

GEN. KITCHEN NOTES:

NON-VENTED HOOD: FRAMING DIMENSION FROM SUBFLOOR TO UNDERSIDE OF CABINET TO RANGE IS 5'-10" (30"/14" H. CABINETS) 6'-0" (42"/24" H. CABINETS)

FRAMING DIMENSIONS UNLESS OTHERWISE NOTED

ALL COUNTERTOP RECEPTACLES ARE GFI PROTECTED

TYPICAL WINDOW CASING REQUIRED, DO NOT USE WIDER TRIM OPTION ON WINDOW

KITCHEN SYMBOL LEGEND:

ON THE CABINET LAYOUT: ITEMS SHOWN BELOW IN CIRCLES ARE INCLUDED WITH THE PACKAGE: ITEMS SHOWN BELOW IN TRIANGLES ARE PRE-DESIGNED LOCATIONS IF THE CLIENT CHOOSES THE OPTION SEPARATELY. AVAILABILITY AND INCLUSIONS VARY PER PLAN/KITCHEN PACKAGE

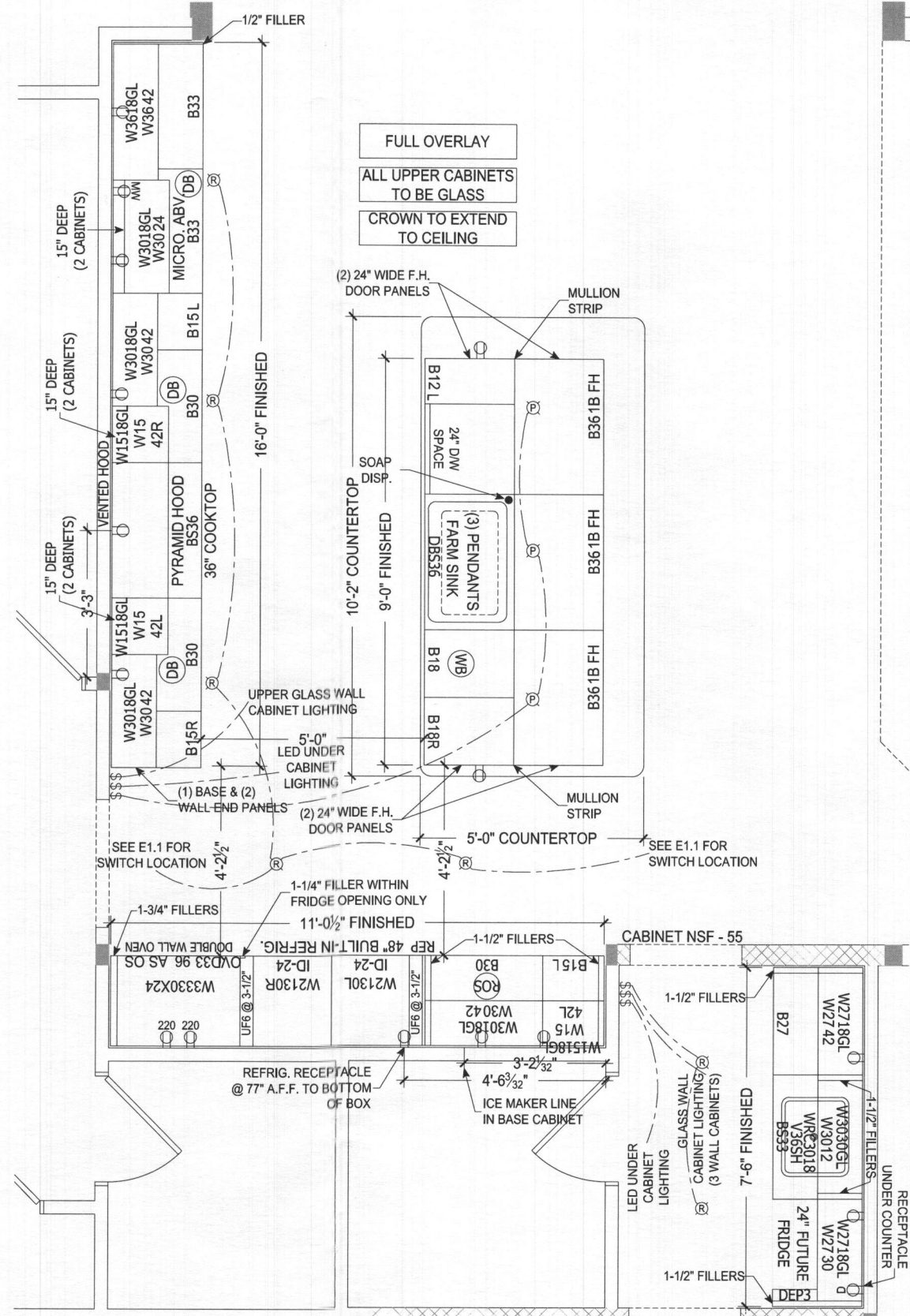
DB	Drawer Bank
GL	Glass Doors
SS	Slide Out Shelf
WB	Waste Basket
MW	Microwave (Alt. location w/ wall mount hood)
UC LIGHT	Under Cab. Light

CHEFS PKG INCL:

Tahoe Maple Cabinet Style - May Upgrade Separately
Small / Angled Crown Molding
Door Trays
**Drawer Bank(s)
**Upper Glass Wall Cabinets w/ Lighting
**Garbage Disposal (1/2 hp)
Installed Ice Maker Line
**Installed Recessed Light Package w/ White Trim Kits
Level 30 Kitchen Sink
Kitchen Faucet Upgrade
Appliance Upgrade (incl: 36" Gas Cooktop, Double Electric Wall Oven, Built-In Microwave, 36" Vented Range Hood, Dishwasher)
**Roll-Out Shelves
**Linen Range Base Cabinet for Under Cooktop
**Oven Cabinet for Double Wall Oven
**Waste Basket Rollout Cabinet
**Specialty Kitchen Window
**Utility Cabinet with Fixed Shelf Kit
**24" Deep Refrigerator Wall Cabinet, May Include Refrigerator End Panel(s) (REP)
**48" Wide Refrigerator Opening
** THESE INCLUSIONS VARY PER HOUSE DESIGN. PLEASE SEE PLAN FOR SPECIFIC INFORMATION REGARDING SIZE AND LOCATION.

*39" x 71" REFRIGERATOR SPACE

NOTE: COMPARED TO STANDARD KITCHEN, MANY INCLUSIONS REPLACE EXISTING CABINETRY AND ARE NOT ADDITIONS.



CHEF'S KITCHEN LAYOUT
SCALE: 1/2" = 1'-0"

FULL OVERLAY
ALL UPPER CABINETS TO BE GLASS
CROWN TO EXTEND TO CEILING

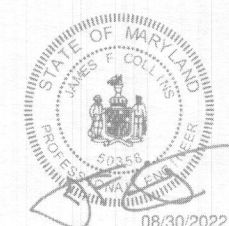
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LANCASTER, PENNSYLVANIA 17601
PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystonecustomhome.com



KEYSTONE CUSTOM HOMES, INC.

KITCHEN
MODEL: MRs032
MEEKS



UPDATED: AUG 25 2022
SCALE: AS NOTED
DRAWN BY: T. HARRIS

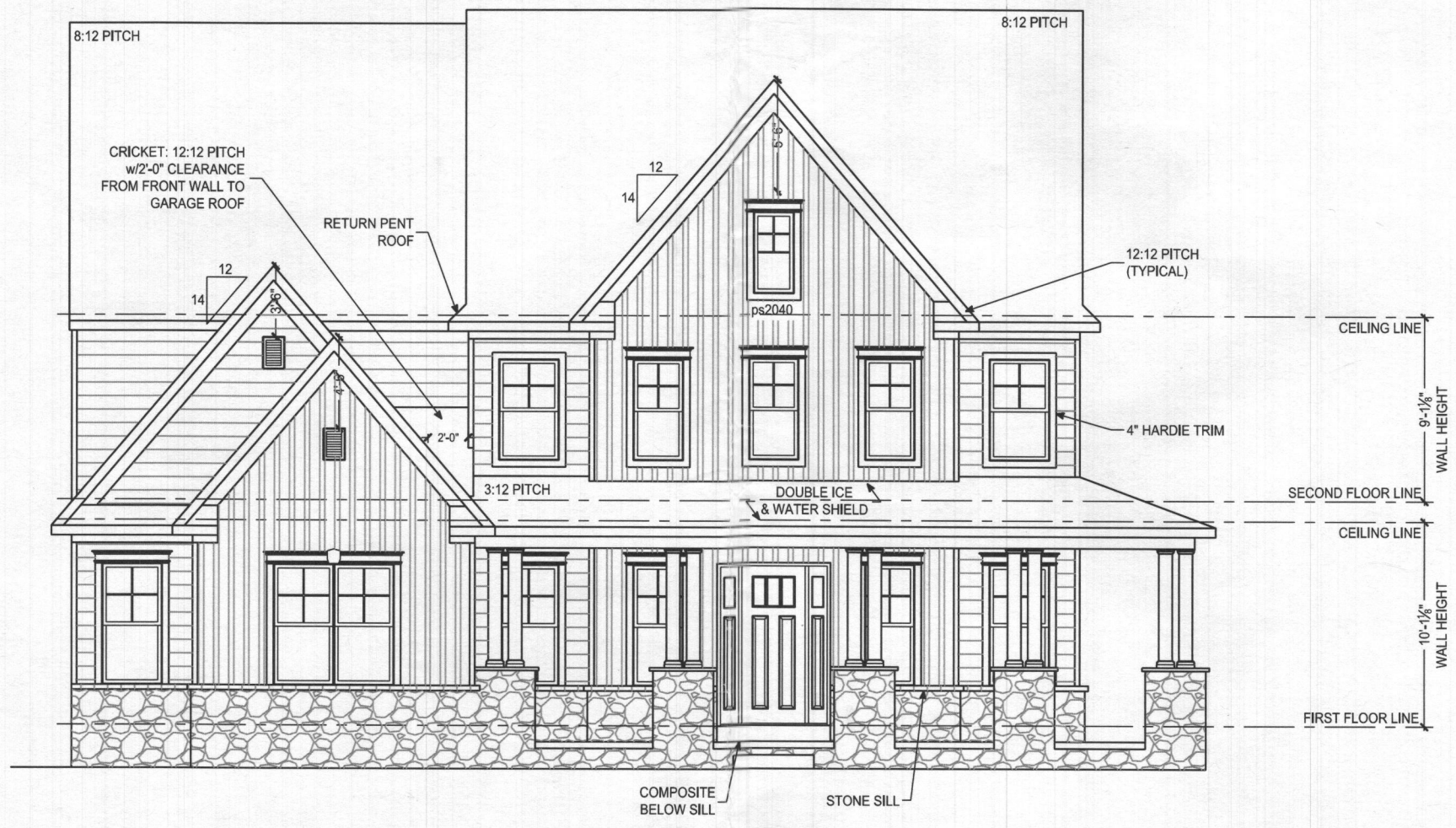
SHEET NO.
KT5.0
PLAN ID: ads40

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 50358, Expiration Date: 12-12-2022

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CUSTOM HOMES

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FRONT ELEVATION
SCALE: 1/8" = 1'-0"

SHEET DESCRIPTION:
FRONT ELEVATION

MODEL:
MRS032
MEEKS

ISSUED:
APR 13 2022

SCALE:
AS NOTED

DRAWN BY:
R.SHAW

SHEET NO.
A1.0

PLAN ID:
ads40

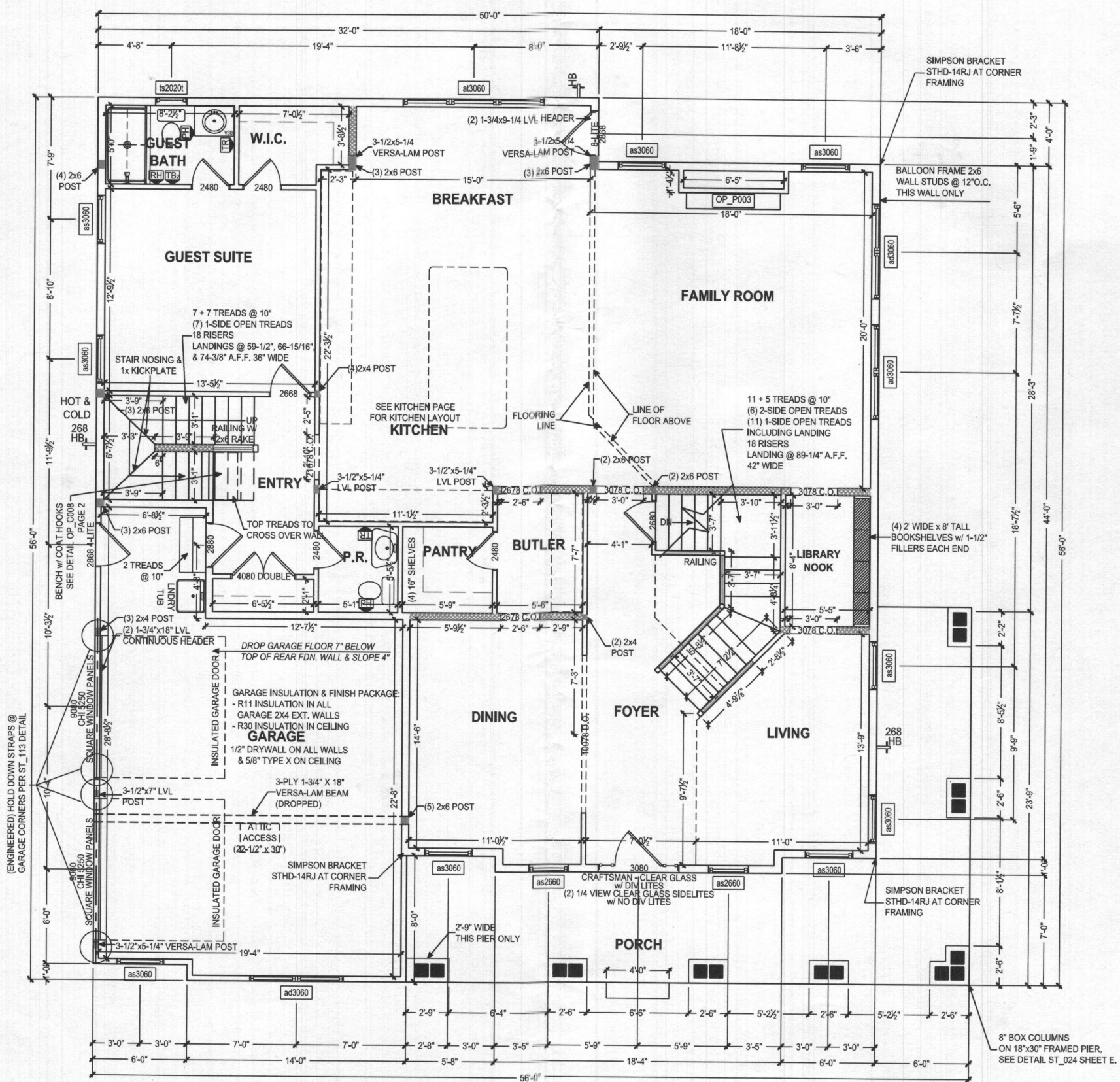
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NOTE:
-CRAFTSMAN INTERIOR TRIM PACKAGE
-ALLOW 5" FOR ALL WINDOW/DOOR HEADER TRIM

SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POST LOADS, SAME SIZE AS POST

RESIDENTIAL SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH THE 2018 IRC. THIRD PARTY AGENCY TO PROVIDE DRAWINGS AND INSTALL SYSTEM.

RAISE FIRST FLOOR WINDOW HEADERS 1'-0" ABOVE TYPICAL

FIRST FLOOR PLAN
CONCEALED

SCALE: 1/8" = 1'-0"

ALL EXTERIOR WALLS ARE 100% CONT. STRUCTURAL SHEATHING (METHOD #3, PER ST_112)

2 x 6 INTERIOR WALL	INTERIOR HALF WALL	FRAMING POST

SHEET DESCRIPTION: FIRST FLOOR PLAN

MODEL: MRS032 MEEKS

ISSUED: APR 13 2022

SCALE: AS NOTED

DRAWN BY: R.SHAW

SHEET NO. P1.0

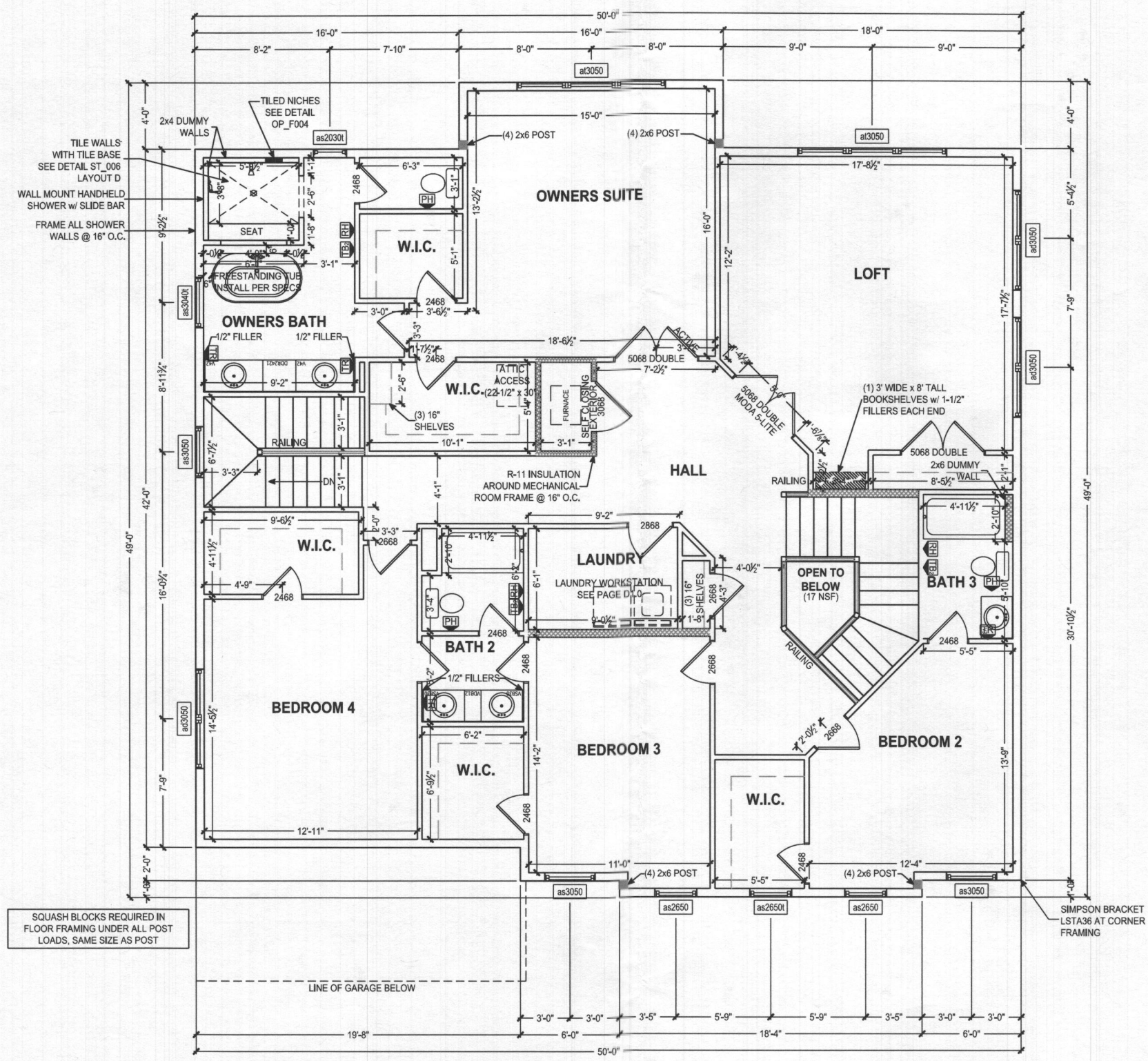
PLANTID: ads40

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SECOND FLOOR PLAN
SCALE: 1/8" = 1'-0"

ALL EXTERIOR WALLS ARE 100% CONT. STRUCTURAL SHEATHING (METHOD #3, PER ST_112)

2 x 6 INTERIOR WALL	INTERIOR HALF WALL	FRAMING POST

SHEET DESCRIPTION:
SECOND FLOOR PLAN

MODEL:
MRs032
MEEKS

ISSUED:
APR 13 2022

SCALE:
AS NOTED

DRAWN BY:
R.SHAW

SHEET NO.
P1.1

PLAN ID:
ads40

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SECOND FLOOR PLAN

MODEL: **MRs032**
MEEKS

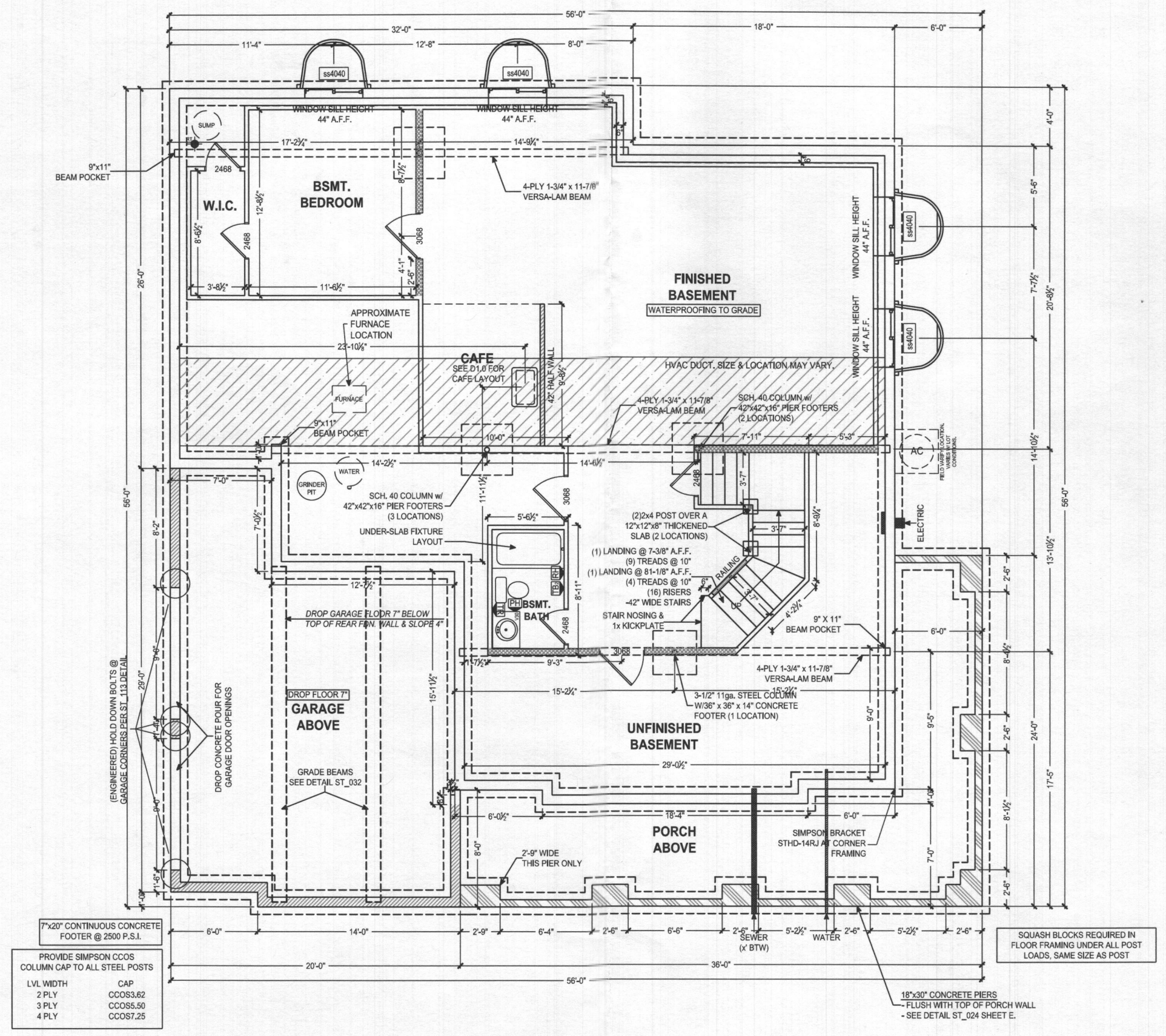
ISSUED: **APR 13 2022**

SCALE: **AS NOTED**

DRAWN BY: **R.SHAW**

SHEET NO. **P1.2**

PLAN ID: **ads40**



6" THICK POURED CONCRETE WALLS
CHECK P.O. FOR WALL HEIGHT OF FRONT PORCH WALLS

8" THICK POURED CONCRETE WALLS
9'-0" HIGH MAIN HOUSE WALLS STANDARD

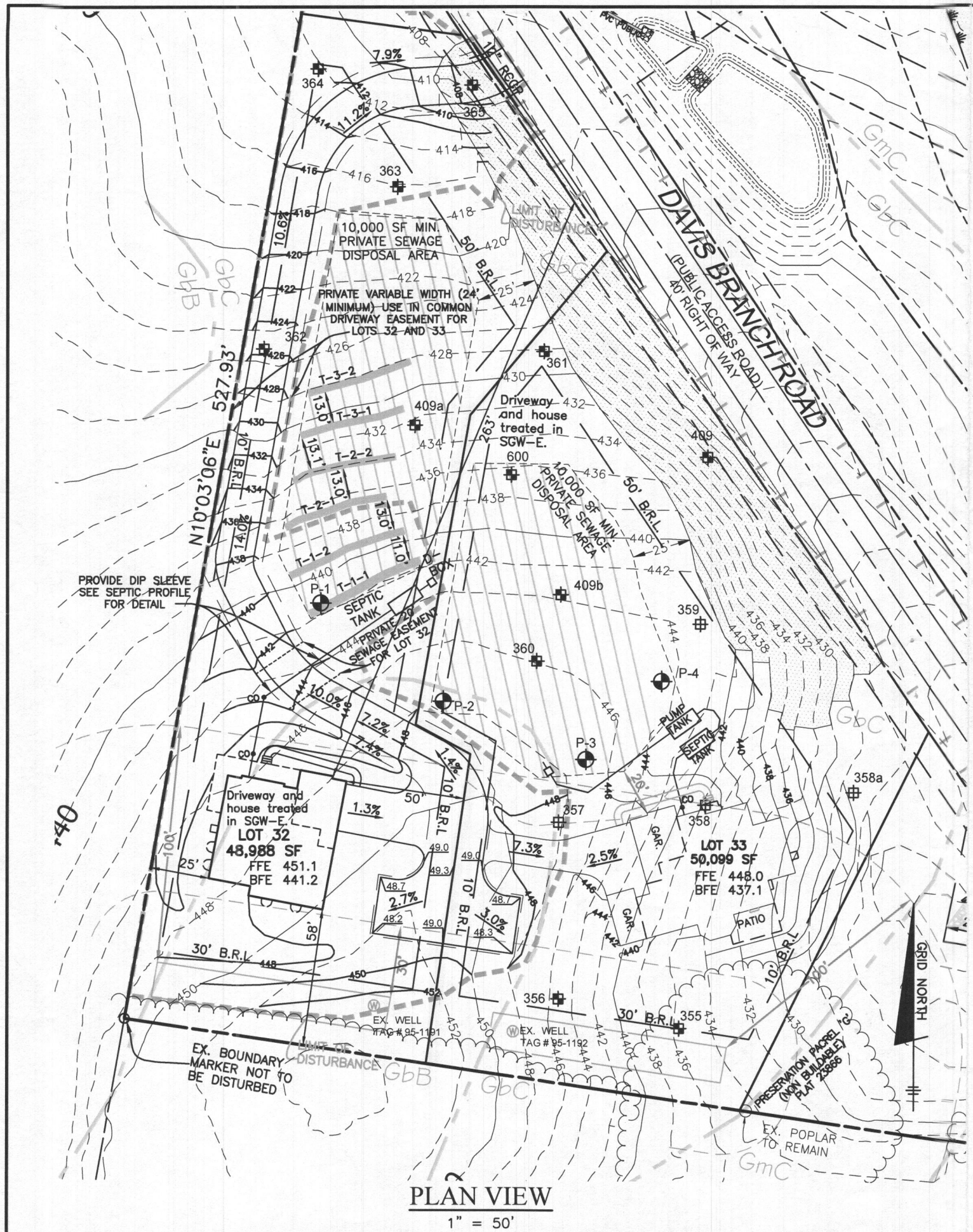
8" THICK POURED CONCRETE WALLS
CHECK P.O. FOR WALL HEIGHT OF CRAWL SPACE AND GARAGE WALLS

7"x20" CONTINUOUS CONCRETE FOOTER @ 2500 P.S.I.	
LVL WIDTH	CAP
2 PLY	CCOS3.62
3 PLY	CCOS5.50
4 PLY	CCOS7.25

SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POST LOADS, SAME SIZE AS POST

NOTE TO HOMEOWNER(S):
LOCATIONS SHOWN FOR HVAC, PLUMBING, AND OTHER MECHANICAL ITEMS WILL BE USED IF POSSIBLE. ACTUAL PLACEMENT OF FURNACE, WATER HEATER, SUMP PIT, ETC. MAY VARY DUE TO INDIVIDUAL SITE REQUIREMENTS.

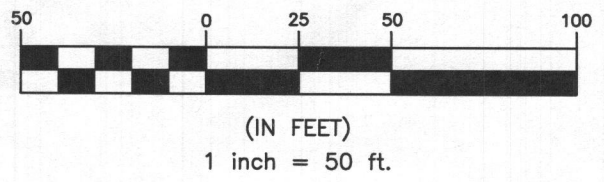
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PLAN VIEW
1" = 50'

LEGEND

- 400 — PROPOSED CONTOURS
- - - 400 - - - EXISTING CONTOURS
- - - 398 - - - EXISTING PRIVATE SEWAGE DISPOSAL AREA
- ⊙ EXISTING WELL BOX
- ▨ EXISTING SLOPES 25% OR GREATER
- ~ EXISTING TREELINE
- MaC SOILS MAP SYMBOL
- - - SOILS DELINEATION LINE
- ⊛ PERC TEST PASSED 2003
- ⊞ PERC TEST FAILED 2003
- ⊚ PERC TEST PASSED 2020



GENERAL NOTES

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR THE MYRTUE PROPERTY, PLAT No. 25865. REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
2. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER GP-22-113.
3. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM THE APPROVED ROAD CONSTRUCTION PLANS F-06-104, PREPARED BY DAFT, McCUNE WALKER, INC. SEPT. 2007 AND REVISED BY BENCHMARK ENGINEERING, INC., DEC. 2015.
4. ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
5. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED ROAD CONSTRUCTION PLANS EXCEPT AS WAIVED.
6. THE EXISTING WELL SHOWN ON THIS PLAN (HO-95-1192) HAS BEEN FIELD LOCATED BY DAFT, McCUNE WALKER, INC. AND IS SHOWN IN ACCORDANCE WITH THEIR SURVEY.
7. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
8. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
9. STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED IN SGW-E WHICH IS CONSTRUCTED IN COMPLIANCE WITH F-06-104.
10. THIS PLOT PLAN IS FOR THE CONSTRUCTION OF THE HOUSE ON LOT 32. CONSTRUCTION OF THIS LOT MAY INCLUDE THE USE IN COMMON DRIVEWAY, DEPENDING ON SCHEDULING AND PERMIT PROCESSING FOR THE ADJACENT LOT.

BUILDER'S DATA

FINISHED FLOOR:	451.1
BASEMENT FLOOR:	441.2
TOP OF WALL:	449.9
BASEMENT SUBGRADE:	440.3
GARAGE FLOOR:	441.2
GARAGE LIP:	449.0
GARAGE SUBGRADE:	448.6
SEWER, BELOW TOW:	8.2'

FINISHED GARAGE FLOOR IS 7' BELOW TOP OF THE REAR FOUNDATION WALL

DRIVEWAY:	859 SF
SIDEWALK:	150 SF
1/2 UIC DW:	4590 SF

Approved Septic System Plan
Howard County Health Department
Dana Burard 9-23-22
Signature *B-2200348* Date *6 BR only*

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01-01-2023.



BEI-AAM

2022.06.02 09:27:20 -04'00

OWNER/BUILDER: KEYSTONE CUSTOM HOMES, INC. 227 GRANITE RUN DR. SUITE 100 LANCASTER, PA 17601 717-464-9060	PROJECT: MYRTUE PROPERTY LOT 32	
	LOCATION: TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1880 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352471	
BENCHMARK ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS ENGINEERING, INC. 8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315 ELLCOTT CITY, MARYLAND 21043 (P) 410-465-6105 ▲ (F) 410-465-6644 WWW.BEI-CIVILENGINEERING.COM	TITLE: BUILDING PERMIT PLAN	
	HOUSE TYPE: CUSTOM - KEYSTONE HOMES	
DATE: MAY 2022	PROJECT NO. 2099	
SCALE: AS SHOWN	DRAWING <u>1</u> OF <u>1</u>	