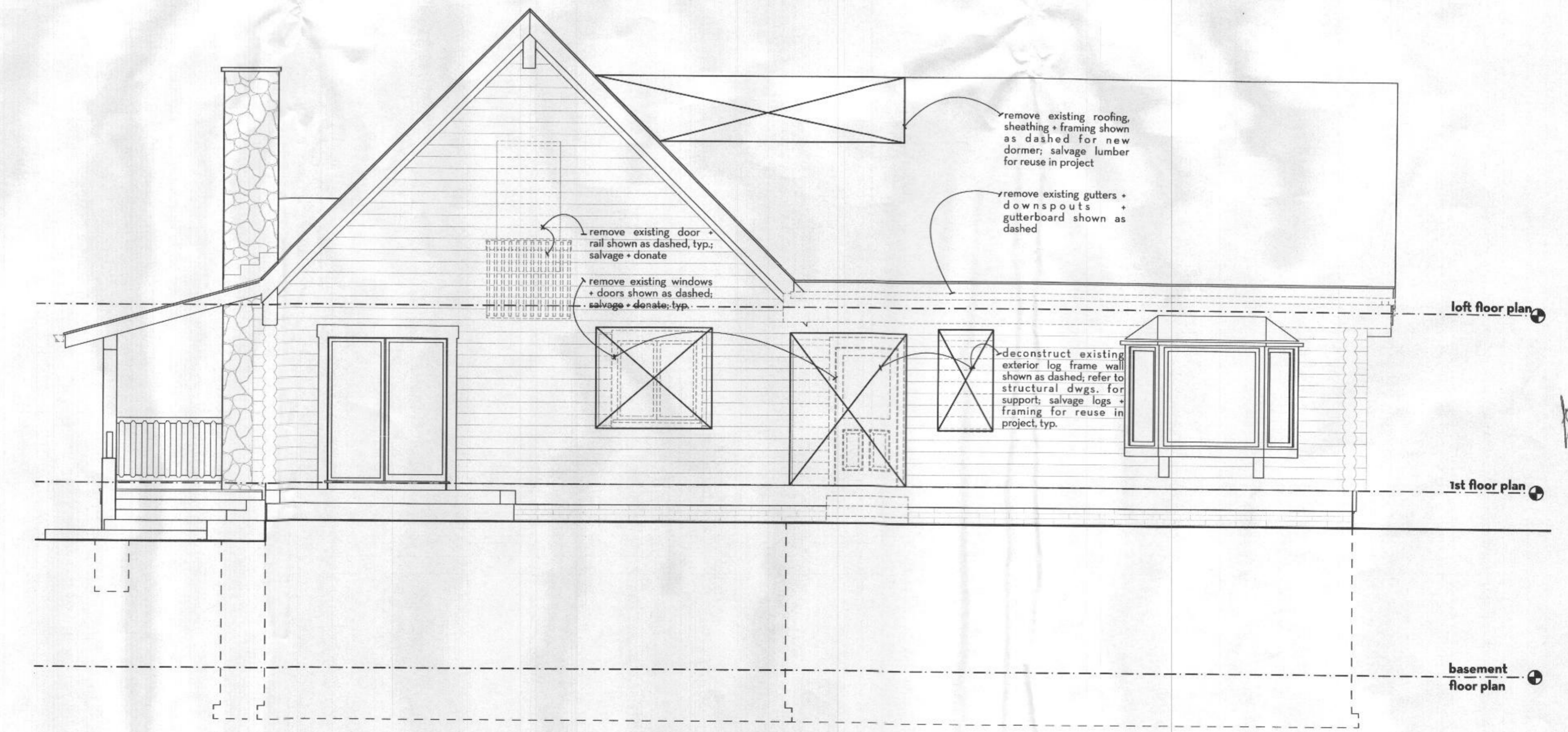


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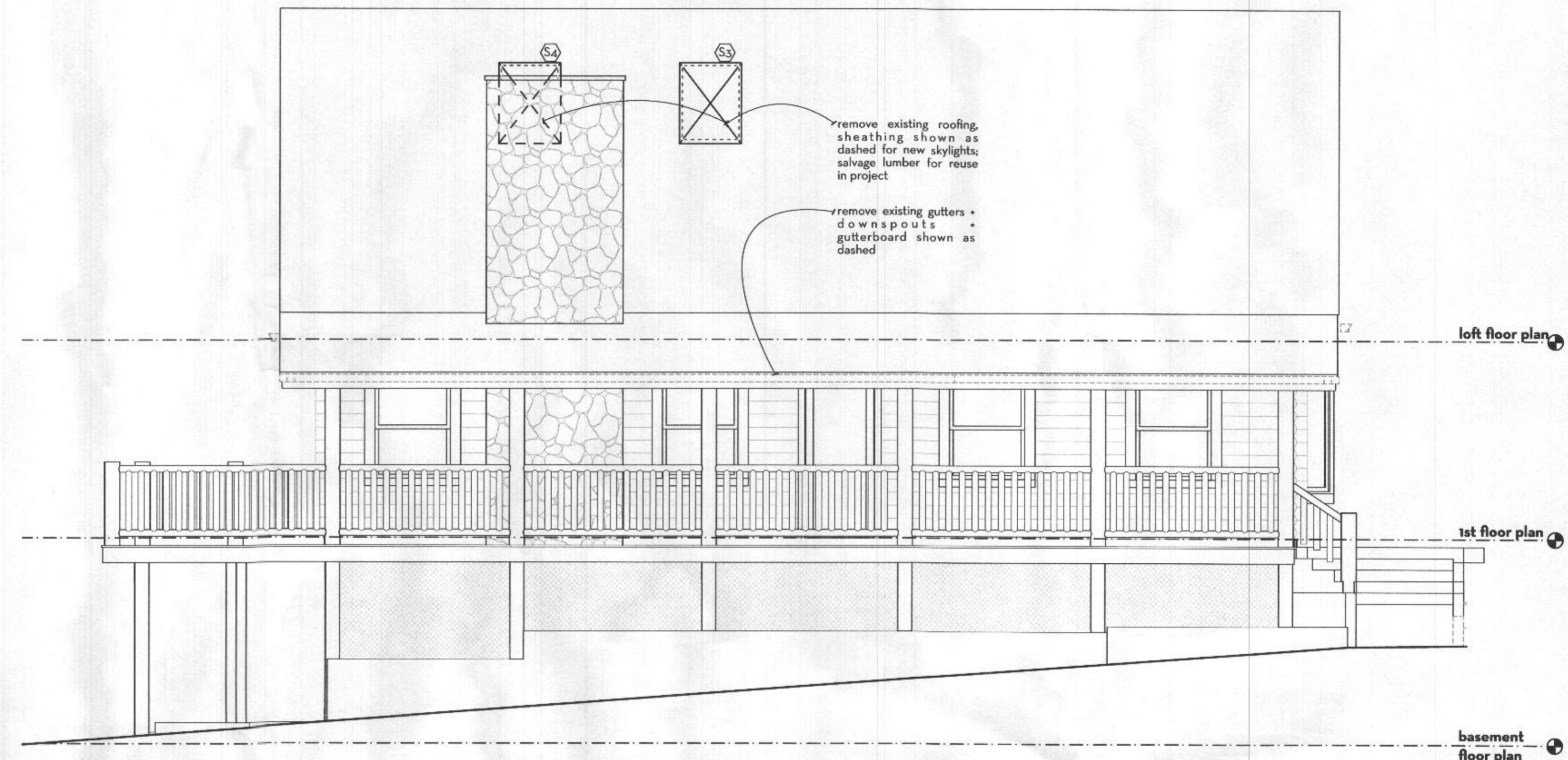


**1 north elevation demo**  
scale: 1/4" = 1'-0"

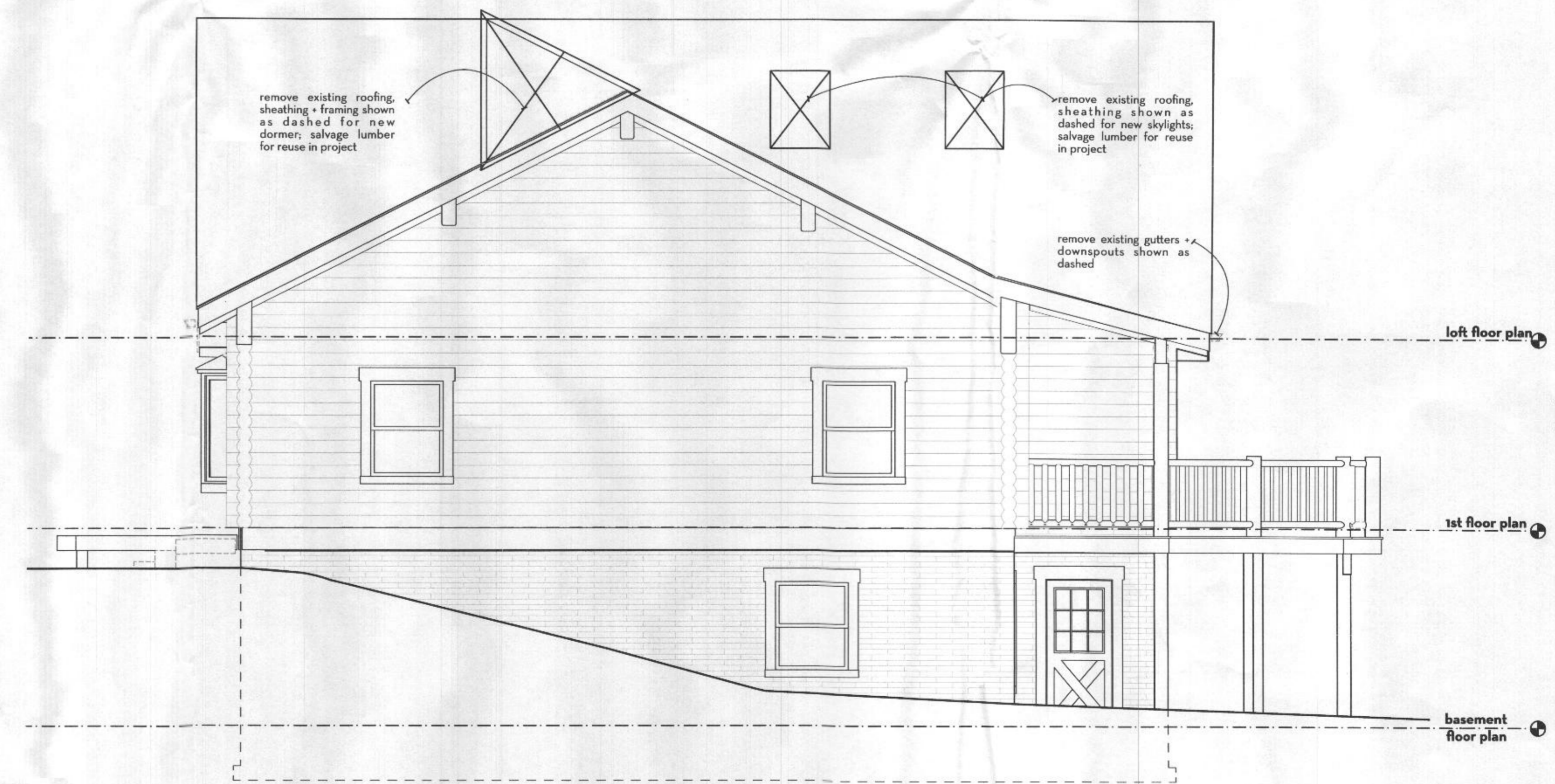


**2 south elevation demo**  
scale: 1/4" = 1'-0"

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**1 west elevation demo**  
scale: 1/4" = 1'-0"



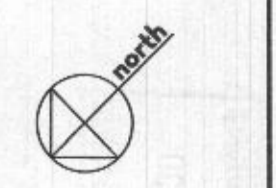
**2 east elevation demo**  
scale: 1/4" = 1'-0"

| phase  | date      |
|--------|-----------|
| MD     | 11.1.2021 |
| DD     | 05.05.22  |
| Permit | 10.13.22  |

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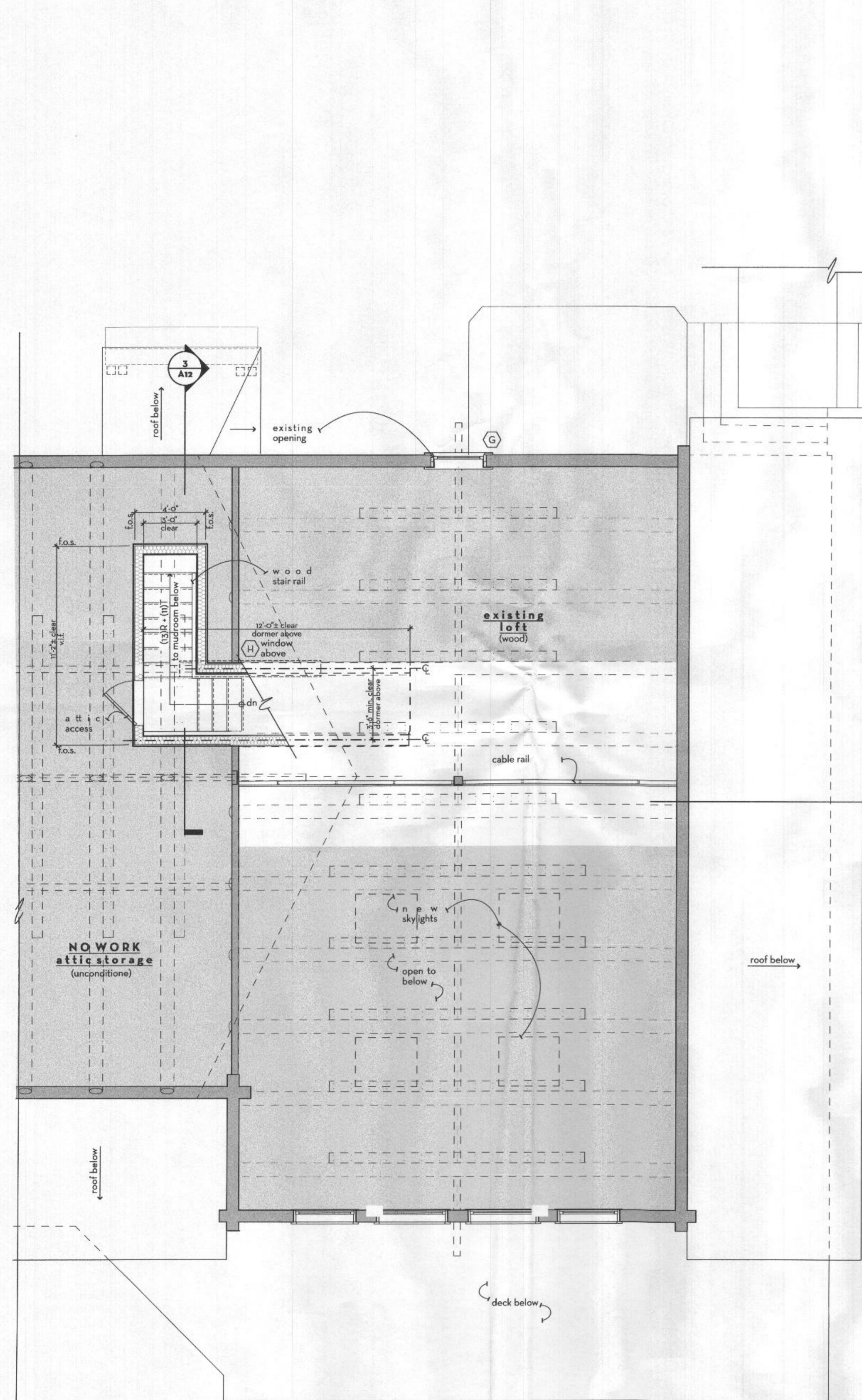
drawing:  
exterior elevation demo



sheet no:

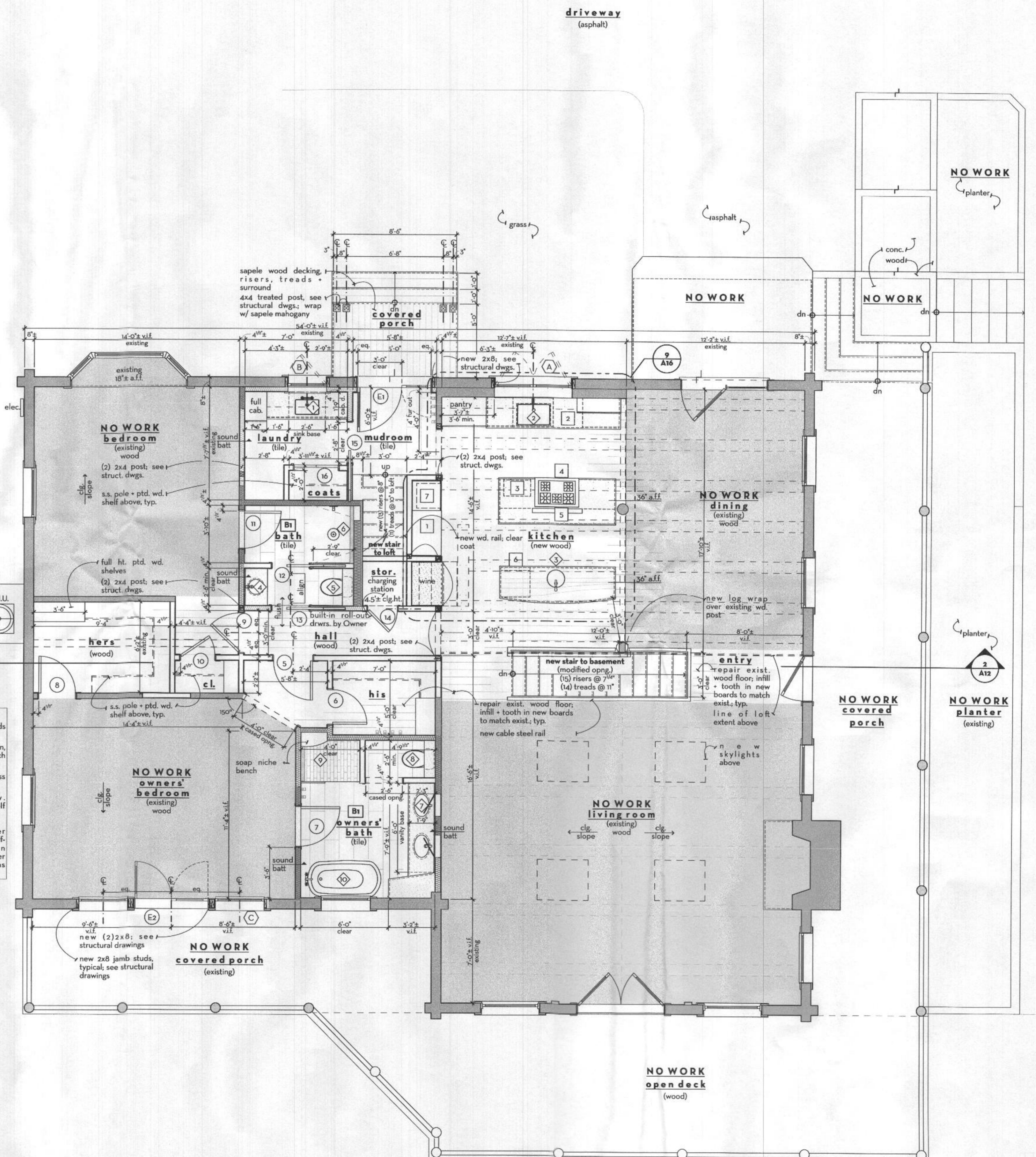
**A5**

BIMcloud, brennan - BIMcloud as a Service/Brickner-Flipczak Residence/Brickner-Flipczak Architects CD L111 Mudroff ebrennan-company architects 05/12/23 501 DM



**1** loft floor plan  
scale: 1/4" = 1'-0"

- B1** bath notes (typ):
1. stone/flush thresholds at all doors u.n.o.
  2. provide linear drain, soap niche, stone bench at shower u.n.o.
  3. provide frameless glass enclosure at shower
  4. provide 9" w. removable stone shelf above toilet
  5. provide Schluter waterproofing and self-leveling/absorption membranes at shower and tile locations as required.



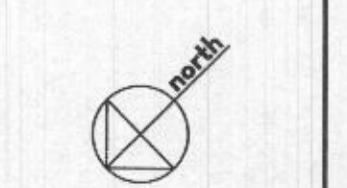
**2** first floor plan  
scale: 1/4" = 1'-0"

| phase        | date                               |
|--------------|------------------------------------|
| MD DD Permit | 11.11.2021<br>05.05.22<br>10.13.22 |

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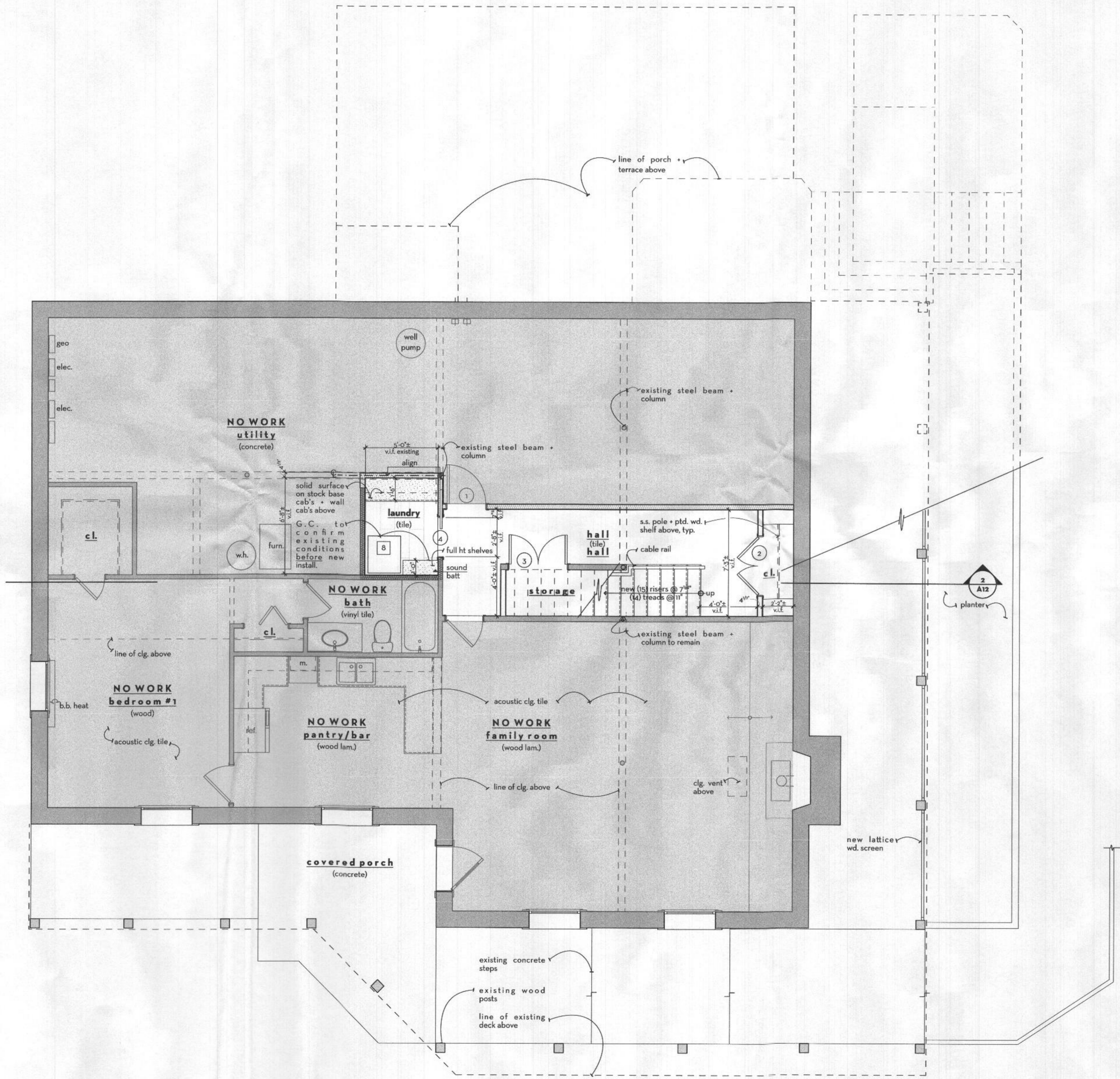


drawing:  
floor plans



sheet no:

BIMcloud, brennan - BIMcloud as a Service/Brickner-Filipczak Residence/Brickner-Filipczak CD, Lili Mundt/Off ebrennancompany architects 10/13/23 5:51 PM



**1** basement floor plan  
scale: 1/4" = 1'-0"

**window schedule**

| no. | qty. | manufacturer         | model   | rough opening |           | lite          | hdwr.                       | material | remarks   |
|-----|------|----------------------|---|---------------|-----------|---------------|-----------------------------|----------|---|
|     |      |                      |   | width         | height    |               |                             |          |   |
| A   | 1    | Anderson C-245       | 400-series, dbl. casement, no center mullion        | 5'-3"         | 4'-5"     | (2) 1-lite    | contemporary, folding black |          | match existing clad.                              |
| B   | 1    | Anderson C-245       | 400-series casement                                 | 2'-8"         | 4'-5"     | 1-lite        | *                           |          | *   |
| C   | 1    | Anderson WDI-34410   | double hung, match existing adjacent window         | 3'-4"         | 4'-10"    | 1 over 1      | *                           |          | *   |
| D   | 3    | Anderson CW-145      | 400-series, casement                                | 2'-4"         | 4'-5"     | 3-lite        | *                           |          | *   |
| E   | 1    | Anderson C-245       | 400-series, dbl. casement, no center mullion        | 4'            | 4'-9"     | (2) 3-lite    | *                           |          | *   |
| F   | 2    | Anderson C-245 fixed | 400-series, dbl. casement, no center mullion, fixed | 4'            | 4'-9"     | (2) 3-lite    | *                           |          | *   |
| G   | 1    | Anderson CZXW/A51    | 400-series, casement + fixed transom above          | 2'-10"        | 6'-2"     | 1-lite/1-lite | *                           |          | *   |
| H   | 1    | Anderson AXW-351     | 400-series, dbl. fixed awning                       | 7'            | 3'-6"     | (2) 1-lite    | *                           |          | *   |
| S1  | 1    | Velux EV3054         | deck mounted, fixed                                 | 2'-6 1/2"     | 4'-6 1/2" |               |                             |          | EDL Velux flashing, solar powered blackout blinds |
| S2  | 1    | *                    | deck mounted, fixed                                 | 2'-6 1/2"     | 4'-6 1/2" |               |                             |          | *   |
| S3  | 1    | *                    | deck mounted, fixed                                 | 2'-6 1/2"     | 4'-6 1/2" |               |                             |          | *   |
| S4  | 1    | *                    | deck mounted, fixed                                 | 2'-6 1/2"     | 4'-6 1/2" |               |                             |          | *   |

**door schedule**

| no. | location                    | manuf./model                       | door size   | lite/panel | hardware | material type                | remarks |
|-----|-----------------------------|------------------------------------|-------------|------------|----------|------------------------------|---------|
| E1  | EXT. 1st flr. mudroom       | Marvin, french + sidelight         | 5'-7"       |            |          |                              |         |
| E2  | EXT. 1st flr. owners' bdrm. | Marvin, french, pair               | 5'-7"       |            |          |                              |         |
| E3  | EXT. garage                 | Marvin, french, pair               | 6'-7"       |            |          | alum. clad ext., primed int. |         |
| E4  | EXT. garage                 | Marvin, french, pair               | 6'-7"       |            |          | *                            |         |
| E5  | EXT. garage                 | Marvin, french, pair               | 6'-7"       |            |          | *                            |         |
| E6  | EXT. garage                 | Clopay or sim, overhead, motorized | 8'-8"       |            |          | solid wood                   |         |
| E7  | EXT. garage                 | Clopay or sim, overhead, motorized | 8'-8"       |            |          | solid wood                   |         |
| 1   | basement: hall              | Simpson or equal                   | 2'-8"-6'-8" | flush      |          | solid wood                   |         |
| 2   | basement: closet            | Simpson pair, or equal             | 4'-6'-8"    | *          |          | *                            |         |
| 3   | basement: stair storage     | *                                  | 4'-5'-8"    | *          |          | *                            |         |
| 4   | basement: pwd. room         | Simpson, or equal                  | 2'-8"-6'-8" | *          |          | *                            |         |
| 5   | 1st flr. owners' bedroom    | *                                  | 2'-8"-6'-8" | *          |          | *                            |         |
| 6   | 1st flr. owners' bdrm. cl.  | *                                  | 2'-4'-6'-8" | *          |          | *                            |         |
| 7   | 1st flr. owners' bath       | *                                  | 2'-8"-6'-8" | 1-lite     |          | *                            |         |
| 8   | 1st flr. owners' bdrm. cl.  | *                                  | 2'-6'-6'-8" | flush      |          | *                            |         |
| 9   | 1st flr. bedroom            | *                                  | 2'-8"-6'-8" | *          |          | *                            |         |
| 10  | 1st flr. bedroom cl.        | *                                  | 2'-4'-6'-8" | *          |          | *                            |         |
| 11  | 1st flr. bath               | *                                  | 2'-6'-6'-8" | *          |          | *                            |         |
| 12  | 1st flr. bath               | Simpson pocket, or equal           | 2'-6'-6'-8" | 1-lite     |          | *                            |         |
| 13  | 1st flr. bath               | *                                  | 2'-6'-6'-8" | flush      |          | *                            |         |
| 14  | 1st flr. hall storage       | Simpson pair, or equal             | 2'-4'-6'-8" | *          |          | *                            |         |
| 15  | 1st flr. mudroom            | Simpson pocket, or equal           | 2'-8"-6'-8" | 1-lite     |          | *                            |         |
| 16  | 1st flr. mudroom cl.        | Simpson pair, or equal             | 3'-6'-8"    | flush      |          | *                            |         |
| 17  | garage: bath                | Simpson, or equal                  | 2'-4'-6'-8" | 1-lite     |          | *                            |         |
| 18  | garage: workshop            | Simpson barn door pair, or eq.     | 5'-6'-8"    | flush      |          | *                            |         |

**plumbing schedule**

| no. | item                 | location             | manufacturer                                   | model                                | fixtures                                       | remarks |
|-----|----------------------|----------------------|--|--------------------------------------|--|---------|
| 1   | sink                 | 1st flr. laundry     | Kohler or sim.                                 | utility sink; cast iron or porcelain | + faucet                                       |         |
| 2   | sink                 | 1st flr. kitchen     | Elkay or sim.                                  | undermount                           | + faucet + pot filler?                         |         |
| 3   | sink                 | 1st flr. kitchen bar | Elkay or sim.                                  | undermount                           | + faucet                                       |         |
| 4   | sink                 | 1st flr. bath        | Kohler or sim.                                 | undermount                           | + faucet                                       |         |
| 5   | toilet               | 1st flr. bath        | Toto   |                                      |  |         |
| 6   | shower controls      | 1st flr. bath        | Grohe or sim.                                  | multiple heads + rainshower?         | + linear drain; + adj. arm. w/ handheld shower |         |
| 7   | (2) sinks            | 1st owners' bath     | Kohler or sim.                                 | undermount                           | + faucets                                      |         |
| 8   | toilet               | 1st owners' bath     | Toto   |                                      |  |         |
| 9   | shower controls      | 1st owners' bath     | Grohe or sim.                                  | multiple heads + rainshower?         | + linear drain; + adj. arm. w/ handheld shower |         |
| 10  | tub                  | 1st owners' bath     | Kohler, Victoria and Albert, Wet Style or sim. | freestanding                         | + tub filler + handheld                        |         |
| 11  | sink                 | garage pantry        | Elkay or sim.                                  | undermount                           | + faucet                                       |         |
| 12  | shower controls      | garage bath          | Grohe/Kohler or sim.                           | multiple heads + rainshower?         | + linear drain; + adj. arm. w/ handheld shower |         |
| 13  | toilet               | garage bath          | Toilet   |                                      |  |         |
| 14  | sink                 | garage bath          | Kohler or sim.                                 | undermount                           | + faucet                                       |         |
| 15  | ext. shower controls | garage exterior      | Kohler or sim.                                 |                                      | + drain  |         |

**appliance schedule**

| no. | item                   | location         | manufacturer                     | model  | fixtures | remarks |
|-----|------------------------|------------------|----------------------------------|--|----------|---------|
| 1   | fridge                 | 1st flr. kitchen | Subzero, Thermador or sim.       | counterdepth; 36" w x 24" d                    |          | **      |
| 2   | dishwasher             | 1st flr. kitchen | Bosch or sim.                    |  |          | **      |
| 3   | microwave              | 1st flr. kitchen | Miele or sim.                    | undercounter?                                  |          | **      |
| 4   | cooktop                | 1st flr. kitchen | Wolf or sim.                     | 36" w; induction/gas/elec?                     |          | **      |
| 5   | hood                   | 1st flr. kitchen | Broan, Zephyr or sim.            | downdraft                                      |          | **      |
| 6   | undercounter fridge    | 1st flr. kitchen | Subzero, Thermador or sim.       | 24" w x 24" d                                  |          | **      |
| 7   | wall oven              | 1st flr. kitchen | Miele or sim.                    | 24" w; convection; double; micro/coffee combo? |          | **      |
| 8   | washer/dryer combo     | 1st flr. laundry | tbd.                             | 28" w; stackable apt. unit vs. single combo    |          | **      |
| 9   | fridge                 | garage pantry    | Thermador, Fisher Paykel or sim. | counterdepth; 24" w x 24" d apt. size          |          | **      |
| 10  | microwave/toaster oven | garage pantry    | tbd.                             | combo micro/toaster; undercounter?             |          | **      |
| 11  | dishwasher             | garage pantry    | tbd.                             |  |          | **      |

\*\*Owner provided; G.C. install.

brennan company ARCHITECTS  
410.313.8310  
baltimore washington  
505 oella avenue - elliecott city, maryland 21043

PROJECT: BRICKNER-FILIPCAK RESIDENCE  
10329 CAVEY LANE  
WOODSTOCK, MD 21163

| phase        | date                              |
|--------------|-----------------------------------|
| MD DD Permit | 11.1.2021<br>05.05.22<br>10.13.22 |

Professional Certification  
I certify that these documents were prepared or approved by me and that I am a duly licensed Architect under the laws of the State of Maryland, License No. 6563  
Expiration Date 05/17/2024

STATE OF MARYLAND  
No. 6563  
ARCHITECT

drawing: floor plans + schedules

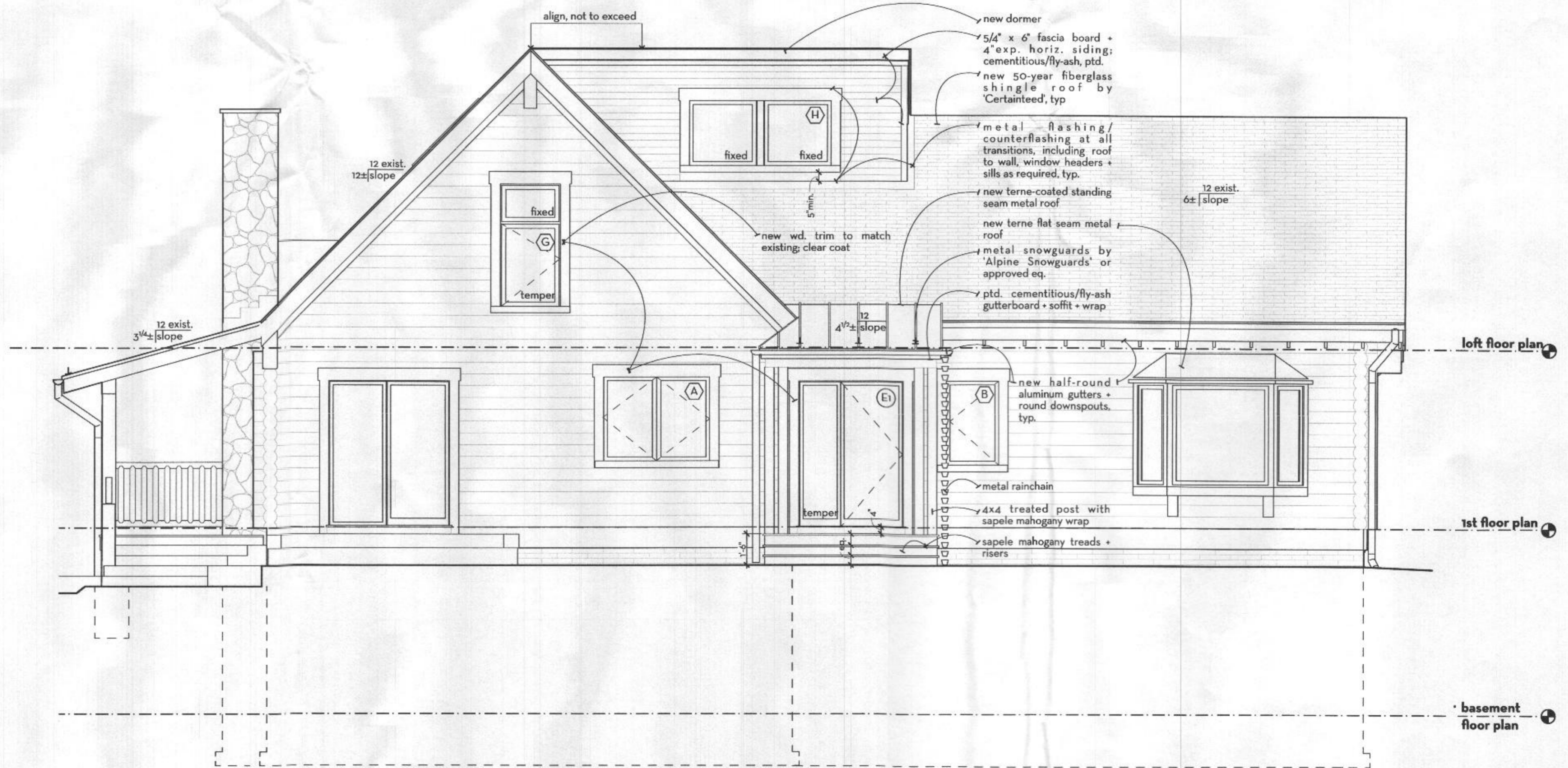
sheet no: **A6**



BIMcloud: brennan - BIMcloud as a Service / Brickner-Filiczak Residence / Brickner-Filiczak CD Lili Munderoff brennancompany architects 10/3/22 3:12 PM



**1 front (north) elevation**  
scale: 1/4" = 1'-0"



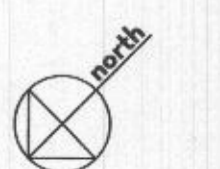
**2 rear (south) elevation**  
scale: 1/4" = 1'-0"

| phase  | date       |
|--------|------------|
| MD     | 11.11.2021 |
| DD     | 05.05.22   |
| Permit | 10.13.22   |

**Professional Certification**  
I certify that these documents were prepared or approved by me and that I am a duly licensed Architect under the laws of the State of Maryland, License No. 6363, Expiration Date 05/17/2024



drawing:  
exterior elevations



sheet no: