

Record Detail \* (This section is required.)

<b>Permit Type</b>	<b>Permit Number</b>	<b>Opened Date</b>
Building/Residential/Accessory/Structure	B23001972	06/05/2023
<b>Description of Work</b>		
SFD/ CONSTRUCT 30' X 52' DETACHED POOL HOUSE/, 1 STORY, Slab on Grade, 5R, 0FB, 1HB, 0FP, OTHER STRUCTURE = None, 0BR, PORCH/DECK = N/A, ENERGY METHOD = Performance Method,		

[check spelling](#)

Address (This section is required.)

Search Reset Clear Get Parcel & Owner

<b>Street #</b>	<b>Street Name</b>	<b>Street Type</b>	
2881	HUNT VALLEY	DR	
<b>Unit Type</b>	<b>Unit #</b>	<b>X Coordinate</b>	<b>Y Coordinate</b>
--Select--		-77.03535	39.28737
<b>City</b>	<b>State</b>	<b>Zip Code</b>	<b>Primary</b>
GLENWOOD	MD	21738	Yes

Parcel (This section is required.)

Search Reset Clear Get Address & Owner

<b>GIS ID</b>	<b>Parcel</b>	<b>Parcel Area</b>	<b>Land Value</b>	<b>Improved Value</b>	<b>Exemption Value</b>	<b>Plan Area</b>
899897	239	2.86	263600	1035200	771600	RURAL
<b>Legal Description</b>						
IMPVLOT 43 2.8606 A ]2881 HUNT VALLEY DR ]WELLINGTON SEC 1 AREA 1						

[check spelling](#)

<b>Block</b>	<b>Lot</b>	<b>Census Tract</b>	<b>Council Dist</b>	<b>Inspection Dist</b>	<b>Supervisor Dist</b>	<b>Map #</b>	<b>DAP Zone</b>
	43	605601	5				
<b>Plan Area</b>	<b>State Tax Id</b>	<b>Subdivision Name</b>					
	1404349695	WELLINGTON					
<b>Section</b>	<b>Area</b>	<b>Tax Map</b>					
		14					
<b>Grid</b>	<b>Zoning District</b>	<b>ADC Map</b>					
14-21	RC-DEO	4812-E5					
<b>SDP No.</b>	<b>Final Plan No.</b>	<b>WP File No.</b>					
<b>Record Plat No.</b>	<b>WS Contract No.</b>	<b>FDP No.</b>	<b>Primary</b>				
8950			Yes				
<b>Owner Occupied</b>	<b>Year Built</b>	<b>Historic District</b>					
<input type="radio"/> Yes <input type="radio"/> No	1994	<input type="radio"/> Yes <input checked="" type="radio"/> No					
<b>Historic District Registry No.</b>	<b>Stat Area</b>	<b>Flood Plain</b>					
	4-08	<input type="radio"/> Yes <input checked="" type="radio"/> No					
<b>Building No</b>							

Owner (This section is not required.)

Search Reset Clear

**Name**  
KALIS KEVIN JOSEPH

**Address Line 1**  
2881 HUNT VALLEY DR

**Address Line 2**

**Address Line 3**

<b>Mail City</b>	<b>Mail State</b>	<b>Mail Zip Code</b>
GLENWOOD	MD	21738
<b>Phone</b>	<b>Primary</b>	
410-963-4750	Yes	
<b>E-mail</b>		
kalisfamily@icloud.com		
<b>Cell Number</b>	<b>Fax Number</b>	

**Professionals** (This section is not required.)

**License #**  
 08050127672  
**Business Name**  
 T W BOYS CO INC  
**License Type**  
 MHIC Co  
**Primary**  
 Yes  
**First Name**  
 HARRY  
**Middle Name**  
  
**Last Name**  
 PIRRUNG  
**Address Line 1**  
 14777 ADDISON WAY  
**Address Line 2**  
 14777 ADDISON WAY  
**City**  
 WOODBINE  
**State**  
 MD  
**ZIP Code**  
 21797-8628  
**Phone 1**  
 4104896570  
**Phone 2**  
  
**Fax**  
 4104896571  
**E-mail**  
 HGP@TWBOYS.COM

**Applicant** (This section is not required.)

**Search**    **As Owner**    **As Lic. Prof**    **As Contact**  
  
**Type**  
 Applicant  
**Relationship**  
 Applicant  
**Primary**  
 No  
**First Name**  
 Harry  
**MI**  
  
**Last Name**  
 PIRRUNG  
**Full Name**  
 Harry PIRRUNG  
**Organization Name**  
 T W Boys Co Inc  
**Street Address**  
 14777 Addison Way  
**Address Line 2**  
  
**City**  
 Woodbine  
**State**  
 MD  
**Zip Code**  
 21797  
**Phone**  
 410-489-6570  
**Cell**  
  
**Fax**  
  
**E-mail**  
 hgp@twboys.com

**Contact** (This section is not required.)

**Search**    **As Owner**    **As Lic. Prof**    **As Contact**  
  
**Type**  
 Contact  
**Relationship**  
 Licensed Professional  
**Primary**  
 Yes  
**First Name**  
 HARRY  
**MI**  
  
**Last Name**  
 PIRRUNG  
**Full Name**  
  
**Organization Name**  
 T W BOYS CO INC  
**Street Address**  
 14777 ADDISON WAY  
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**State**  
 MD  
**Zip Code**  
 21797-8628  
**Phone**  
 4104896570  
**Cell**  
  
**Fax**  
 4104896571  
**E-mail**  
 HGP@TWBOYS.COM

**Addtl Info**

**Est Construction Cost**  
 200000  
**Housing Units**  
 1  
**Number of Buildings**  
 1  
**Public Owned**  
 No  
**Construction Type**  
 101 - Single Family Houses Detached

**RESIDENTIAL ADDITION INFORMATION**

RESIDENTIAL ADDITION INFORMATION

<b>Capital Project-No Fee</b> <input type="radio"/> Yes <input checked="" type="radio"/> No	<b>Capital Project Number</b> .....	<b>Fee Exempt</b> <input type="radio"/> Yes <input checked="" type="radio"/> No	<b>Roadside Tree Project Permit</b> <input type="radio"/> Yes <input checked="" type="radio"/> No	<b>Roadside Tree Project Permit #</b>		
<b>No of Stories</b> 1	<b>Foundation</b> Slab on Grade	<b>Basement</b> N/A	<b>No of Rooms</b> 5	<b>Full Baths</b> 0	<b>Half Baths</b> 1	<b>Existing Use</b> Other - See Description of Work Condominium

[check spelling](#)

<b>Other Structure</b> *		<b>Bedrooms</b> *		<b>Porch Deck</b> *		<b>No of Fireplaces</b> *		<b>Type of Fireplace</b>		<b>Energy Code</b> *	
None		0		N/A		0		--Select--		Performance Method	
<b>W &amp; S Fees Paid</b>		<b>Water</b>		<b>Sewage</b>		<b>Utilities</b>		<b>Heating System</b>		<b>Sprinkler System</b>	
<input type="radio"/> Yes <input type="radio"/> No		Private		Private		Electric		Electric		None	
<b>1st Floor Width</b>		<b>1st Floor Depth</b>		<b>2nd Floor Width</b>		<b>2nd Floor Depth</b>		<b>Basement Width</b>		<b>Basement Depth</b>	
30 FT		52 FT									
<b>Total Square Footage</b>		<b>Occupiable Square Footage</b>		<b>Affordable Housing Funding</b>		<b>Foundation Measurement</b>		<b>Footings</b>		<b>Construction Type</b>	
1560		1560		N/A						--Select--	
<b>Walls</b>		<b>Roof</b>		<b>Change In Use</b>		<b>Grading Permit No</b>		<b>Senior Housing</b>		<b>MIHU Outside Downtown Columbia</b>	
				<input type="radio"/> Yes <input checked="" type="radio"/> No				<input type="radio"/> Yes <input type="radio"/> No		<input type="radio"/> Yes <input type="radio"/> No	
<b>Additional Description Info</b>								<b>Expiration Date</b>		<b>Affordable Downtown Columbia</b>	
								12/2/2023		<input type="radio"/> Yes <input type="radio"/> No	
								<b>MIHU Required Units</b>			

[check spelling](#)

**GREEN INFORMATION**

<b>Goal Level</b>	<b>Actual Level</b>	<b>Leed Registration Number</b>	<b>Date of Leed Certification</b>
--Select--	--Select--		

**Submit**   **Cancel**

**HOWARD COUNTY DEPARTMENT OF INSPECTIONS,  
LICENSES AND PERMITS  
ON-LINE PLAN DROP OFF**

To: Plan Review Division

From: T-W. BOYS CO. INC.  
(Name) HARRY PIRAVONG  
(Company)

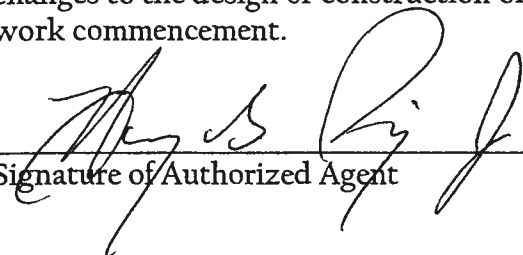
Telephone #: 301 641 3173 Email address hgp@twboys.com

Permit Site Address 2881 HENT VALLEY DR.

Permit Number: B2300 1972

Application On-Line File Date: 6/5/23

The above referenced permit was applied for online and the drawings are being dropped off for review and approval. These drawings represent the proposed work as outlined on the on-line application. I understand that this Department will not be responsible for any lost plans or documents. It is understood that if any changes to the design or construction of this project is made, revised plans will be submitted prior to any work commencement.

  
\_\_\_\_\_  
Signature of Authorized Agent

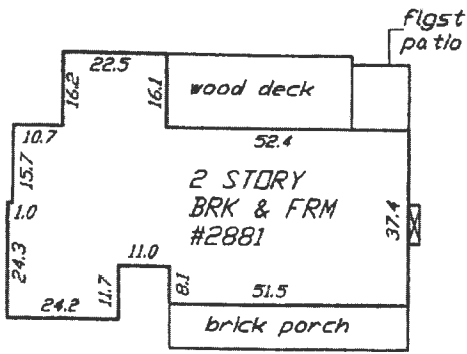
-----  
For Office Use Only

Accepted by (initials): Uso on 6/8/23  
(Date)

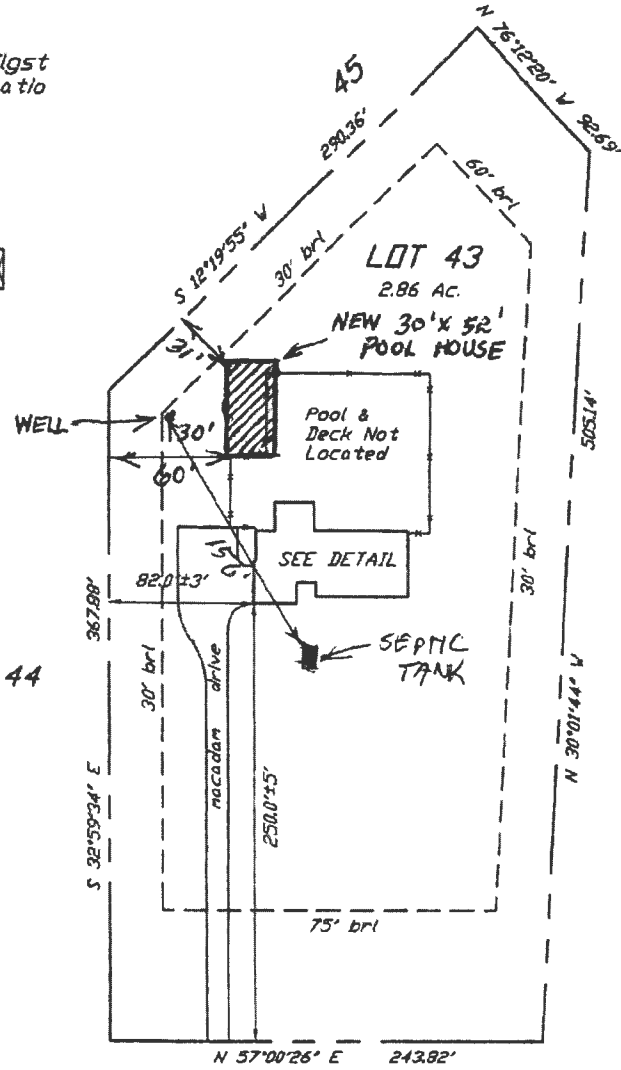
Received by Plan Review (initials):

RECEIVED  
JUN 11 2023  
LICENSES & PERMITS  
DIVISION





DETAIL: 1"=40'



HUNT VALLEY DRIVE



Apparent occupation is shown.  
No evidence of property corners was found.

Date: 05-25-22 Scale: 1"=100' Dm: R.C.d.  
Plat Book: NO TITLE REPORT FURNISHED  
Plat No.: 8950  
Work Order: 22-1237  
Address: 2881 HUNT VALLEY DRIVE  
District: 04  
Jurisdiction: HOWARD COUNTY, MARYLAND

**LOCATION DRAWING**

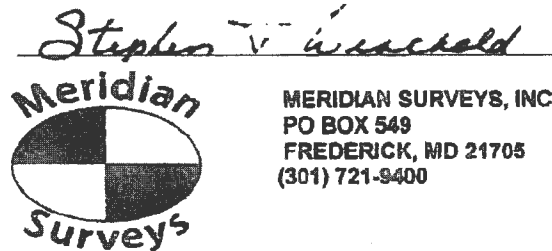
LOT 43  
AREA ONE  
SECTION ONE  
WELLINGTON

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.

**Surveyor's Certification**

My License expires February 10, 2024

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. Building restriction lines shown are per available information and are subject to the interpretation of the originator.



MERIDIAN SURVEYS, INC.  
PO BOX 549  
FREDERICK, MD 21705  
(301) 721-9400



# MASONRY

- Maximum vertical distance of unbalanced fill measured from the top of the lower level slab to outside finished grade shall not exceed the following, for unreinforced walls where unstable soil or ground water conditions do not exist.

Type of Wall	Height of Fill
8" C.M.U.	4'-0"
12" C.M.U. (hollow)	6'-0"
12" C.M.U. (solid)	7'-0"
8" Poured Concrete	7'-0"
10" Poured Concrete	8'-0"

- Masonry veneer shall be installed over 1/2" felt or approved water repellent sheathing. Through-wall flashing and weeps shall be provided at any location where interior space projects beyond the face of the veneer, i.e. bay windows, off-set chimneys, etc.

- Masonry veneer shall be attached 16" o.c. each way and anchored in accordance with the local code requirements.

- Walls over 7'-0" or on unstable soil shall be engineered and certified by a registered professional engineer.

- Concrete masonry units shall meet ASTM C-90 Grade A solid block or ASTM C-145 Grade 8 Standards and be 28 DAYS OLD before installation. Minimum net compression strength of block to be 1500 psi.

- Parging over CMU walls to be not less than 3/8" Portland cement parging from footing to finished grade. Parging and poured concrete walls shall be covered with a coat of approved bituminous material applied at the recommended rate below grade.

- MASONRY LINTELS: Provide lightweight pre-cast lintels for all openings and all recesses in CMU walls. Provide (1) 4x8 lintel for each 4" of wall thickness. Reinforce each lintel with two #4 bars at top and bottom and with #2 ties spaced 9" O.C., unless noted otherwise. Precast lintel to have minimum 8" bearing at each end. Such lintels shall not support any superimposed loads.

- Use Type "M" mortar for masonry below grade in contact with earth.

- Use Type "N" mortar for exterior above-grade load bearing and non-load bearing walls, and for other applications where another type is not indicated.

# CONCRETE

- Concrete works shall conform to American Concrete Institute Standard 318-83

- Bottom of all footings shall be located a minimum of 30" (as per local code) below finished grade. Steps or depth of footing / foundation may vary according to local site or frost conditions.

- All interior concrete slabs shall be reinforced 4"x4"xW2.0xW2.0 WWF or control joints. Monolithic tumbled down slabs for townhouses shall have a control joint between units.

- Concrete used in exposed areas implicit to freezing and thawing (both during construction and service life) shall be air-entrained in accordance with local code. Exterior flat-work shall be coated with an approved curing compound.

- Foundation walls of habitable rooms located below grade will be dampproofed or water proofed using materials/methods approved by local building jurisdiction.

- All work shall comply to local code.

Type of Concrete Construction	Minimum Specified Compressive Strength
- Footings	3500 PSI
- Interior Basement Slabs	3500 PSI
- Foundation Walls	3500 PSI
- Garage and Exterior Slabs	3500 PSI
- Rat Slabs	2500 PSI

(or as per local code)

- REINFORCING BARS: ASTM A-615 and A-305. MESH: ASTM A-185.

- All interior slabs of 30 FEET or more in any dimension shall have WWF and Control Joints.

- Vapor barrier under all slabs EXCEPT garages: 7 MIL Polyethylene. Lap all edges 6". Lay over 4" Gravel bed.

- Exterior Concrete Slabs: 5% to 7% Air Entrained

# WOOD

- Wall bracing shall be installed as per local code.

- All roof trusses and floor systems shall be braced and installed per manufacturer's specifications and as per local code. See manufacturer's plans for exact layout and construction.

- All trusses are to be stamped and certified by a registered engineer and meet IP1 manufacturers minimum requirement.

- See drawings for plywood.

- Tongue and groove floor decking glued and nailed (8d nails) on floor joists of 6" o.c. and 4" edge spacing maximum to meet the American Plywood Association Sturd-I-Floor system.

- Tongue and groove floor decking glued nailed (8d nails) on pre-engineered floor joists at 6" o.c. and 4" edge spacing maximum to meet the American Plywood Association Sturd-I-Floor system.

- Fire-stopping shall be provided to cut-off concealed draft openings and to form an effective fire barrier between stories as per local code.

- All LVJ's will be microlams will be manu. by Jral Jral McMillan (or equiv)

- Structural town lumber shall be SPF #1 or #2

- All exterior walls are 2x6 stud #16" centers, minimum SPF stud grade unless otherwise noted.

- All interior walls are 2x4 stud #16" centers, minimum SPF stud grade unless otherwise noted.

- All opening headers to be 3-2x10's w/ 3/4" plywood filler bearing on min. 2-2x4's studs, unless noted otherwise

- Joint hangers to be installed as required.

- All wood less than 8" from grade shall be pressure treated. All sole plates on slabs shall be pressure treated.

- Provide bearing of all structural members as required by local code.

- All materials shall be installed per manufacturer's specifications and as per applicable building codes.

- All multiple beam members will be glued together with liquid nails and screwed using 3" Deck Mate screw at 16" o.c. staggered 2" from the top and bottom of the depth of the beam.

- All work shall comply to local code.

# METAL

- Strap anchors or anchor bolts shall be local code and building inspector approved: Minimum 2 straps/bolts per section of plating 12" Max. from each end and with intermediate strap/bolts at 6'-0" o.c. maximum. (or as per local code)

- Galvanized metal brick veneer ties shall be installed 16" o.c. each way.

- All steel shall conform to ASTM Specs for A-36 Steel.

- Metal joint hangers (Standard wood ledger) shall be used where required at joints without direct bearing and be min.18 GA. galvanized steel. Use all nails specified by the manufacturer.

- Steel lintels for all opening and recesses in brick or brick faced masonry wall not specifically detailed: Provide (1) steel angle for each 4" of wall thickness. Steel angles to have minimum 6" bearing at each end. Horizontal leg shall be 3/4", unless noted otherwise.

- LINTEL SCHEDULE (UNLESS NOTED OTHERWISE ON PLANS):

LOOSE LINTELS (STEEL AND PRECAST)

1. Provide loose lintels over penetrations in new masonry walls (and new penetrations in existing masonry walls) of doors, windows, mechanical and electrical services and equipment, etc...u.n.o.

2. Provide a steel angle for each 4" of masonry thickness bearing 4" minimum on a full mortar bed as follows:

OPENINGS UP TO 3'	13-1/2x3-1/2x5/16
OPENINGS >3' TO 5'	14x3-1/2x5/16 (LLV)
OPENINGS >5' TO 8'	16x3-1/2x5/16 (LLV)

3. Where required for architectural reasons, or as noted, provide precast concrete lintels bearing 8" min. on a full mortar bed as follows.

4" WALLS (8" max open.)	4"x8", Reinforced W/ #3 top & #5 bottom
6" WALLS (8" max open.)	6"x8", Reinforced W/ #3 top & #5 bottom
8" WALLS (8" max open.)	8"x8", Reinforced W/ #3 top & #5 bottom

4. When walls are present that are thicker than 8" use a combination of 4", 6" and 8" precast concrete lintels.

- Lintels shown shall not support any superimposed loads.

- All steel angles in masonry walls are to be flashed and painted.

- Paint all exterior ferrous or galvanized metals EXCEPT completely pre-finished factory items.

- All work shall comply to local code.

# SITWORK

- GENERAL: These drawings do not cover sitework, grading or landscaping

- Building foundations have been designed based on an assumed soil bearing capacity of 1500 PSF. Additional engineering is required if soil bearing capacity is less than 1500 PSF.

- Provide continuous perimeter foundation drainage in accordance with local code requirements. Where both interior and exterior drains are required, provide minimum 1 1/2" dia. bleeder pipes through mid line of footing at max 8" o.c. Typically, drains shall lead to sump pits or to positive daylight discharge points.

- Slope all stoops, porches, walks and exterior slabs away from building 1/8" minimum per foot.

- All work shall comply to local code.

# WEATHER/THERMAL

- Insulation for slab on grade construction shall begin at the inside intersection of the slab and the foundation wall and shall extend for a minimum distance of 24" down the inside face of the foundation wall and horizontally 24" under the slab. For unheated slabs a material with an R-value of 42 is required; for heated slabs an R-value of 63 is required (or as per local code)

- Sill Sealer-compressible material shall be installed under all mud plates (foundation wall and wood floor systems) and sole plates (slab on grade)

R-Value	Thickness	Location
R-11 FS25	3 1/2"	Basement Walls
R-21	5 1/2"	2x6 Walls (exterior)
R-38	9"	Crawl Space
R-38	"	Floors exposed to unheated condition
R-49 Batt	12"	Roof
R-49 blown	"	Apply blown insulation as required by manufacturer's specifications

- Provide vents as per local code.

- Flashing: Prefinished aluminum or equal, at all roof offsets, chimneys, roof openings, hips, valleys, ridges, dormers and where roof intersects wall.

- Contractor shall maintain in all circumstances proper fire, sound and insulation ratings when penetrating through walls, floors, ceilings and roofs.

All miscellaneous penetrations during construction shall be patched and repaired according to manufacturer's specifications and as per code.

- All exterior joints between windows, doors and other surfaces shall be caulked and sealed appropriately.

- DAMPROOFING: Apply (1) coat of asphalt emulsion to exterior of all below grade walls at basement conditions. When habitable space occurs below grade, provide waterproofing membrane, aqueous based elastomeric, vinyl acrylic mastic, 35 MIL. min. thickness or other approved eqval.

- SLAB VAPOR BARRIER: 7 MIL. polyethylene sheet where noted on drawings. Overlay all edges 6".

- SILL SEALER: 1/2" x 5 1/4" compressible fiberglass beneath all exterior sill plates or other approved sill sealer.

- Provide approved corrosion-resistive flashing at the intersections of masonry and wood frame construction; over projecting wood trim; where decks, porches etc. attach to wood frame construction; at wall and roof intersection; at chimney and roof intersections; in roof valleys; at all roof penetrations; and at wall openings if recommended by window and door manufacturers.

- Slab perimeters exposed to outside or within 30" of grade; 4.5x24", either vertical or horizontal from slab intersection.

- ROOFING: unless noted otherwise, roofing shall be min 200# Class "C" Fiberglass based asphalt shingles over 15 pound felt. Leave flashing to a point 24" inside of interior face of wall line may be also installed at the owner's discretion.

- WALL SHEATHING: As shown on drawings and installed in accordance with MANUFACTURER'S RECOMMENDATIONS.

- GUTTERS AND LEADERS: .032" Prefinished aluminum gutters with .024" prefinished aluminum leaders. Lead to splashblocks or collector as required.

# DOORS and WINDOWS

- Provide safety glazing as required by local code.

- All doors and windows shall be installed in accordance with manufacturer's specifications, and as per local code.

# GENERAL NOTES

- All work shall comply to all applicable local codes.

- All construction shall be classified as and comply to either of the following:

-- Use Group R-4 under the 2021 International Residential Code, & Howard County Code

- Contractor is responsible for bracing all framing/walls during construction

- These plans and notes are the property and sole responsibility of JRArchitecture, Inc. Use of these plans without the written consent of JRArchitecture, Inc. is prohibited.

- These plans are subject to modification as necessary to meet code requirements and to facilitate mechanical/plumbing installations or to incorporate design improvements. The Architect and the Owner reserves the right to make any changes, for any reason, at any time, providing they comply with the code.

- The Sub-Contractor shall compare and coordinate all drawings. When a discrepancy or an error or omission exists, he shall comply with the code and contact the Architect and the Owner in writing for proper adjustment.

- These plans are not to be scaled for construction purposes. Written dimensions and notes supersede all scaled reference.

- In the event certain features of Construction are not fully shown on the drawings, their construction shall be of the same character as for similar conditions that are shown or noted.

- Field verify ALL existing dimensions

# DESIGN - LIVE LOADS

RECOMMENDED MINIMUMS:	ROOF:
- Ground Snow Load	30 psf
- Roof	40 psf
- Sleeping Floors	30 psf
- Living Floors	40 psf
- Exterior Decks	40 psf
- Stairs	100 psf
- Garage Slabs	50 psf
- Wind Load	17 psf
- Dead Load	10 psf
- Guardrails	200'

(or as per local code)

# STAIR CRITERIA

- INTERIOR and EXTERIOR STAIRS

- All stairs shall comply with all local codes.

- Minimum finish width: 36"  
- Minimum finished headroom height: 6'-8"  
- Maximum rise height: 7 3/4"  
- Minimum tread depth: 11"  
- Maximum space between balusters: 4"  
- Handrail height shall not be less than 34" or greater than 38" and may not project more than 3 1/2" into stair width.

- Provide a minimum of 1 1/2" space between handrail and wall.

- Stair winder shall have a minimum inside width at 4" and a minimum of a 9" tread when measured 12" from inside corner.

- Stair landings shall be a minimum of 36" x 36"

- Stairways with 3 or more risers are required to have a handrail.

# MECH. PLUMB. ELEC.

- Mechanical contractor is responsible for the design and installation of mechanical systems including duct sizes, trunk and register size for air conditioning and heating. Systems shall be installed per manufacturer's specifications and recommendations and as per all applicable building codes.

- Plumbing contractor is responsible for the design and installation of plumbing and piping. All plumbing, piping and fixtures shall be installed per manufacturer's specifications and recommendations and as per all applicable codes.

- Electrical contractor is responsible for the design and installation of all electrical systems. All electrical work shall meet the requirements of the National Electric Code, the local power company and all applicable codes. Fixtures and apparatus are selected by the builder and shall be UL approved.

- Smoke & Carbon Monoxide detectors - Provide a minimum of one ceiling mounted fixture per floor, hard wired to a nearby circuit and interconnected for simultaneous activation with battery backup. Provide detectors at each sleeping area if required by local code. Provide detectors outside each sleeping area within 10'-0" of each door.

- Fire suppression systems shall be installed as per local building code.

- All work shall comply to local code.



PROFESSIONAL CERTIFICATION  
I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.  
License Number #14678  
Expiration Date: 6/30/2024

WARNING:  
NO DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.  
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Jonathan Rivera Architect  
All Rights Reserved

# PROPOSED ADDITION

## KALIS RESIDENCE

2881 Hunt Valley Drive,  
Glenwood, Maryland 21738

ARCHITECT  
Jonathan Rivera AIA, NCARB  
Jonathan Rivera, Maryland

442.224.5745  
jrivera@jonathanhwa.com

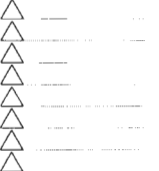
BUILDER  
T.W. Byco Co. Inc.  
Contact - Nick Phung  
hg@twbycos.com

410-489-6570 office  
310-641-3173 cell

STRUCTURAL ENGINEER

## ISSUE DATE

4-1-23 PERMITS SET



## SCALE:

## GENERAL INFO

0.02

PRINT DATE:  
Friday, June 2, 2023

PROFESSIONAL CERTIFICATION  
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 hgp@twboys.com

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 310-641-3173 cell

**STRUCTURAL ENGINEER**

**ISSUE DATE**

▲	6-3-23	PERMIT SET
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SCALE: 1/4" = 1'-0"

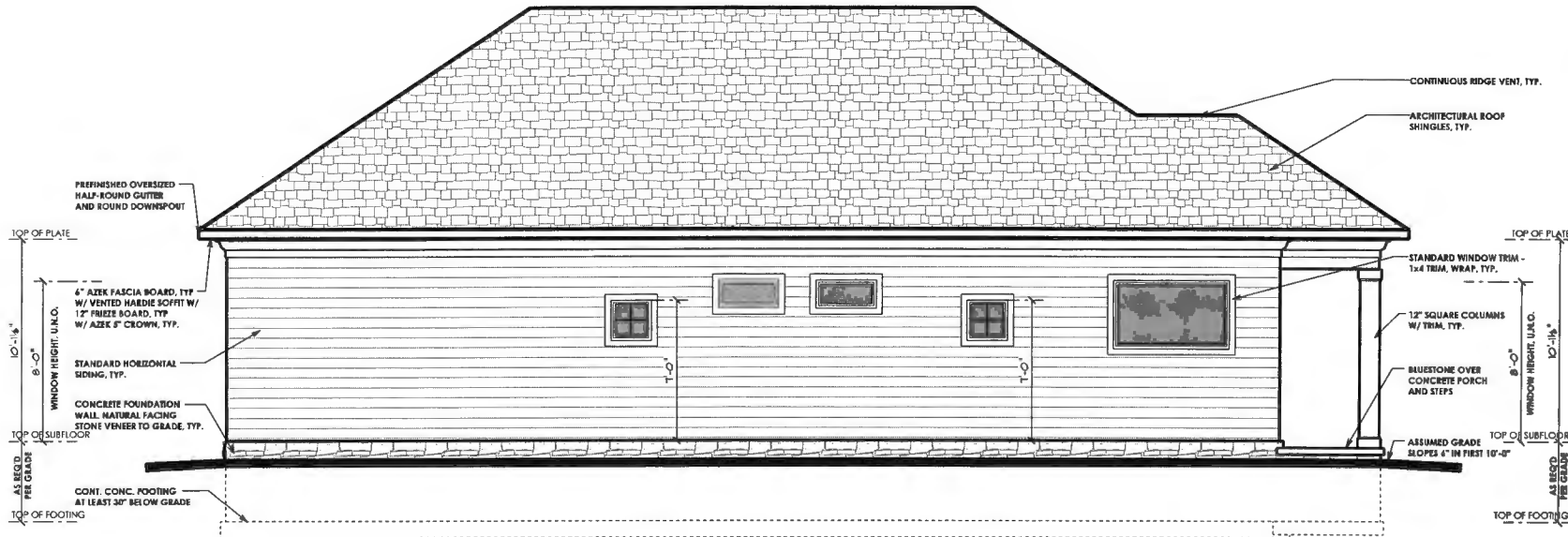
**ELEVATIONS**

**1.01**

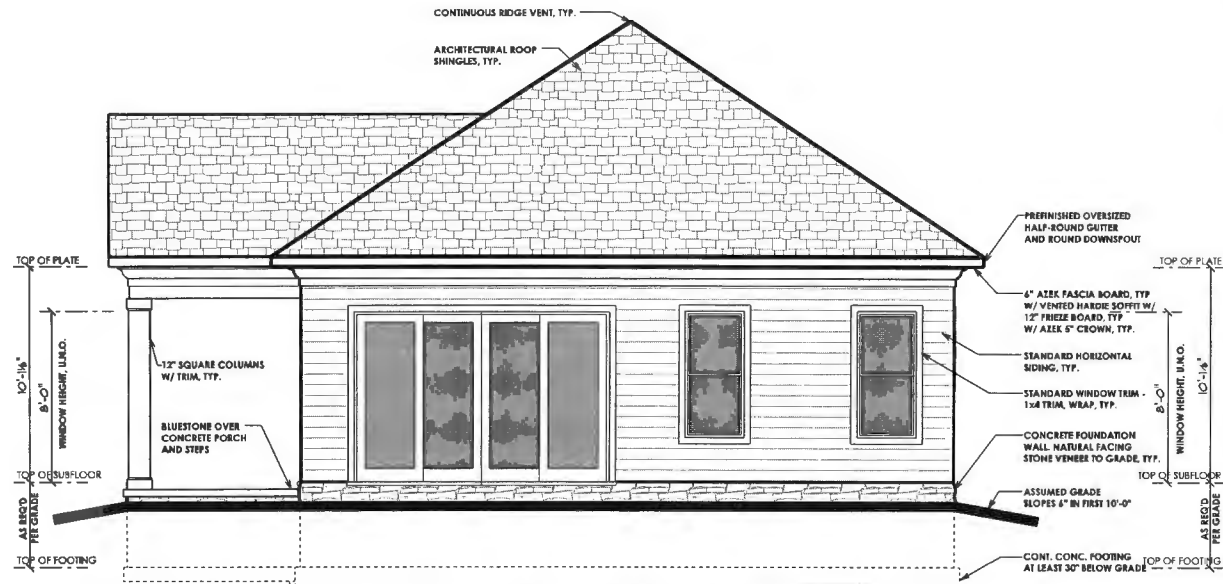
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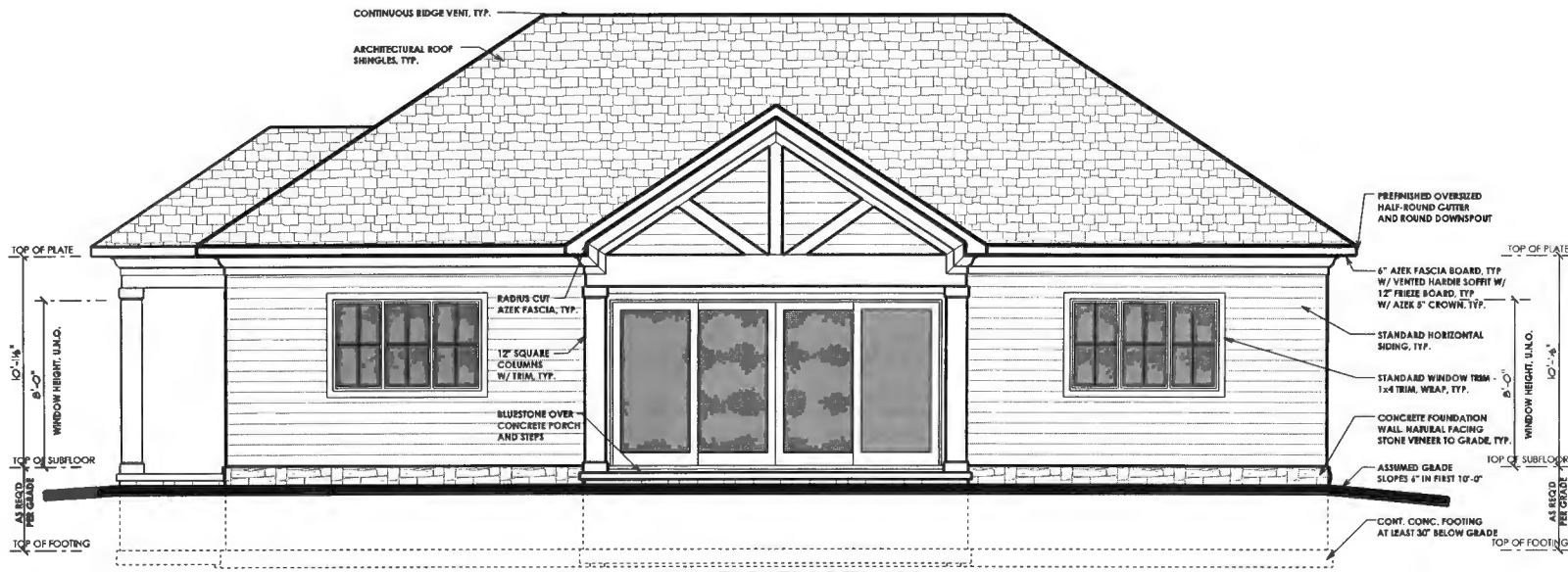
**FRONT ELEVATION**



**LEFT ELEVATION**



REAR ELEVATION



RIGHT ELEVATION



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**ELEVATIONS**

**1.02**

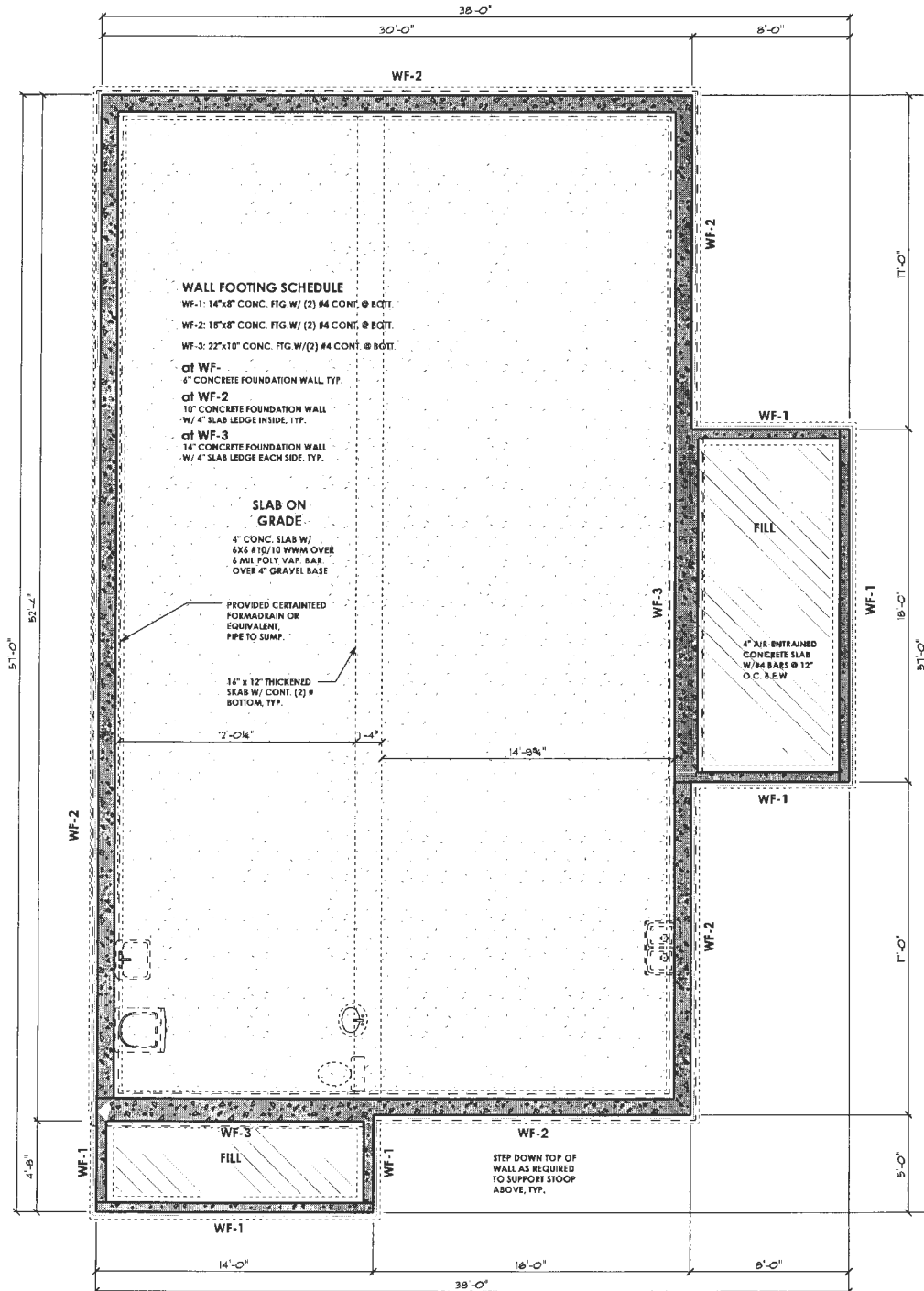
PRINT DATE:  
Friday, June 2, 2023

**FOUNDATION NOTES**

- 1) 1500 PSF MIN SOIL BEARING CAPACITY ASSUMED
- 2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE SPF #1/#2 OR EQ. TYP THROUGHOUT U.N.O.
- 3) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, R/W/H, A/H AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE
- 4) FOUNDATION WALL MIN. THICKNESS 8" OR 10" WHERE STEIN WALL AT BRICK EDGE EXCEEDS 12" HIGH
- 5) MIN. 1/2" HOOKED ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC. SHALL BE SPACED AT 4' O.C. AND LOCATED 4" TO 12" FROM EACH END OF ALL SILL PLATE PIECES.
- 6) REFER TO WALL SECTION(S) FOR FOUNDATION WALL DETAILS.

**TYPICAL HOUSE BOX FOUNDATION WALL**

MIN. 8" REINFORCED CONCRETE FOUNDATION WALL (THICKNESS & REINFORCING PER SOIL & GRADE CONDITIONS & CODE)  
MIN. 8"x16" CONTINUOUS FOOTING



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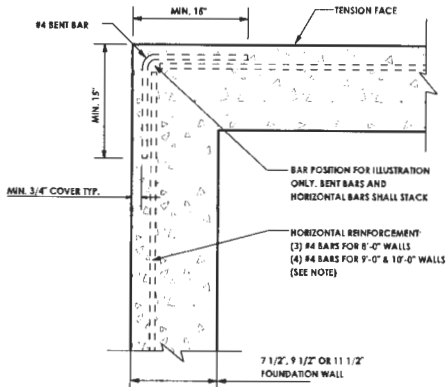
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SCALE: 1/4" = 1'-0"

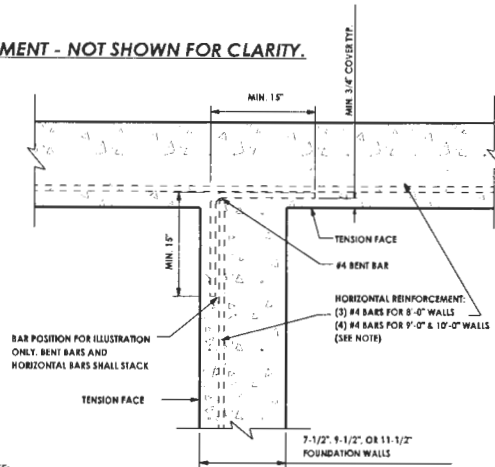
**FOUNDATION**  
**2.01**  
PRINT DATE:  
Friday, June 2, 2023

\*\*\*VERTICAL REINFORCEMENT - NOT SHOWN FOR CLARITY.



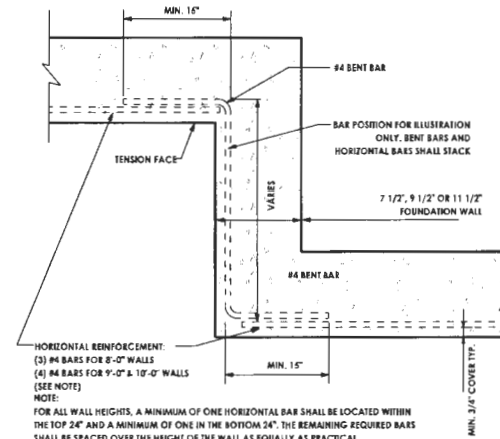
NOTE:  
FOR ALL WALL HEIGHTS, A MINIMUM OF ONE HORIZONTAL BAR SHALL BE LOCATED WITHIN THE TOP 24" AND A MINIMUM OF ONE IN THE BOTTOM 24". THE REMAINING REQUIRED BARS SHALL BE SPACED OVER THE HEIGHT OF THE WALL AS EQUALLY AS PRACTICAL.

TYPICAL CORNER REINFORCING UNO



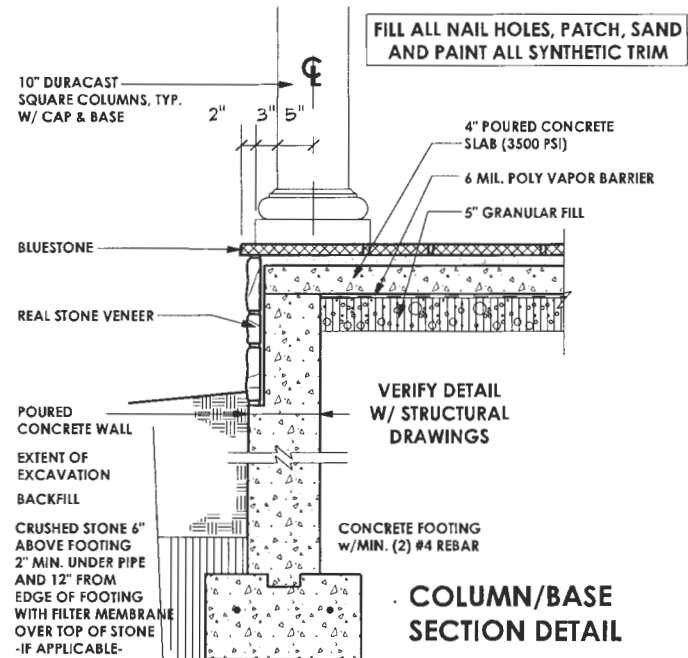
NOTE:  
FOR ALL WALL HEIGHTS, A MINIMUM OF ONE HORIZONTAL BAR SHALL BE LOCATED WITHIN THE TOP 24" AND A MINIMUM OF ONE IN THE BOTTOM 24". THE REMAINING REQUIRED BARS SHALL BE SPACED OVER THE HEIGHT OF THE WALL AS EQUALLY AS PRACTICAL.

TYPICAL REINFORCING AT "T" INTERSECTIONS - UNO



NOTE:  
FOR ALL WALL HEIGHTS, A MINIMUM OF ONE HORIZONTAL BAR SHALL BE LOCATED WITHIN THE TOP 24" AND A MINIMUM OF ONE IN THE BOTTOM 24". THE REMAINING REQUIRED BARS SHALL BE SPACED OVER THE HEIGHT OF THE WALL AS EQUALLY AS PRACTICAL.

TYPICAL REINFORCING AT "Z" INTERSECTIONS - UNO



COLUMN/BASE SECTION DETAIL

PROPOSED ADDITION

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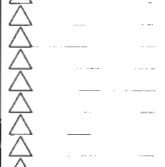
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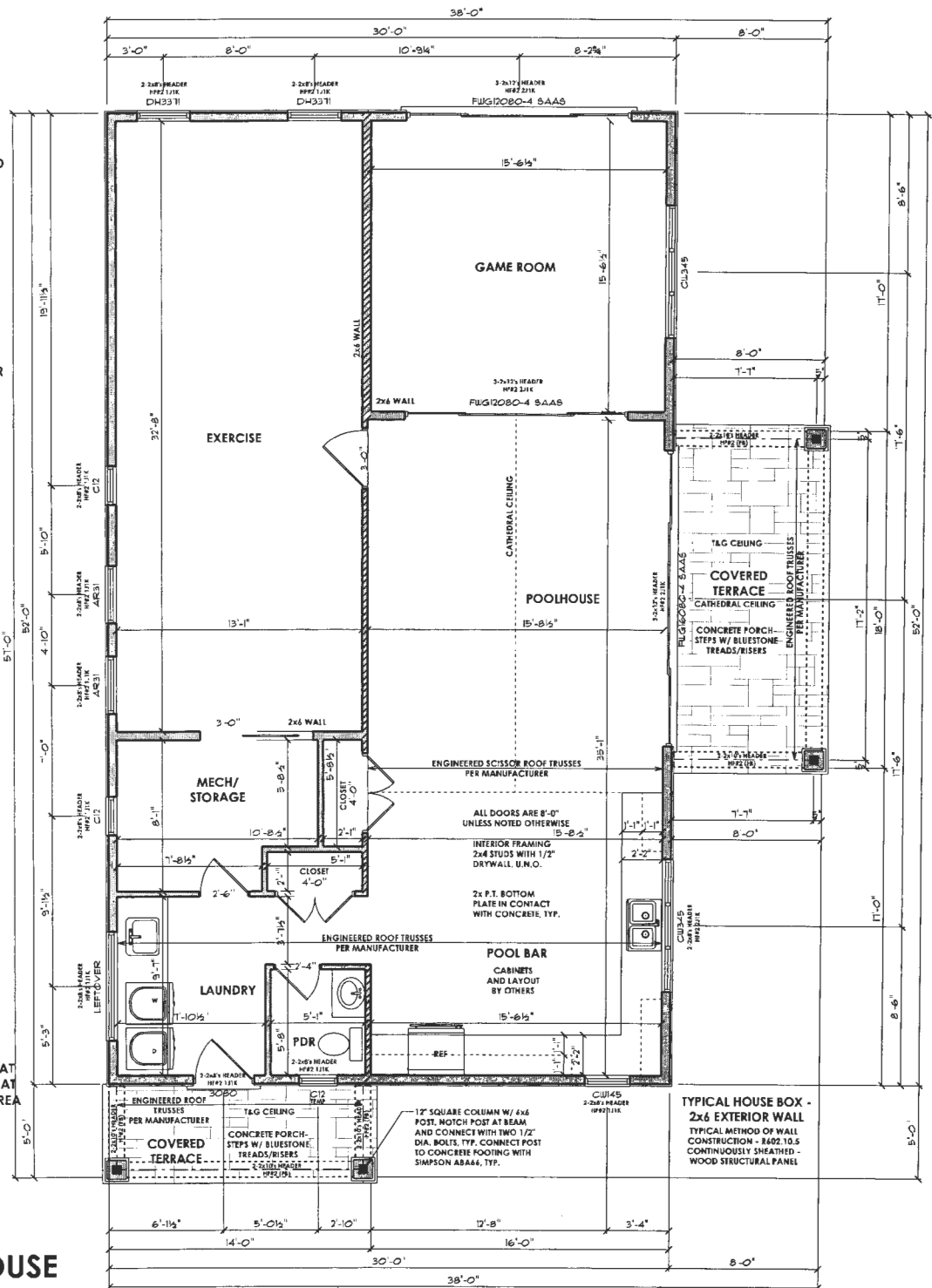
FOUND. DETAILS

**2.02**

PRINT DATE:  
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ARCHITECTURAL ASPHALT SHINGLES  
 CONTINUOUS AIR VENT BAFFLES @ 24" O.C. ENDS AT RIDGE - TO BE INSTALLED SO THAT AIR FLOW IS NOT RESTRICTED  
 PRE-ENGINEERED ROOF TRUSSES  
 CONTINUOUS EAVES PROTECTION (2 COURSES)  
 5/8" OSB ROOF SHEATHING W/H-CLIPS  
 PRE-FINISHED ALUMINUM GUTTER & EAVE FLASHING  
 2x6 FASCIA  
 PRE-FINISHED SOFFIT W/ EQUALLY SPACED VENTS  
 SEALANT AND BACKER ROD  
 METAL FLASHING  
 R-30 BATT INSULATION LAID PERPENDICULAR TO R-19 INSULATION OR R-49 BLOWN-IN CELLULOSE  
 1/2" DRYWALL  
 2-2x6 TOP PLATES  
 BUILT-UP HEADER W/ RIGID INSULATION FILLER  
 INTERIOR CASING  
 SHIMS AND INSULATION  
 WINDOW UNIT  
**BLOCK SOLID AT ALL LOAD PATHS**  
 SEALANT AND BACKER ROD  
 INTERIOR CASING  
 2x6 SILL PLATE  
**TYPICAL 2x6 SIDING EXTERIOR WALL:**  
 MATCH MAIN HOUSE SIDING  
 HOUSE WRAP - TAPE SEAMS  
 1/2" OSB SHEATHING - TAPE SEAMS  
 2x6 STUDS @ 16" o.c.  
 R21 BATT INSULATION  
 1/2" GYPSUM BOARD  
 P.T. 2x6 SILL PLATE ON GASKET FASTENED TO FOUNDATION WALL WITH 1/2" DIAMETER ANCHOR BOLTS AT 4' O.C. WITHIN 12" FROM CORNERS  
 BASEBOARD  
 4" POURED CONCRETE SLAB 3500 PSI  
 WEATHER TIGHT CAULKING  
 EXTENT OF EXCAVATION  
 REINFORCING BARS  
 GRAVEL STOP  
 6" GRVEL (MINIMUM) ON PROVIDED CERTAINEED FORMDRAIN (or eq.) PIPE TO SUMP. DRAIN TO BE IN 1"-1.5" WASHED STONE WITH FILTER FABRIC or PROVIDE 4" DIA FOOTING DRAINPIPE TO DAYLIGHT. DRAIN TO BE IN 1"-1.5" WASHED STONE WITH FILTER FABRIC WITH...  
 3" CIR. INTERIOR PERIMETER DRAIN TILE IN 6" STONE COVER AND SILT BARRIER W/WEEP HOLES @ 4' O.C.  
 6MIL. POLY VAPOR BARRIER  
 5" GRANULAR FILL  
 R10 RIGID INSULATION AT LEAST 2' UNDER SLAB & AT AREAWAY AND ANY AREA LESS THAN 12" BELOW GRADE  
 CONCRETE FOOTING W/MIN. (2) #4 REBAR

### WALL SECTION AT POOLHOUSE



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SCALE: 1/4" = 1'-0"

1ST FLOOR

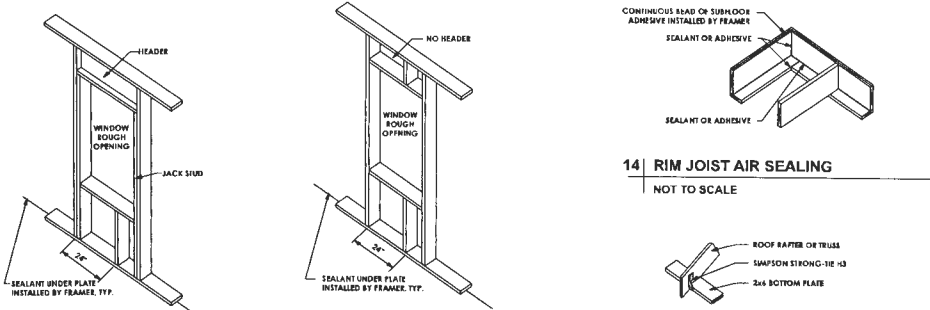
**3.01**

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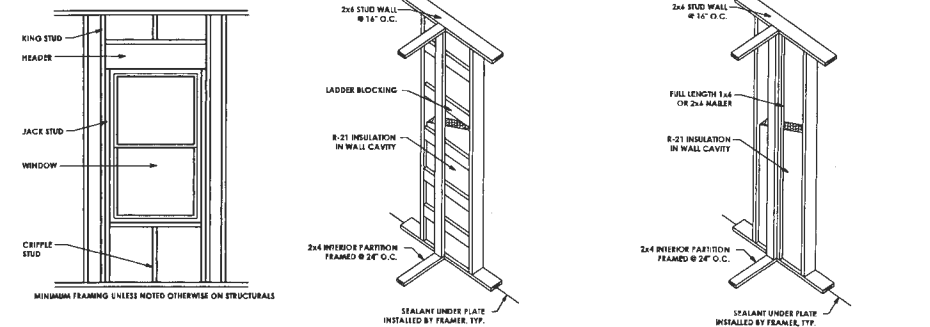
# NOTE: ALL LOAD BEARING STUD WALLS TO BE DOUBLE TOP PLATE PER WALL SECTIONS

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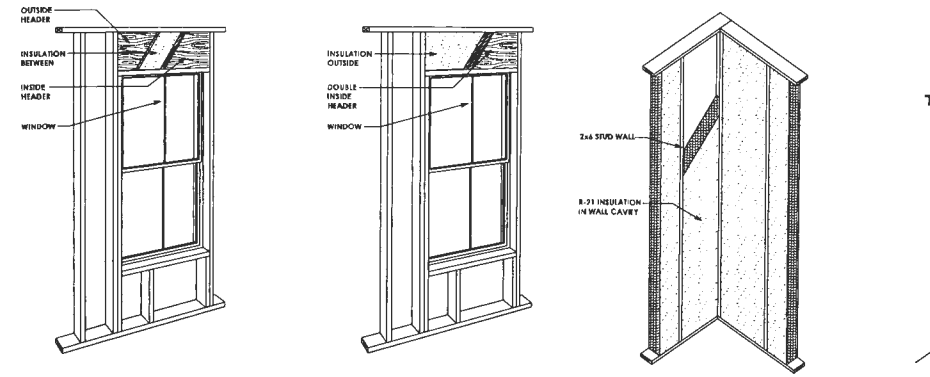
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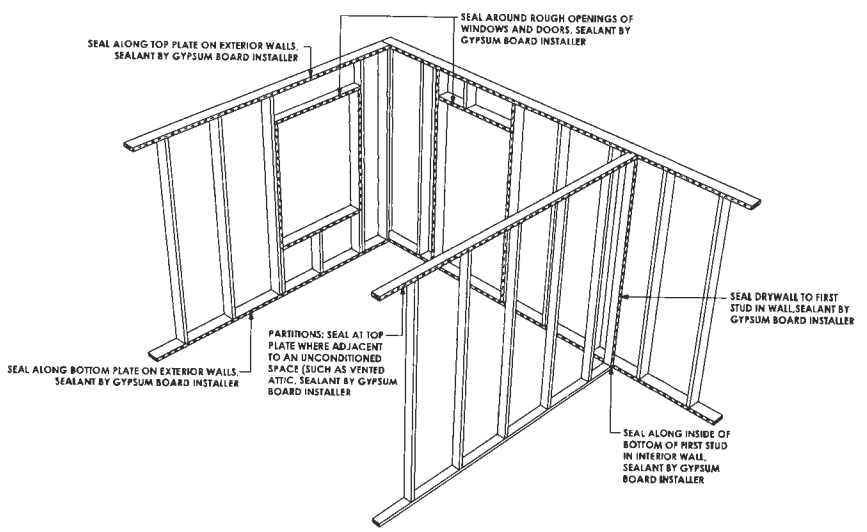
LOAD BEARING WALL OPENING    NON-LOAD BEARING WALL OPENING    15 ROOF WALL FRAMING CONNECTION



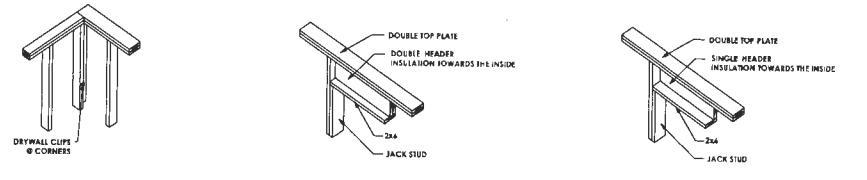
WINDOW FRAMING ELEVATION    LADDER FRAMING @ PARTITION    NAILER @ PARTITION



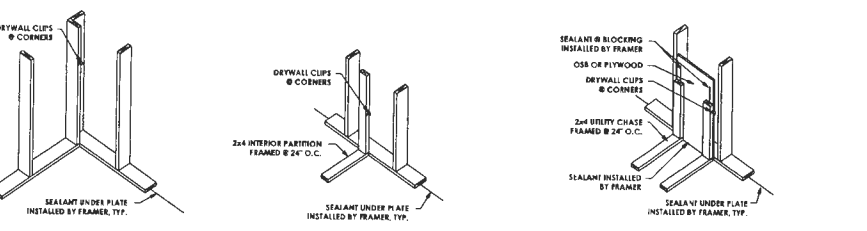
HEADER INSULATION BETWEEN    HEADER INSULATION OUTSIDE    TWO-STUD CORNER-INSULATION



AIR BARRIER AT WALLS AND CEILING PERSPECTIVE



TWO-STUD CORNER-TOP    DOUBLE HEADER    SINGLE HEADER



TWO-STUD CORNER-BOTTOM    BOTTOM PLATE @ PARTITION    AIR SEALING @ MECH CHASE

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SCALE: N.T.S.

### DETAILS

# 3.03

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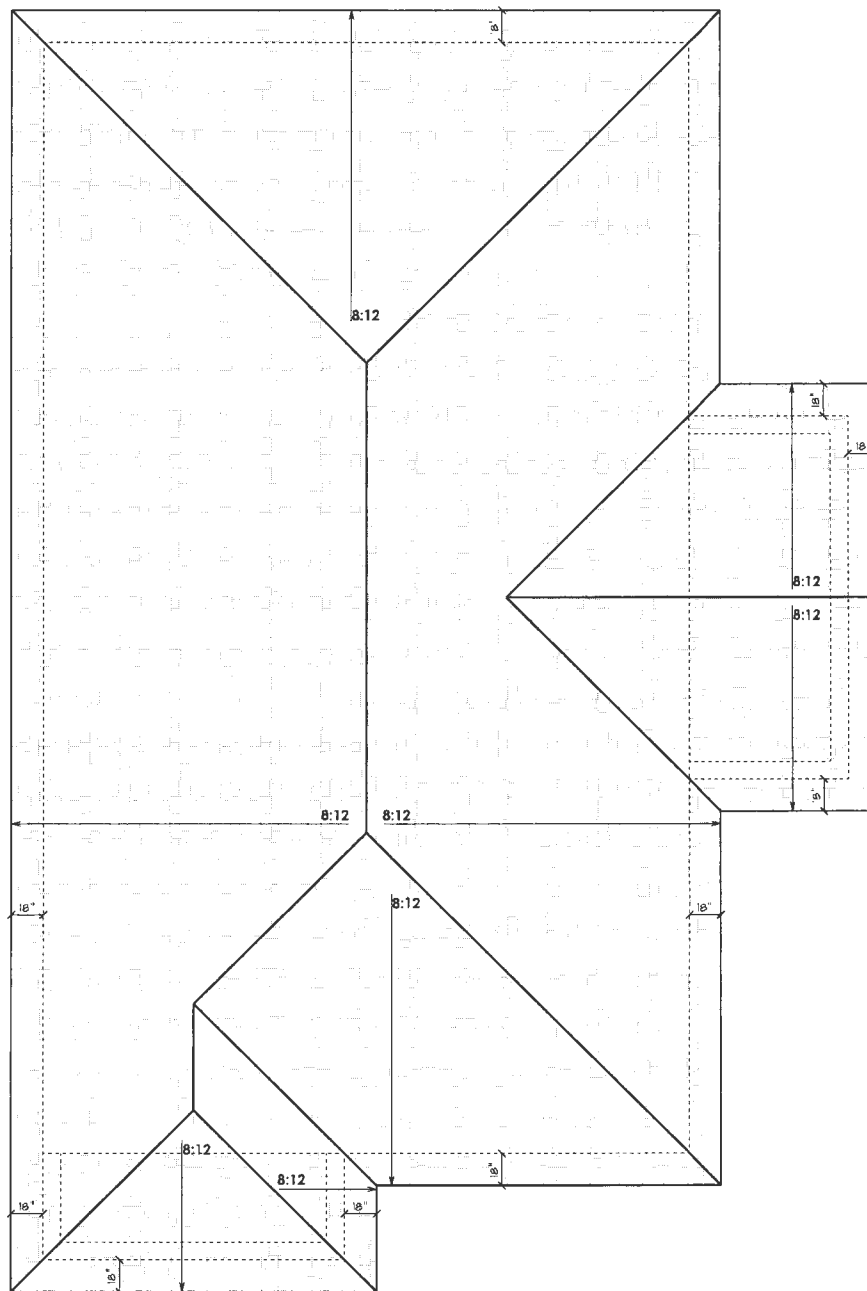
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NO.	DATE	REVISION
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**SCALE:** 1/4" = 1'-0"

**ROOF PLAN**  
**4.01**  
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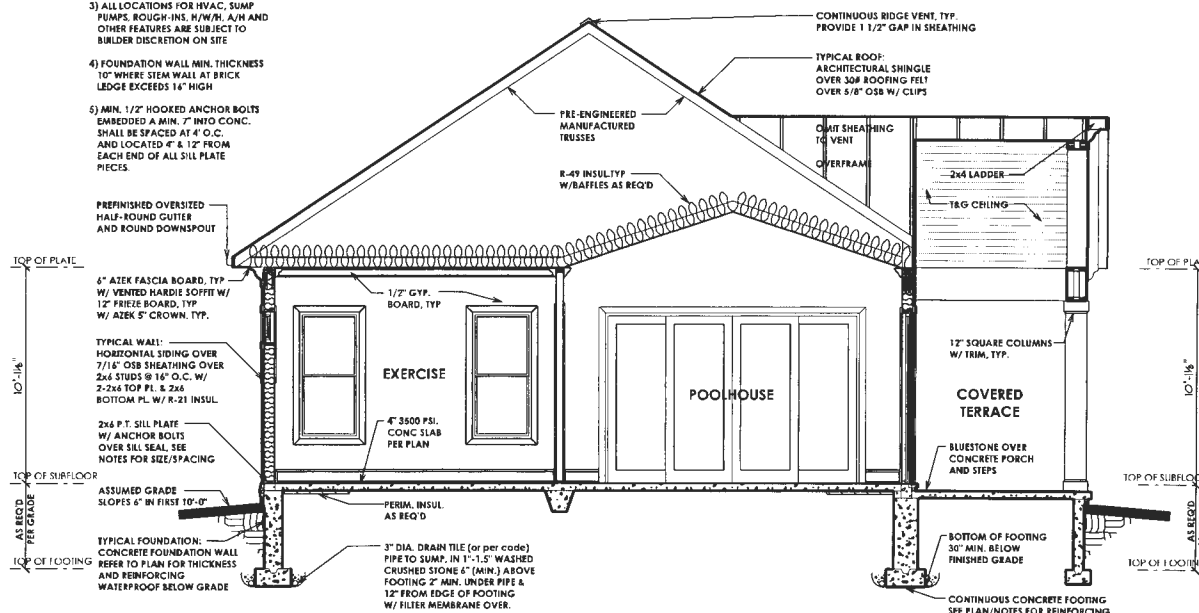
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**SECTIONS**  
**5.01**

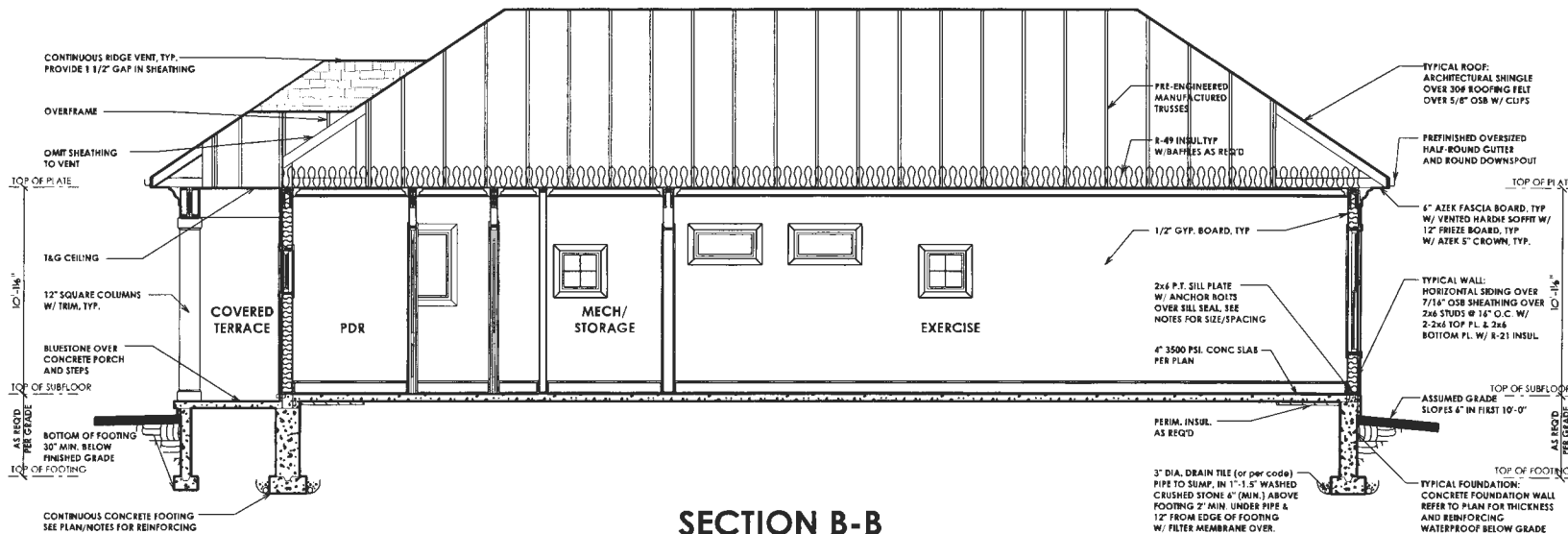
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- 2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE SPF #1/#2 OR EQ. TYP THROUGH U.N.O.
- 3) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, H/W/R, A/H AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE
- 4) FOUNDATION WALL MIN. THICKNESS 10" WHERE STEIN WALL AT BRICK LEDGE EXCEEDS 14" HIGH
- 5) MIN. 1/2" HOOKED ANCHOR BOLTS EMBEDDED A MIN. 7" INTO CONC. SHALL BE SPACED AT 4' O.C. AND LOCATED 4" & 12" FROM EACH END OF ALL SILL PLATE PIECES.



**SECTION A-A**



**SECTION B-B**

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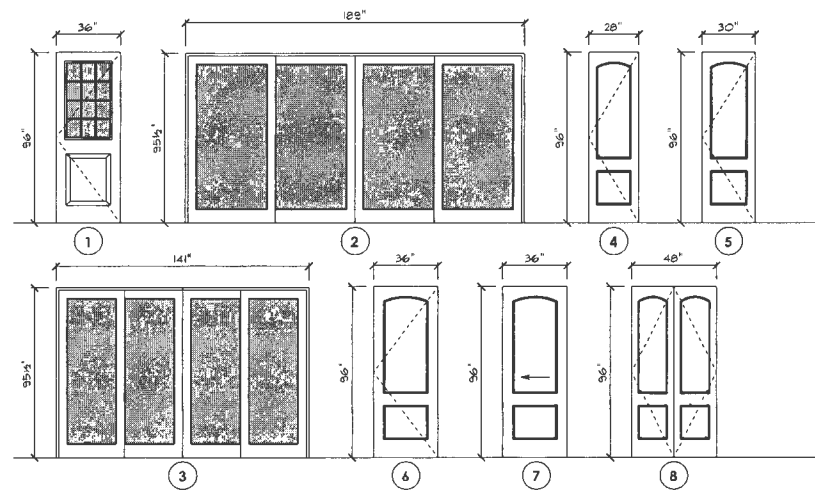
**SCHEDULES**

**6.01**

PRINT DATE: Friday, June 2, 2023

**DOOR SCHEDULE**

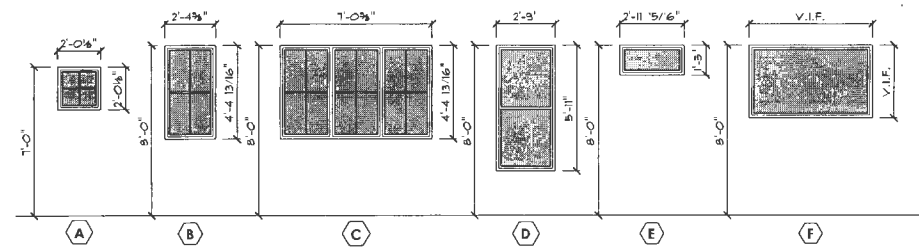
TYP	MODEL NO.	MANUFACTURER	QTY	FLOOR	INTERIOR or EXTERIOR	LOCATION	SIZE (w x h)	EXTERIOR COLOR	INTERIOR FINISH	HARDWARE STYLE	NOTES
1	3080	N/A	1	FIRST	EXTERIOR	LAUNDRY	36" x 96"	BLACK	BLACK	ODT	N/A
2	FWG16080-4 SAAS	ANDERSEN	1	FIRST	EXTERIOR	POOLHOUSE	189" x 95 1/2"	BLACK	BLACK	ODT	N/A
3	FWG12080-4 SAAS	ANDERSEN	2	FIRST	EXTERIOR/ INTERIOR	GAME ROOM	141" x 95 1/2"	BLACK	BLACK	ODT	N/A
4	2'-4"	N/A	1	FIRST	INTERIOR	PDR	28" x 96"	WHITE	WHITE	ODT	N/A
5	2'-4"	N/A	1	FIRST	INTERIOR	LAUNDRY	30" x 96"	WHITE	WHITE	ODT	N/A
6	3'-0"	N/A	1	FIRST	INTERIOR	EXERCISE	36" x 96"	WHITE	WHITE	ODT	N/A
7	3'-0"	N/A	1	FIRST	INTERIOR	EXERCISE	36" x 96"	WHITE	WHITE	ODT	POCKET DOOR
8	4'-0"	N/A	2	FIRST	INTERIOR	KITCHEN	48" x 96"	WHITE	WHITE	ODT	N/A



**DOOR TYP. ELEVATIONS**

**WINDOW SCHEDULE**

TYP	MODEL NO.	MANUFACTURER	QTY	FLOOR	LOCATION	MIN. ROUGH OPENING (h x w)	HEAD HEIGHT	EXTERIOR COLOR	INTERIOR FINISH	INTERIOR COLOR	HARDWARE SELECTION	HARDWARE FINISH	GRILLE CONFIG	SCREENS	NOTES
A	C12	ANDERSEN	3	FIRST	PDR/MECH/ EXERCISE	24 1/2" x 24 1/2"	7'-0"	BLACK	BLACK	BLACK	STANDARD	BLACK	SDL	N/A	N/A
B	CW145	ANDERSEN	1	FIRST	KITCHEN	53 1/2" x 28 1/2"	8'-0"	BLACK	BLACK	BLACK	STANDARD	BLACK	SDL	N/A	N/A
C	CW345	ANDERSEN	2	FIRST	POOLHOUSE	53 1/2" x 85 1/2"	8'-0"	BLACK	BLACK	BLACK	STANDARD	BLACK	SDL	N/A	N/A
D	DH3371	ANDERSEN	2	FIRST	EXERCISE	71 1/2" x 33 1/2"	8'-0"	BLACK	BLACK	BLACK	STANDARD	BLACK	SDL	TRU	N/A
E	AR31	ANDERSEN	2	FIRST	EXERCISE	17 1/2" x 36 1/2"	8'-0"	BLACK	BLACK	BLACK	STANDARD	BLACK	SDL	N/A	N/A
F	LEFTOVER	N/A	1	FIRST	LAUNDRY	V.I.F.	8'-0"	BLACK	BLACK	BLACK	STANDARD	BLACK	SDL	N/A	N/A



**WINDOW TYP. ELEVATIONS**

**WINDOW NOTES**  
 1. REFER TO DRAWINGS FOR GRILL PATTERN.  
 2. ALL GRILLE PROFILES ARE "A".  
 3. ALL GLASS SHALL BE LOW-E 4 U.O.

## Oswald, Hank

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**From:** Oswald, Hank  
**Sent:** Thursday, June 8, 2023 11:49 AM  
**To:** 'hgp@twboys.com'  
**Cc:** kalisfamily@icloud.com  
**Subject:** B23001972\_2881 Hunt Valley Drive  
**Attachments:** A41146\_04-349695\_2881\_HUNT\_VALLEY\_DRIVE.pdf

Hi Kalis:

This office is in receipt of a building permit for a pool house addition with no full bathroom located at 2881 Hunt Valley Drive. To confirm 30 ft. setback distance from the ex. well to pool house, please stake out the pool house for a site inspection. In addition, provide details on how you intend to tie in pool house plumbing to existing, and update site plan with water & sewer details. The site plan should also include the sewage disposal area (SDA) in front per septic record (see attached). The SDA is outlined with hash marks inside of it.

I can conduct the site visit as early as Monday morning. Please let me know as soon as you stake out the pool house.

Should you have any questions, please don't hesitate to ask.

Thanks,

Hank

Hank Oswald  
Licensed Environmental Health Specialist  
Bureau of Environmental Health  
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8930 Stanford Blvd. Columbia, MD 21045  
(410) 313 - 1786  
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