

Bureau of Environmental Health
 8930 Stanford Boulevard, Columbia, MD 21045
 Main: 410-313-2640 | Fax: 410-313-2648
 TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
 Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 12/2/2021 **ONSITE SEWAGE DISPOSAL SYSTEM** P 566444 \$570865
 APPROVAL DATE: 12/15/21 (SF) **PERMIT:** **REPAIR** A _____
 PROPERTY ADDRESS: 1217 ROUNDGATE COURT, WOODBINE, 21797
 SUBDIVISION: LISBON ACRES LOT: 25 TAX ID: 04-339932
 CONTRACTOR: WHITWORTH EXCAVATING, INC. EMAIL: qwhitworthexc@msn.com
 CONTRACTOR ADDRESS: 12680 CLARKSVILLE PIKE, CLARKSVILLE, MD 21029 PHONE: (410)531-5033
 PROPERTY OWNER: RAYMOND CHAPMAN EMAIL: _____
 OWNER ADDRESS: 1217 ROUNDGAT COURT, WOODBINE MD 21797 PHONE: _____

SEPTIC TANK SIZE (GALLONS): 1250 exists PUMP CHAMBER CAPACITY (GALLONS): N.A. PUMP SIZE: N.A.
 NUMBER OF BEDROOMS: 4 HOUSE SQ. FT. _____ APPLICATION RATE: 1.2
 DISTRIBUTION SYSTEM: GRAVITY FED LOW PRESSURE DOSED

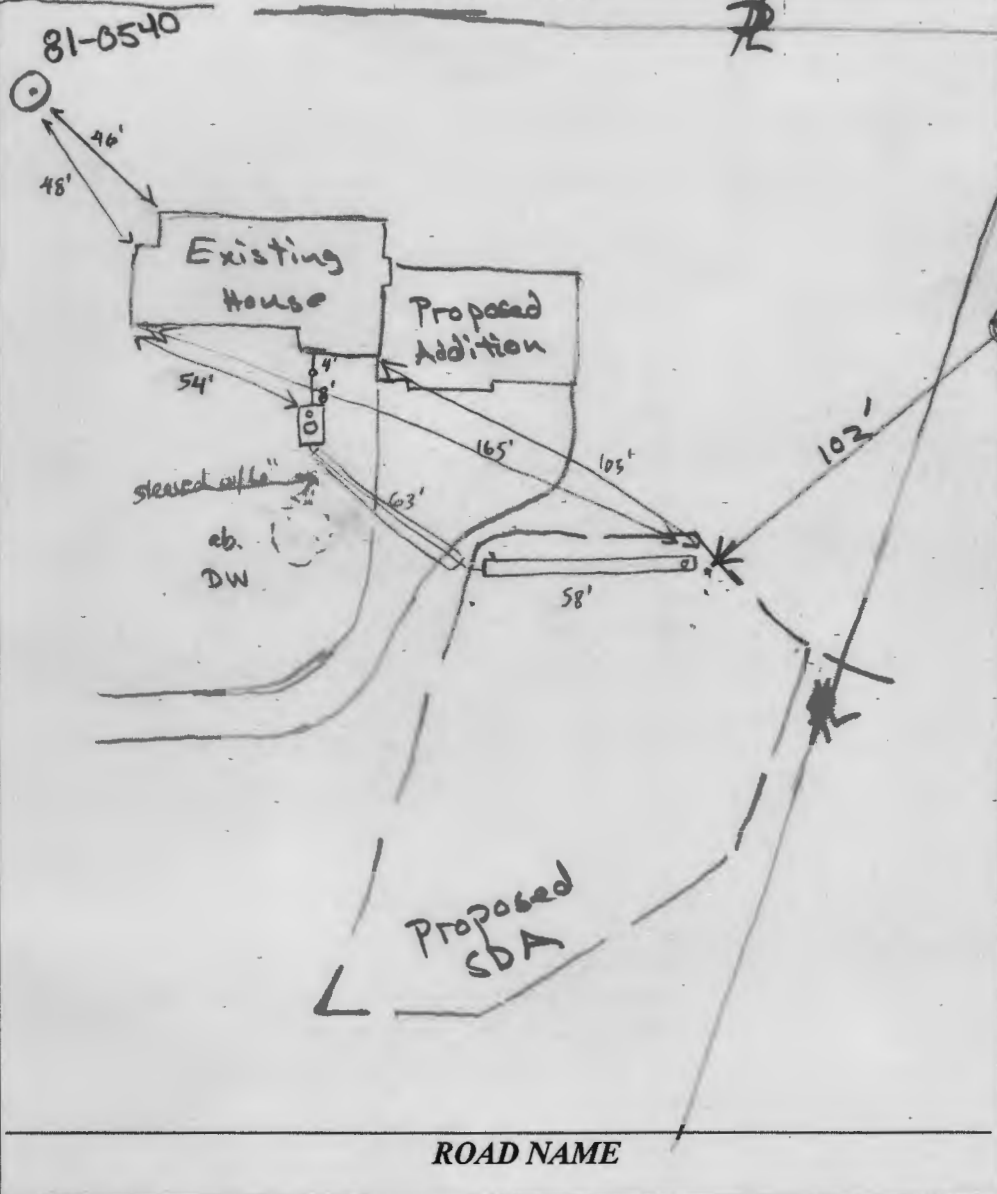
TRENCHES:	LINEAR FEET REQUIRED: <u>56</u>	INLET DEPTH: <u>2.5</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8.0</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>TBD</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>2.5</u>
LOCATION:	TO BE STAKED BY SANITARIAN DURING PRE-CONSTRUCTION INSPECTION.	
NOTES:	<ul style="list-style-type: none"> • Install required trench in upper proposed SDA after measuring 100' setback from neighbor's well • Replace Cast Iron 'back line' from Septic Tank to Distribution Box or Drainfield with Schedule 40 PVC. • Install sleeve on new 'back line' where it passes under the proposed driveway (see construction proposal). • Pump Dry Well and abandon it with clean earth materials 	

ISSUED BY: R BRICKER ISSUE DATE: 12/2/2021 EXPIRATION DATE: 12/2/2022

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION**
NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
 ELECTRICAL PERMIT ISSUED E N.A.
NOTE: THE HCHD DOES NOT WARRANTY ANY SYSTEM AND CANNOT GUARANTEE THE PERFORMANCE OF THIS SYSTEM AS DESIGNED. BY ACCEPTING THIS PERMIT, THE OWNER AND/OR APPLICANT ACKNOWLEDGE THAT THE SPECIFICATIONS DETAILED IN THIS DESIGN ARE ONE POSSIBLE OPTION AND THAT THE HCHD WILL REVIEW OTHER PROPOSALS. YOU HAVE THE OPTION TO SEEK THE ADVICE OF A QUALIFIED DESIGN CONSULTANT OR PROFESSIONAL ENGINEER FOR FURTHER GUIDANCE.
NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.
CALL 410-313-1771 TO SCHEDULE INSPECTIONS.

NOT TO SCALE



TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
3'	2.5'	8'

NUMBER OF TRENCHES 1

TOTAL LENGTH 58'

ABSORPTION AREA 174 sq ft sidewalk

DISTRIBUTION BOX LEVEL N/A

DISTRIBUTION BOX BAFFLE Cement

DISTRIBUTION BOX PORT PVC

81-0564

SEPTIC TANK DATA

SEPTIC TANK 1 LEVEL _____

MANUFACTURER _____

CAPACITY 1000 GAL

SEAM LOC _____

TANK LID DEPTH 3'

BAFFLES outlet concrete (original)

BAFFLE FILTER _____

MANHOLE LOC middle

6" PORT LOC inlet, PVC

WATERTIGHT TEST _____

SLOTTED ?

DATE ON LID _____

EXISTING

PUMP/SEPTIC TANK LEVEL

MANUFACTURER _____

CAPACITY _____ GAL

SEAM LOC _____

TANK LID DEPTH _____

BAFFLES _____

BAFFLE FILTER _____

MANHOLE LOC _____

6" PORT LOC _____

WATERTIGHT TEST _____

SLOTTED _____

DATE ON LID _____

PRE-CONSTRUCTION:

12/8/21 - Laid-out 56-ft. Trench; confirmed inlet potential at 2.5 ft.; observation pipe at distal end; Install D-Box; sleeve under driveway, i.e. from 1st bend in back line to near D-Box. RB

INSTALLATION:

12/14/21 1x 58' trench dug. PVC 6" port to be added to existing tank. Existing concrete outlet baffle in tank. Drywell pumped and will be abandoned. New SL out of tank sleeved w/ 6" PVC for entire length. (S) 12/15/21 Trench completed. New frontline SL installed. (S)

FINAL INSPECTOR

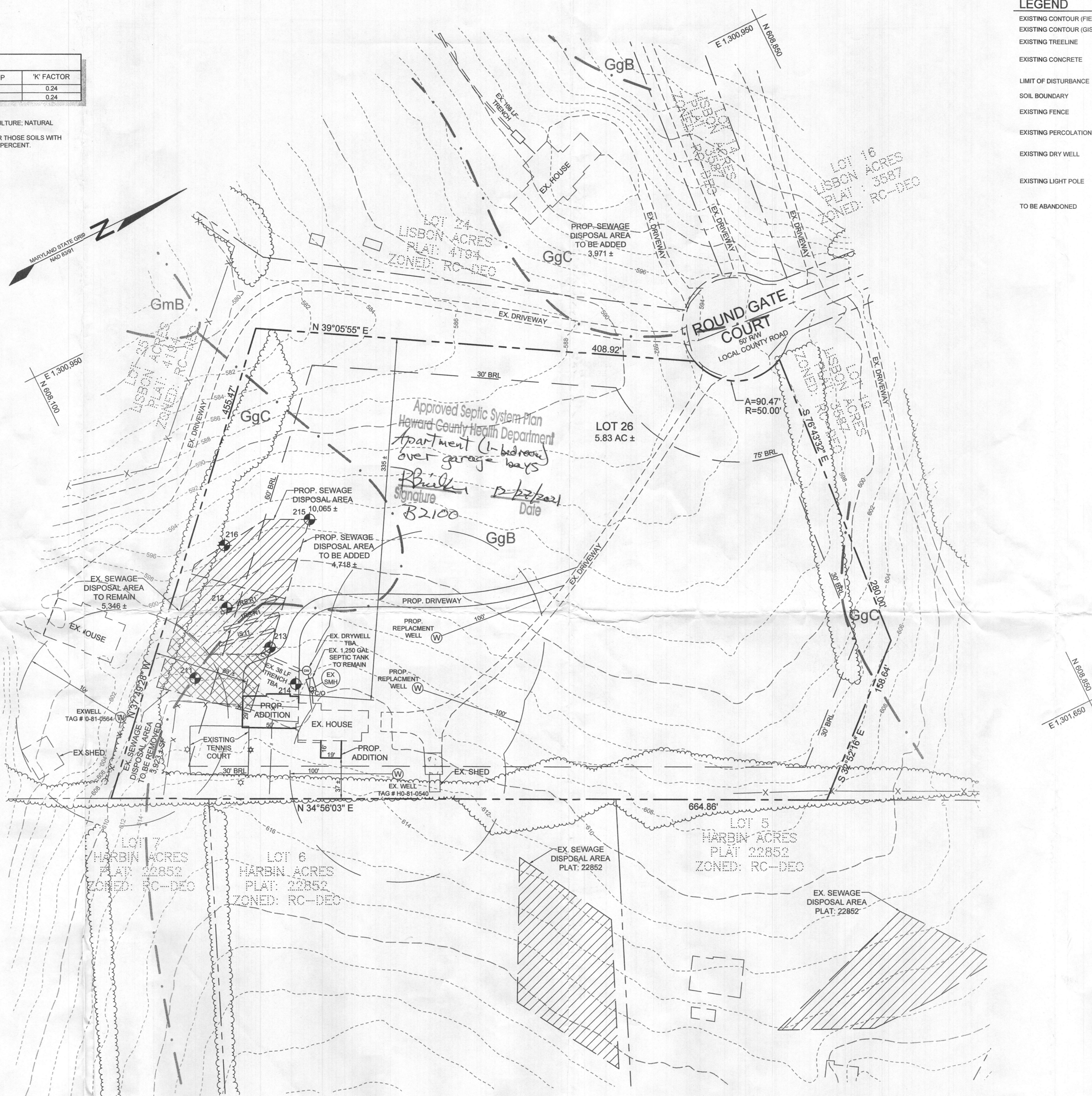
Jusan Thomas

DATE OF APPROVAL

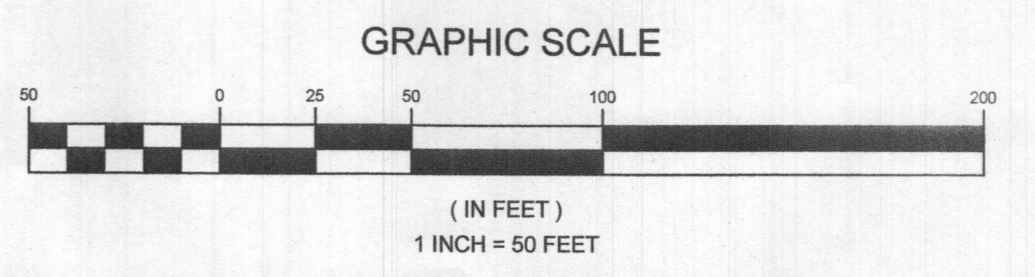
12/15/21

SOILS LEGEND			
SYMBOL	NAME / DESCRIPTION	GROUP	'K' FACTOR
GgB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	B	0.24
GgC	GLENELG LOAM, 8 TO 15 PERCENT SLOPES	B	0.24

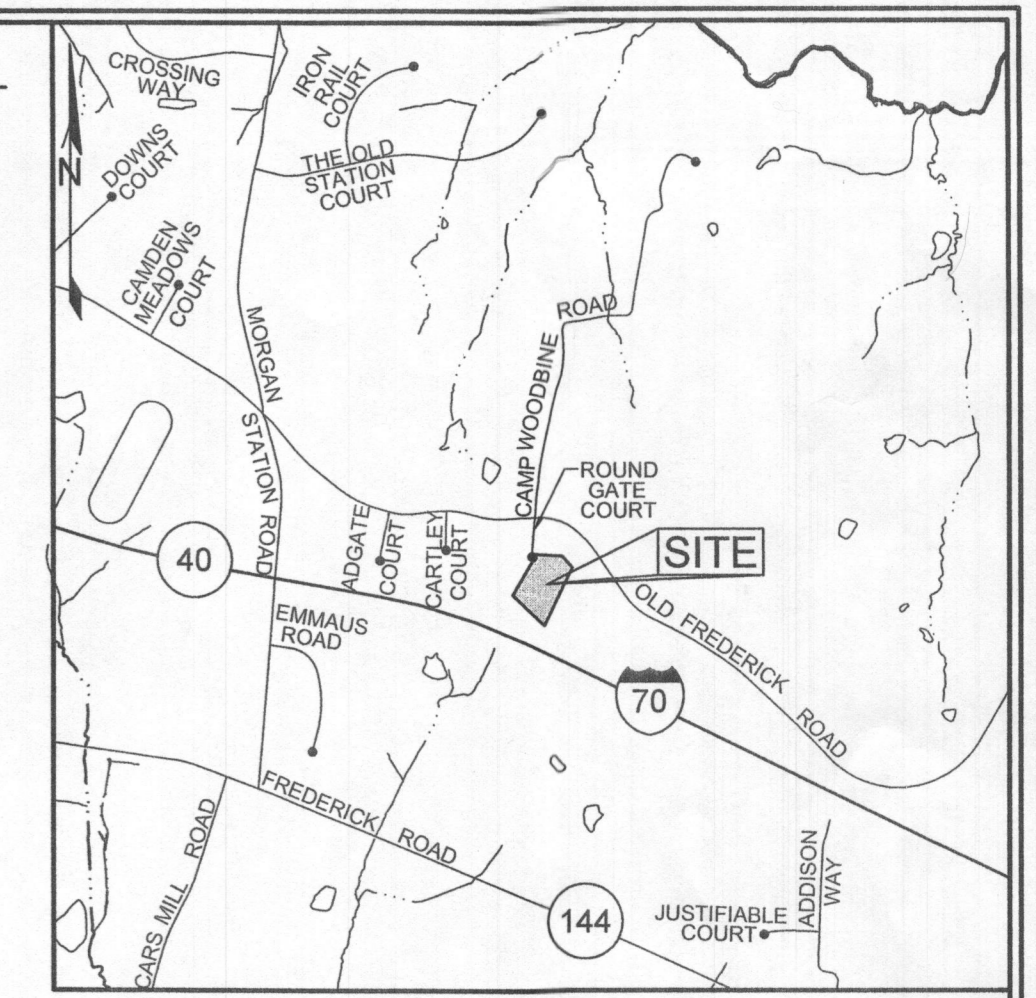
NOTES:
 1) SOIL INFORMATION HAS BEEN TAKEN FROM THE UNITED STATES DEPARTMENT OF AGRICULTURE, NATURAL RESOURCES CONSERVATION SERVICE, WEB SOIL SURVEY.
 2) HIGHLY ERODIBLE SOILS ARE THOSE SOILS WITH A SLOPE GREATER THAN 15 PERCENT OR THOSE SOILS WITH A SOIL ERODIBILITY FACTOR 'K' GREATER THAN 0.35 AND WITH A SLOPE GREATER THAN 5 PERCENT.



PLAN VIEW
SCALE: 1"=50'



LEGEND	
EXISTING CONTOUR (FIELD RUN)	--- 382
EXISTING CONTOUR (GIS)	- - - 382
EXISTING TREELINE	~~~~~
EXISTING CONCRETE	▭
LIMIT OF DISTURBANCE	— LOD —
SOIL BOUNDARY	—•—
EXISTING FENCE	-X-X-
EXISTING PERCOLATION TEST HOLE, PASSED	⊙ 214
EXISTING DRY WELL	⊙
EXISTING LIGHT POLE	☆
TO BE ABANDONED	TBA



VICINITY MAP
SCALE: 1"=2000'

- GENERAL NOTES**
- SUBJECT PROPERTY ZONED RC-DEO PER THE 10/05/13 COMPREHENSIVE ZONING PLAN.
 - THE BOUNDARY AND TOPD SHOWN HEREON ARE BASED ON HOWARD COUNTY GIS DATA, TAX MAP INFO, AND DEED PLOTS.
 - PROPERTY ADDRESS: 1217 ROUND GATE COURT, WOODBINE MARYLAND 21765
 - PROPERTY AREA: 5.83 AC
 - REFERENCE: LIBER 10555 FOLIO 658
 - PRIVATE WATER AND PRIVATE SEWER WILL BE USED WITHIN THIS SITE.
 - THIS AREA DESIGNATES A PRIVATE SEWAGE AREA OF AT LEAST 10,000 SF, AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL (COMAR 26.04.03). IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THIS AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE AREA. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
 - THE LOT HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
 - ALL EXISTING WELLS, SEPTIC SYSTEMS AND SEWAGE DISPOSAL AREA WITHIN 100 FEET OF THE PROPERTY BOUNDARIES AND ALL EXISTING AND PROPOSED WELLS THAT ARE LOCATED WITHIN 200 FEET DOWN-GRADE OF EXISTING OR PROPOSED SEPTIC SYSTEMS AND SEWAGE DISPOSAL AREA HAVE BEEN LOCATED.
 - THE PURPOSE OF THIS PLAN IS TO REVISE THE EXISTING SEWAGE DISPOSAL AREA TO ALLOW ROOM FOR A PROPOSED ADDITION AND TO ACCOMMODATE THE SETBACK TO THE WELL AT 1227 ROUNDGATE COURT.
 - THE EXISTING DRY WELL AND TRENCH WERE FOUND TO BE FULL WITH EFFLUENT DURING INSPECTION FOR UPGRADE. THE OWNER ACCEPTED THE HEALTH DEPARTMENT'S RECOMMENDATION FOR IMMEDIATE REPAIR, AND A REPLACEMENT TRENCH IS EXPECTED TO BE INSTALLED PRIOR TO SIGNATURE OF THIS PERCOLATION CERTIFICATION PLAN.
 - IF AT ANY TIME TRENCHES MUST BE INSTALLED IN THE SDA NEAR TO THE SOUTH PROPERTY LINE, THE PROPERTY LINE NEAR THE SEWAGE DISPOSAL AREA MUST BE MARKED BY A LICENSED SURVEYOR OR PROFESSIONAL ENGINEER.
 - BUILDING PERMIT APPLICATION B21003277 IS ON HOLD FOR SIGNATURE APPROVAL OF THIS PERCOLATION CERTIFICATION PLAN.

APPROVED: FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS IN ACCORDANCE WITH THE MASTER PLAN OF HOWARD COUNTY

Paul M. Sill
 COUNTY HEALTH OFFICER
 HOWARD COUNTY HEALTH DEPARTMENT

I CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED ON FIELD WORK PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AND IS CORRECT, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Paul M. Sill
 PAUL M. SILL, PE, LEED AP
 LICENSED PROFESSIONAL ENGINEER #32025

PERCOLATION CERTIFICATION PLAN & PLOT PLAN
CHAPMAN PROPERTY
 1217 ROUND GATE COURT

TAX MAP 8 GRID 8
 5TH ELECTION DISTRICT

PARCEL 351
 HOWARD COUNTY, MARYLAND

DESIGN BY: PS
 DRAWN BY: SZS
 CHECKED BY: PS
 SCALE: AS SHOWN
 DATE: DECEMBER 9, 2021
 PROJECT #: 21-092
 SHEET #: 1 of 1

SILL ENGINEERING GROUP, LLC
 16005 Frederick Road, 2nd Floor
 Woodbine, Maryland 21797
 Phone: 410.225.5076
 Fax: 410.696.2022
 Email: info@sillengineering.com
 Civil Engineering for Land Development

OWNER
DANIEL & GAYLE CHAPMAN
 1217 ROUND GATE COURT
 WOODBINE MD 21765
 420-489-9425

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 32025, EXPIRATION DATE: JUNE 30, 2023