

Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

APPLICATION

FOR PERCOLATION TESTING AND SITE EVALUATION

PROPERTY LOCATION

SUBDIVISION/PROPERTY NAME LISBON ACRES
PROPERTY ADDRESS 1217 ROUNDGATE COURT LISBON MD 21765
TAX ACCOUNT # TAX MAP GRID 0008 PARCEL 0351 LOT NO 26 PROPOSED LOT SIZE (ACRES) 5.83
ZONING CATEGORY TIER

PROPERTY OWNER(S) DANIEL + GAYLE CHAPMAN
DAYTIME PHONE 410 977 5705 CELL EMAIL jim@ALLANHOMES.COM
MAILING ADDRESS 1217 ROUNDGATE COURT LISBON MD

APPLICANT ALLAN HOMES UNLIMITED RELATIONSHIP TO OWNER: CONTRACTOR
DAYTIME PHONE CELL 410 977 5705 EMAIL jim@ALLANHOMES.COM
MAILING ADDRESS 10260 OLD COLUMBIA ROAD COLUMBIA MD 21046

I HEREBY APPLY FOR THE NECESSARY TESTING/EVALUATION PRIOR TO ISSUANCE OF SEWAGE DISPOSAL SYSTEM PERMIT(S):

PROPERTY:

- SUBDIVISION: NUMBER OF LOTS INCLUDING RESIDUE:
SUBDIVISION CLASSIFICATION (PER DEPT. OF PLANNING AND ZONING) MAJOR MINOR
CONSTRUCT NEW OSDS ON UNDEVELOPED LOT
REPAIR OR REPLACE FAILING OSDS
UPGRADE EXISTING OSDS

BUILDING:

- RESIDENTIAL WITH SAME EXISTING OR PROPOSED BEDROOMS IN THE COMPLETED STRUCTURE
COMMERCIAL (PROVIDE DETAIL OF TYPE OF USE AND NUMBERS OF EMPLOYEES/CUSTOMERS ON ACCOMPANYING PLAN)

IS THE PROPERTY WITHIN 2500 FEET OF ANY RESERVOIR?

- YES
NO

AS APPLICANT, I UNDERSTAND THE FOLLOWING:

- THIS APPLICATION IS VALID FOR TWO(2) YEARS FROM DATE OF FEE PAYMENT AND APPROVAL IS BASED UPON HEALTH OFFICER SIGNATURE OF A PERC CERTIFICATION PLAN PRIOR TO EXPIRATION OF THIS PERMIT.
THE APPLICATION FEE IS NON-REFUNDABLE
THIS APPLICATION MUST BE ACCOMPANIED BY ALL APPLICABLE FEES AND A SUITABLE SITE PLAN IN ORDER TO BE PROCESSED
THIS IS A PUBLIC DOCUMENT

I declare and affirm that to the best of my knowledge, the information contained herein is correct. I declare that I am the owner of the property or duly authorized to make this application on behalf of the owner. I agree to comply with all applicable state and county regulations.

By signature of this application, I hereby grant Howard County Health Department officials the right to enter onto the property for the purpose of inspecting the property as directly related to the requested permit/service.

Handwritten signature of applicant

10/13/2021

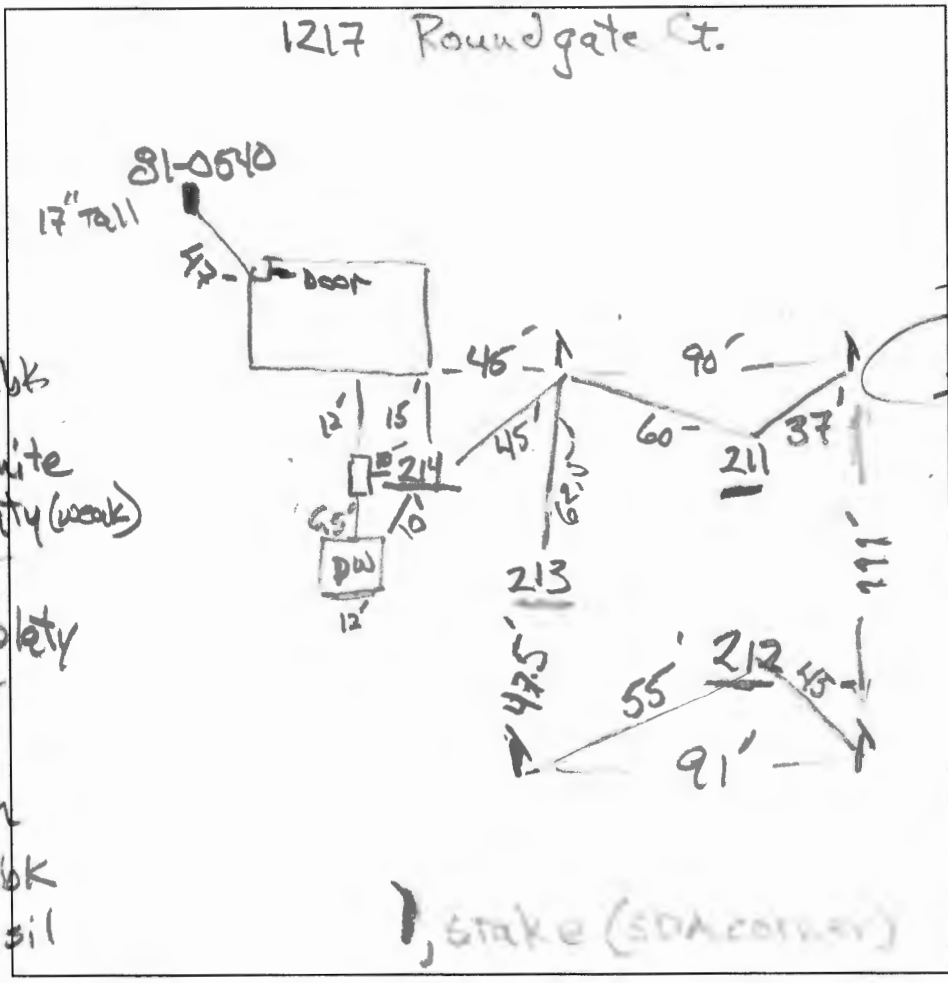
SIGNATURE OF APPLICANT

DATE

570196

1217 Roundgate Ct.

211
 0.1' dk brn sil
 2 v. f. sbk
 0.1' brn & yel-red
 sil, 2 f. sbk
 0.8' red-yel sil
 2 f. sbk & f. sbk
 2' brn, red & white
 sil, thick platy (weak)
 5.5' red ch sil
 weak thick platy



213
 0.6' brn sil
 f. sbk
 2.1' yel-red
 sil
 3 m. sbk
 3' yellow
 sil, thin
 platy
 8' pale yellow
 & red-yel
 sil, thin
 platy
 many
 v. fine mica
 14.5' red-brn
 & red-yel
 sil
 8-15 rock
 fragments

212
 0.1' brn sil, f. m.
 0.1' brn sil, 2 f. sbk
 0.6' yel-red ch sil
 2 f. sbk
 1.2' red, v. dk brn
 & yel-brn
 ch sil
 thin platy
 few mica
 2.8' red, red-yel
 & pale yellow
 sil, thin
 platy
 few channels
 10' lt. brn
 v. ch sil/
 platy
 12'

214
 0.7' brn sil
 yel-red sil
 3 m. sbk
 2.6' yellow
 & pale yellow
 sil, platy
 5.5' dk brn
 & red-yellow
 v. ch sil, platy
 30-40% rock
 6.5' brn & red-
 yel
 ch sil
 10.5' brn
 v. f. sil
 platy
 30-40% rock

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
10/15/21	211	5/12'	9:26:30	9:28:40	8:32:40	4	P
10/15/21	212	6.7/12'	9:56	9:58	10:02	4	P
10/15/21	213	6'/14.5'	10:25:30	10:28:30	10:34	5.5	P
10/15/21	214	14.5'	Visual	2.6'-14.5'	absorption surface		P

REMARKS _____
 SANITARIAN R Bricker BACKHOE Fogel's (Mike) OTHERS 14.5'
 TEST HOLES USED IN SDA _____ AVG. PERC TIME Sim Bruns road SQ. FT/BR _____
 TRENCH WIDTH _____ INLET DEPTH _____ MAX. BOT DEPTH _____ EFFECTIVE SW _____

215

1' brn sil
2 fsk
COMMON mod roots

2' brn chsil
2msbk, few roots

red-brn chsil
2csbk

3.3' yel-red
& brn fsl
thin platy
many v.f. & mica

5' grey-brn
red & yel-red
fsl, thin platy
many v.f. & mica

9' few channers
& stone

10' common Mn
coatings cuped faces

216

0.1' brn sil
2v fsk

1' brn & yel-red
2 fsk

1' yel-red sil
3csbk

1' few v.f. mica

1.6' brn & yel-red
sil, 1msbk
few v.f. mica

2' red &
red-yel sil
thin platy
few mica
few channers

2.5' yel-red
& red-yel
fsl, thin
platy
common
Mn soft bodies

5' red yel-red
& grey brn
chsl, platy
25%-35%
channers & plugs
few mica
common Mn
coats on rock
faces and
ped faces

10'

DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
12/1/21	215	5.5' 10'	10:11	10:13	10:16	3	P
12/1/21	216	5' 10'	10:52:30	10:55	11:00	5	P

Dry Well exposed
4.5' to Top
solution & coated gravel observed at edge of
dry well at 5'-5.5' depth
solution in dry well ~ 3" beneath cap.

REMARKS Both tests at proposed SDA lower boundary

SANITARIAN R Bricker BACKHOE Whitworth OTHERS _____

TEST HOLES USED IN SDA Mark & George AVG. PERC TIME _____ SQ. FT/BR _____

TRENCH WIDTH _____ INLET DEPTH _____ MAX. BOT DEPTH 6 EFFECTIVE SW 3

Maura J. Rossman, M.D., Health Officer

October 15, 2021

TO: Jim Brumstead, Applicant
Allen Homes Unlimited

RE: 1217 Roundgate Court, Percolation test results and data

Dear Mr Brumstead,

Percolation tests were conducted, as scheduled, to obtain soil profile data for the sewage disposal area (SDA) at 1217 Roundgate Court on October 15, 2021. These tests were conducted to obtain the data required for designing functional Onsite Sewage Disposal Systems (OSDS) to serve the residence. Also, a soil profile was dug near the existing dry well to show that there is neither ground water nor rock greater than 50 percent by volume in the soil profile within 4 feet beneath the bottom of the dry well.

The SDA corners were staked by survey prior to October 15. Three pits were dug for soil profile descriptions within the SDA. A sketch is provided which shows the pits' locations (211, 212, and 213) in relation to the staked SDA corners. Location 213 also serves as a soil profile observation for the existing trench that receives overflow from the dry well.

Each of the three pits had suitable soil profiles for wastewater treatment and disposal. Soil profile 213 was dug to 14.5 feet depth about ten feet downhill from the existing trench. The soil profile did not have evidence of groundwater and did not have a layer with rock content greater than 50 percent by volume. Percolation tests were conducted at each of the three locations and moderately rapid rates of infiltration were observed for the respective locations.

A fourth soil profile observation was dug to 14.5 feet depth about ten feet from the dry well. The soil profile did not have evidence of groundwater and did not have a layer with rock content greater than 50 percent by volume. Therefore, the dry well is judged to have the 4-foot soil buffer required by COMAR.

As the construction proposal involves an encroachment of about 5 feet onto the SDA, the SDA boundaries will be re-configured to accommodate the corner of the new structure and the required setback.

- The setback to the south side of the structure will remain as 20 feet,
- while the setback to the west (downhill) side is reduced to 10 feet by application of general waiver.
- The SDA boundaries are to be modified on the Plot Plan. If area must be added to make up the required 10,000 sq.ft., that area should be added along the west side of the SDA.

In addition to the required content for Plot Plans, the Bureau of Environmental Health recommends that the Plot Plan include:

- the signature blocks and Notes that would be required on a Percolation Certification Plan.
- percolation test locations (from Health Dept records),
- elevation contours at two-foot intervals,
- and soil map unit delineation.

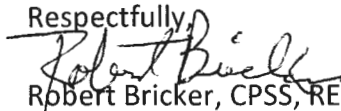
When the Plot Plan is prepared you may submit at least three copies to the Bureau of Environmental Health for review and potential signature. After signature approval by the Approving Authority, the approved plan should be submitted at the Department of Inspections, Licenses, and Permits as a Plot Plan revision.

The dry well was shown to have a 4-foot soil buffer as required by COMAR, however, the construction of the dry well does not meet current requirements stated in Howard County Code [3.812]. The dry well must be upgraded prior to Health Department approval of the building permit. A dry well upgrade involves removing the cap and pumping the void dry, insertion of a 6-inch diameter perforated observation pipe, filling the void with gravel and covering the gravel with approved geotextile. If the dry well remains a functioning component of the OSDS, the driveway and parking area should be designed to avoid placement over the dry well.

Health Department records indicate that the existing OSDS components were installed in December 1978. As the absorption components have been utilized for nearly forty-three years, the owner may choose to install a new trench absorption system. An OSDS Design Plan prepared by an engineer or surveyor will be required if the owner does choose to install a new trench absorption system.

If you have questions related to this report, you may reply to me via email, rbricker@howardcountymd.gov , or call my desk, 410-313-2691.

Respectfully,



Robert Bricker, CPSS, REHS/RS, L.E.H.S.
Environmental Sanitarian II
Well and Septic Program

Enclosures: Percolation Test Application and Field Worksheet
Copy: Jeffrey Williams, Supervisor, Well & Septic Program
file



Bureau of Environmental Health
8930 Stanford Blvd | Columbia, MD 21045
410.313.2640 - Voice/Relay
410.313.2648 - Fax
1.866.313.6300 - Toll Free

Maura J. Rossman, M.D., Health Officer

To: Raymond Chapman, owner
1217 Roundgate Court

From: Robert Bricker, REHS/RS, L.E.H.S.
Environmental Sanitarian II
Howard County Health Dept., Bureau of Environmental Health

RE: construction proposal B21003277

Dear Mr Chapman,

Upon initial evaluation of the proposal for an addition to your residence, it was determined that the dry well would have to be upgraded to current standards and a minor adjustment in the boundaries of the sewage disposal area (SDA) would be needed to accommodate the full length of the proposed addition. At the same time, percolation tests were needed for soil data to design systems that will be installed in the SDA in the future, and to confirm that a soil buffer of at least 4 feet exists from the bottom of the dry well to rock or seasonal water table.

In order to limit your expenses, the Bureau of Environmental Health did not require a Percolation Test Plan for the conduct of the tests. We did require that the corners of the approved SDA be staked. The percolation tests were completed and the process for adjusting the SDA boundaries was underway when the neighboring well was discovered to have been installed in a location nearer to the SDA than approved in the subdivision plans. The well location issue has caused an unexpected delay in the process that will eventually culminate in approval of the submitted construction proposal.

Code of Maryland Annotated Regulations [COMAR, 26.04.02.02] require that an SDA of at least 10,000 sq.ft. be established or maintained on each lot created since March 1972. In November 1985, the regulation was revised to require that there be a soil buffer of least 4 feet depth to separate trench bottoms from rock or seasonal water table, and that the SDA be a minimum of 10,000 sq.ft. and large enough to accommodate at least three drainfield systems designed for the residence or business occupying the property.

Evaluation of septic system components' capacity and function in relation to building permit proposals is required by COMAR 26.04,02.03. In Howard County, Health Department, Bureau of Environmental Health personnel are the Designated Authority for enforcing the regulation. As mentioned earlier, the dry well must be upgraded to meet current Howard County Code standards [3.812.(B)].

The current situation for your property dictates replacement of the SDA voided due to location of the neighboring well. The only way of certifying the soil for wastewater disposal is to observe and record the soils' properties in profile and to test for infiltration time, in essence, percolation testing. I estimate that two additional tests are needed, if they both PASS.

An engineer must propose the extent of the proposed SDA downhill from the existing SDA that would make the composite area at least 10,000 sq.ft.. When the tests are completed and passing tests are believed to represent at least 10,000 sq.ft., the engineer will submit a Percolation Certification Plan to the Bureau of Environmental Health. We have agreed that the

Percolation Certification Plan and Plot Plan revision may be submitted to the Bureau of Environmental Health as one document. When signed, a copy may be submitted to the Howard County Department of Inspections, Licenses, and Permits as a Plot Plan revision.

Summarizing: approval of the dry well upgrade, percolation tests and approval of those tests by signature of the Percolation Certification Plan, and submittal of a copy of the approved Percolation Certification as a revised Plot Plan are the events that must occur for Bureau of Environmental Health approval for proposal B21003277, the planned addition to your residence.

If you have questions regarding these content, please 'Reply' to the email by which this document is transmitted.

Respectfully,
Robert Bricker, CPSS, REHS/RS, L.E.H.S.

Copy: Jim Brumstead, Allen Homes
Jeffrey Williams, Asst. Bureau Director, Bureau of Environmental Health

ROUN
COU

LOT 19
PLAT # 3587

576°43'32" E 280.00

10.00

4°50'00"
R=50.00

A=70.47
75'

30'
S.R.L.

532°58'16" E
58.64

LOT 17
LOT 18

LOT 26
255,825 \$
OR
5.8729 AC.

542°00'00"
B.R.L.

39°05'35" E
408.92

37°59' 28.44"
455.47

LOT 25
191,429 \$
OR
4.3946 AC.

P 70

P-71

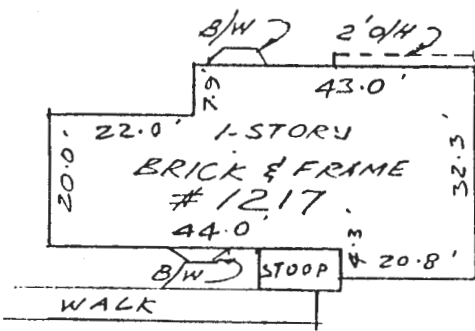
P-72

1148.35
1148.35
1148.35

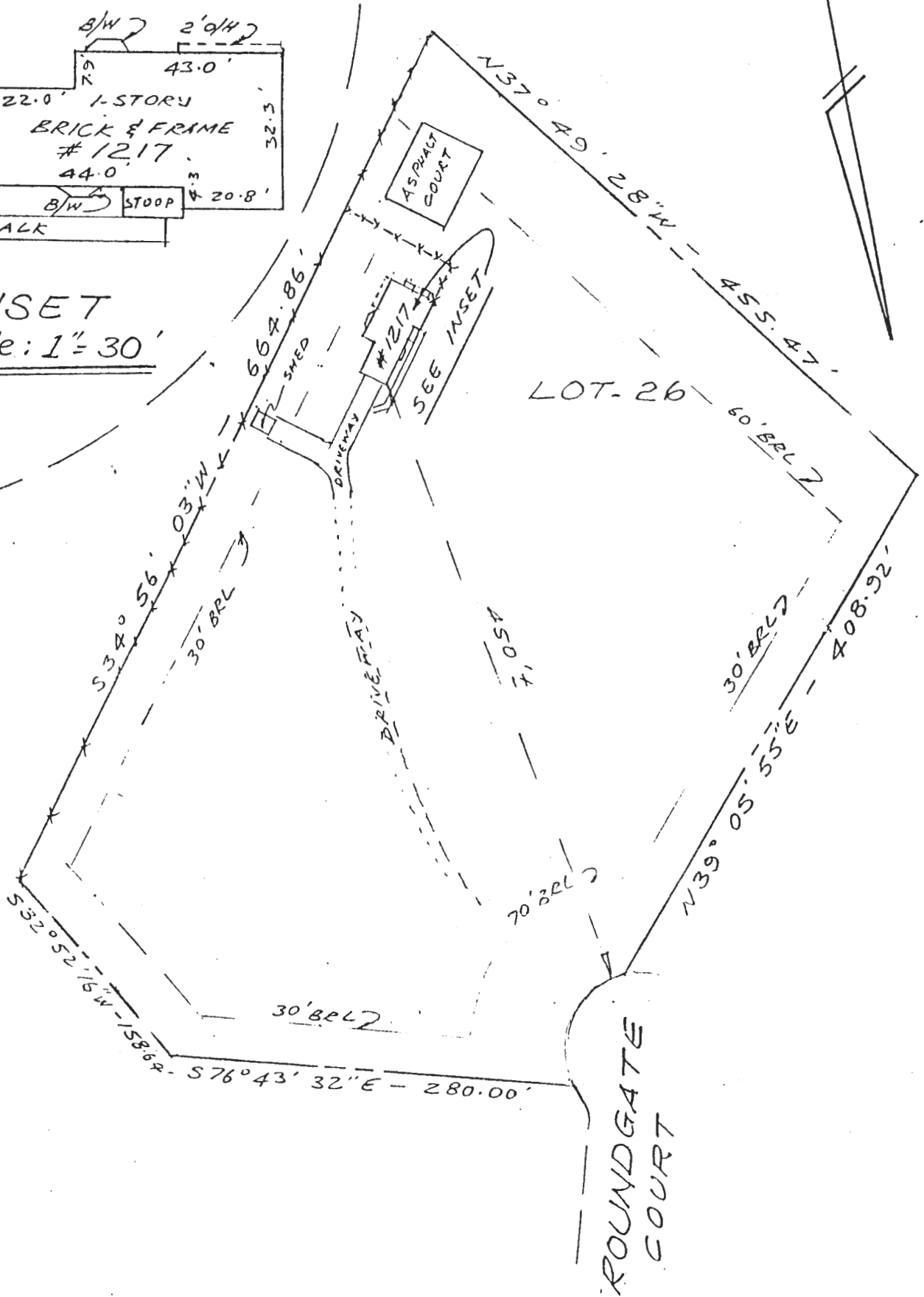
37°04' 27.39"
R=5839.58
A=50.96
153°23' 51"W
61.23

OWNERS:
JACJEREDON, INC.

ADDRESS : 1217 ROUNDGATE COURT
HOWARD COUNTY, MD.



INSET
Scale: 1" = 30'



NOTES

1. THIS IMPROVEMENT LOCATION DRAWING:
 - A. IS OF BENEFIT TO A CONSUMER ONLY INsofar AS IT IS REQUIRED BY A LENDER OR A TITLE INSURANCE COMPANY OR ITS AGENT IN CONNECTION WITH CONTEMPLATED TRANSFER, FINANCING OR REFINANCING;
 - B. IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATION OF FENCES, GARAGES, BUILDINGS, OR OTHER EXISTING OR FUTURE IMPROVEMENTS; AND
 - C. DOES NOT PROVIDE FOR THE ACCURATE IDENTIFICATION OF PROPERTY BOUNDARY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING OR REFINANCING.
2. THE LEVEL OF ACCURACY OF APPARENT SETBACK DISTANCES IS ONE FOOT, MORE OR LESS.
3. THIS PLAT WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT.
4. THIS PROPERTY LIES OUTSIDE THE 100-YEAR FLOOD

I HEREBY CERTIFY THAT IMPROVEMENTS ARE LOCATED AS SHOWN HEREON AND TO THE BEST OF MY INFORMATION, PROFESSIONAL KNOWLEDGE AND BELIEF, THERE ARE NO ENCROACHMENTS EXCEPT AS SHOWN



Fitzroy J. Bertrand
7/8/99

FITZROY J. BERTRAND
PROPERTY LINE SURVEYOR NO. 566
DATE

IMPROVEMENT LOCATION

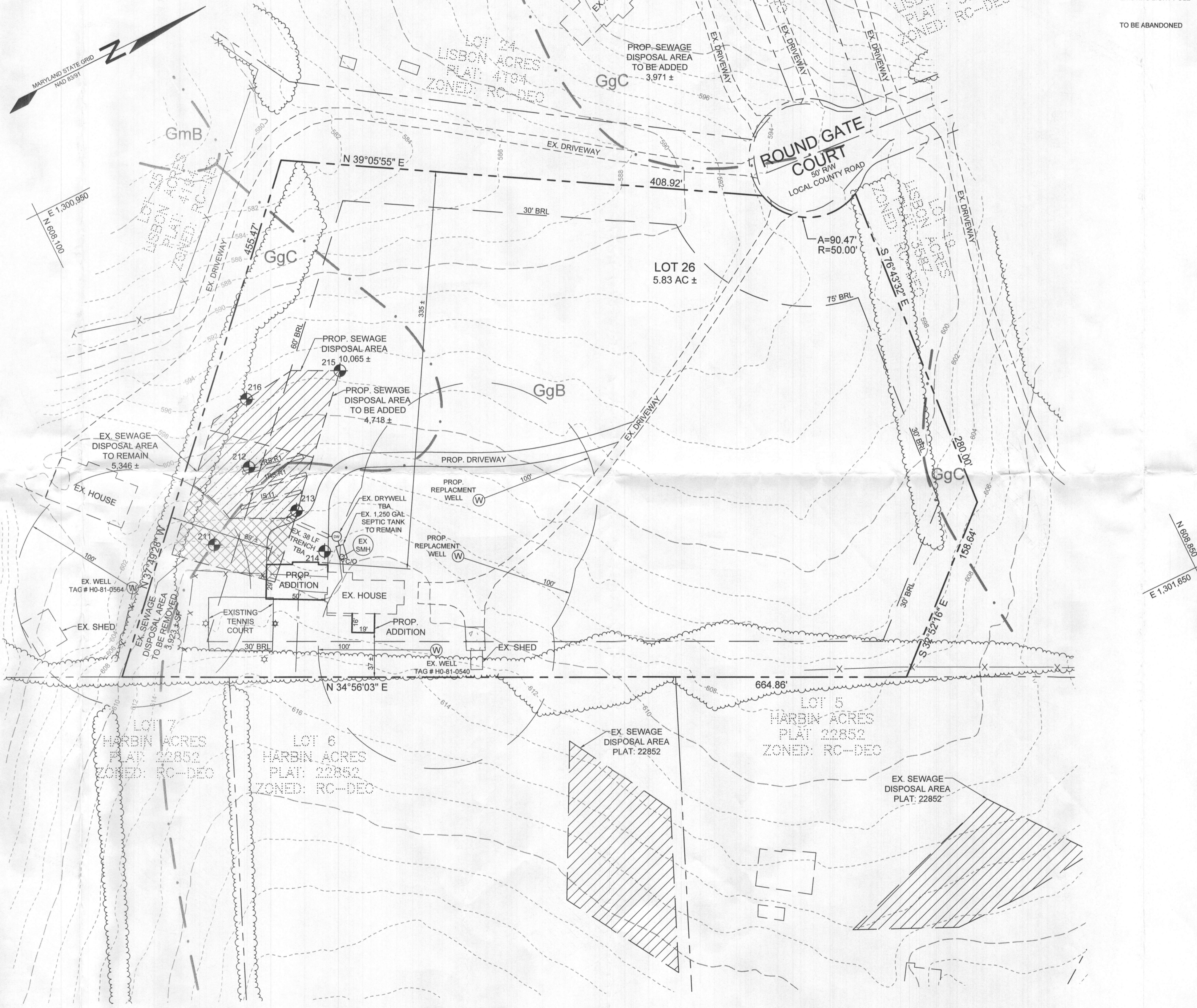
LOT-26
LISBON ACRES
4 ELECTION DIST. HOWARD CO. MD
PLAT BOOK 4194
SCALE: 1" = 100' DATE: 7/8/99

REAL ESTATE SURVEYORS, LLC

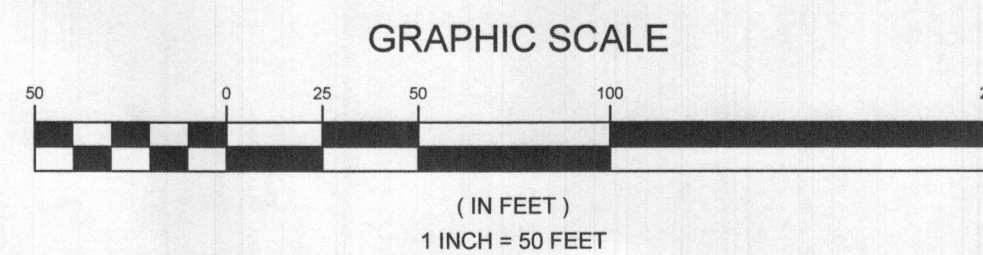
RESIDENTIAL • COMMERCIAL • LAND DEVELOPMENT SERVICES AND SURVEYS
4603 CALVERT ROAD
COLLEGE PARK MARYLAND 20740
TEL: (301) 985-6003 FAX: (301) 985-6004

SOILS LEGEND			
SYMBOL	NAME / DESCRIPTION	GROUP	'K' FACTOR
GgB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	B	0.24
GgC	GLENELG LOAM, 8 TO 15 PERCENT SLOPES	B	0.24

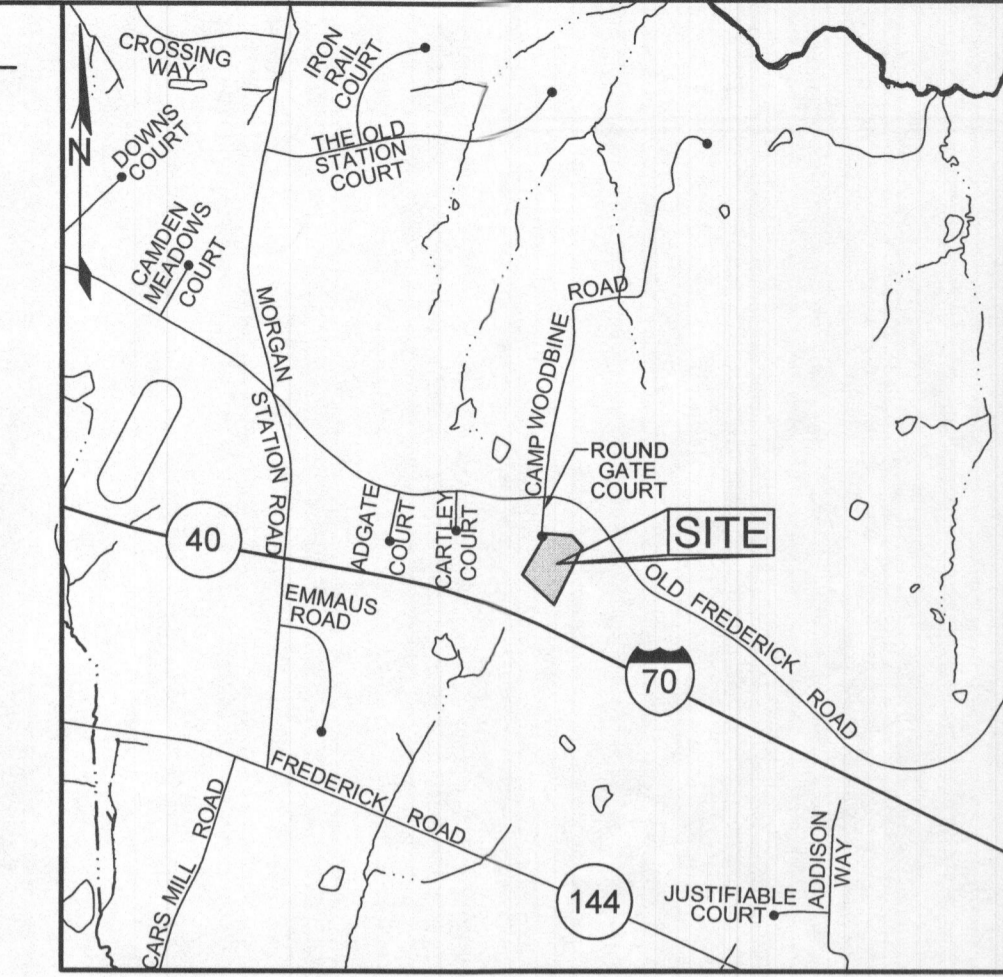
NOTES:
 1) SOIL INFORMATION HAS BEEN TAKEN FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, WEB SOIL SURVEY.
 2) HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR 'K' GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.



PLAN VIEW
SCALE: 1"=50'



LEGEND	
EXISTING CONTOUR (FIELD RUN)	--- 382
EXISTING CONTOUR (GIS)	- - - 382
EXISTING TREELINE	~~~~~
EXISTING CONCRETE	▭
LIMIT OF DISTURBANCE	LOD
SOIL BOUNDARY	—•—
EXISTING FENCE	-x-x-
EXISTING PERCOLATION TEST HOLE, PASSED	214
EXISTING DRY WELL	⊙
EXISTING LIGHT POLE	☆
TO BE ABANDONED	TBA



- GENERAL NOTES**
- SUBJECT PROPERTY ZONED RC-DEO PER THE 10/06/13 COMPREHENSIVE ZONING PLAN.
 - THE BOUNDARY AND TOPO SHOWN HEREON ARE BASED ON HOWARD COUNTY GIS DATA, TAX MAP INFO, AND DEED PLATS.
 - PROPERTY ADDRESS: 1217 ROUND GATE COURT, WOODBINE MARYLAND 21765
 - PROPERTY AREA: 5.83 AC
 - REFERENCE: LIBER 1655 FOLIO 698
 - PRIVATE WATER AND PRIVATE SEWER WILL BE USED WITHIN THIS SITE.
 - THIS AREA DESIGNATES A PRIVATE SEWAGE AREA OF AT LEAST 10,000 SF, AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL (COMAR 26.04.03). IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THIS AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE AREA. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
 - THE LOT HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
 - ALL EXISTING WELLS, SEPTIC SYSTEMS AND SEWAGE DISPOSAL AREA WITHIN 100 FEET OF THE PROPERTY BOUNDARIES AND ALL EXISTING AND PROPOSED WELLS THAT ARE LOCATED WITHIN 200 FEET DOWN GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS AND SEWAGE DISPOSAL AREA HAVE BEEN LOCATED.
 - THE PURPOSE OF THIS PLAN IS TO REVISE THE EXISTING SEWAGE DISPOSAL AREA TO ALLOW ROOM FOR A PROPOSED ADDITION AND TO ACCOMMODATE THE SETBACK TO THE WELL AT 1227 ROUND GATE COURT.
 - THE EXISTING DRY WELL AND TRENCH WERE FOUND TO BE FULL WITH EFFLUENT DURING INSPECTION FOR UPGRADE. THE OWNER ACCEPTED THE HEALTH DEPARTMENT'S RECOMMENDATION FOR IMMEDIATE REPAIR, AND A REPLACEMENT TRENCH IS EXPECTED TO BE INSTALLED PRIOR TO SIGNATURE OF THIS PERCOLATION CERTIFICATION PLAN.
 - IF AT ANY TIME TRENCHES MUST BE INSTALLED IN THE SDA NEAR TO THE SOUTH PROPERTY LINE, THE PROPERTY LINE NEAR THE SEWAGE DISPOSAL AREA MUST BE MARKED BY A LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
 - BUILDING PERMIT APPLICATION B21003277 IS ON HOLD FOR SIGNATURE APPROVAL OF THIS PERCOLATION CERTIFICATION PLAN.

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS IN ACCORDANCE WITH THE MASTER PLAN OF HOWARD COUNTY

I CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED ON FIELD WORK PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AND IS CORRECT, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

COUNTY HEALTH OFFICER
 DANIEL M. SILL, PE, LEED AP
 LICENSED PROFESSIONAL ENGINEER #32025

DATE: 12/9/21

OWNER
 DANIEL & GAYLE CHAPMAN
 1217 ROUND GATE COURT
 WOODBINE MD 21765
 410-489-9425

PERCOLATION CERTIFICATION PLAN & PLOT PLAN
 CHAPMAN PROPERTY
 1217 ROUND GATE COURT
 TAX MAP 8 GRID 8
 5TH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND
 PARCEL 351

DESIGN BY: PS
 DRAWN BY: SZS
 CHECKED BY: PS
 SCALE: AS SHOWN
 DATE: DECEMBER 9, 2021
 PROJECT #: 21-092
 SHEET #: 1 of 1

SILL ENGINEERING GROUP, LLC
 16005 Frederick Road, 2nd Floor
 Woodbine, Maryland 21797
 Phone: 410.325.5076
 Fax: 410.696.2022
 Email: info@sillengineering.com
 Civil Engineering for Land Development

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32025, EXPIRATION DATE: JUNE 20, 2023