

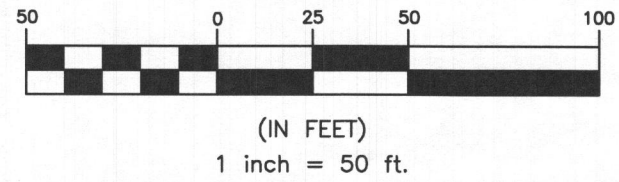
PLAN VIEW
1" = 50'

BUILDER'S DATA

FINISHED FLOOR: 417.1
 TOP OF WALL: 415.9
 BASEMENT FLOOR: 407.2
 BASEMENT SUBGRADE: 406.3
 GARAGE FLOOR: 415.3
 GARAGE LIP: 415.0
 SEWER BELOW TOW: 6.9'

GARAGE FLOOR IS 7" BELOW THE TOP OF THE REAR FOUNDATION WALL.

DRIVEWAY: 1713 SF
 SIDEWALK: 154 SF



ESD STORMWATER MANAGEMENT SUMMARY TABLE												
Practice		Pe=	Qe=	Af (s.f.)			ESDv=	cf	Rv=	Rev (AC)		Ownership
#	DA to practice	Imp Area to practice	Required	Provided	2% DA?	Required	Provided	Pe Provided	Required	Provided		
(M-6) Micro-Bioretenion	#20	4,166	3,070	83	439	PASS	409	642	2.60	136.18	139.02	Private
Depth of Stone:										9.5 inches		

OWNER/BUILDER:
 KEYSTONE CUSTOM HOMES, INC.
 227 GRANITE RUN DR.
 SUITE 100
 LANCASTER, PA 17601
 717-464-9060

BENCHMARK
 ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.
 3300 NORTH RIDGE ROAD ▲ SUITE 140
 ELLICOTT CITY, MARYLAND 21043
 (P) 410-465-6105 ▲ (F) 410-465-6644
 WWW.BEI-CIVILENGINEERING.COM

PROJECT:		MYRTUE PROPERTY LOT 20	
LOCATION:		TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1933 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352544	
TITLE:		BUILDING PERMIT PLAN	
HOUSE TYPE:		CUSTOM - KEYSTONE HOMES	
DATE:	MAY, 2022	PROJECT NO.	2099
SCALE:	AS SHOWN	DRAWING	<u>1</u> OF <u>2</u>

GENERAL NOTES

- THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR THE MYRTUE PROPERTY, PLAT No. 23866. REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
- SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER GP-22-112. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM THE APPROVED ROAD CONSTRUCTION PLANS F-06-104, PREPARED BY DAFT, McCUNE WALKER, INC. SEPT. 2007 AND REVISED BY BENCHMARK ENGINEERING, INC., DEC. 2015.
- ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
- ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED ROAD CONSTRUCTION PLANS EXCEPT AS WAIVED.
- THE EXISTING WELL SHOWN ON THIS PLAN, HO-95-1216, WAS FIELD LOCATED BY DMW, AND IS BELIEVED TO BE ACCURATELY SHOWN.
- THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
- ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
- STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED BY ONE MICRO-BIORETENTION (MDE M-6).
- RAINWATER SHALL BE CONVEYED TO THE SWM FACILITY WITH HDPE PIPES, ROOF LEADERS AND TRENCH DRAINS, AS SHOWN.

LEGEND

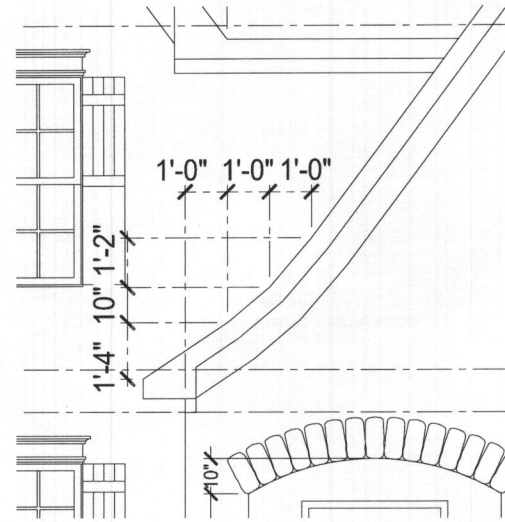
- 400 PROPOSED CONTOURS
- 398 EXISTING CONTOURS
- 400 EXISTING PRIVATE SEWAGE DISPOSAL AREA
- EXISTING WELL BOX
- PROPOSED TREELINE
- EXISTING TREELINE
- SOILS MAP SYMBOL
- SOILS DELINEATION LINE
- DRIVEWAY DISCONNECTION AND RECEIVING AREA
- LIMIT OF DISTURBANCE

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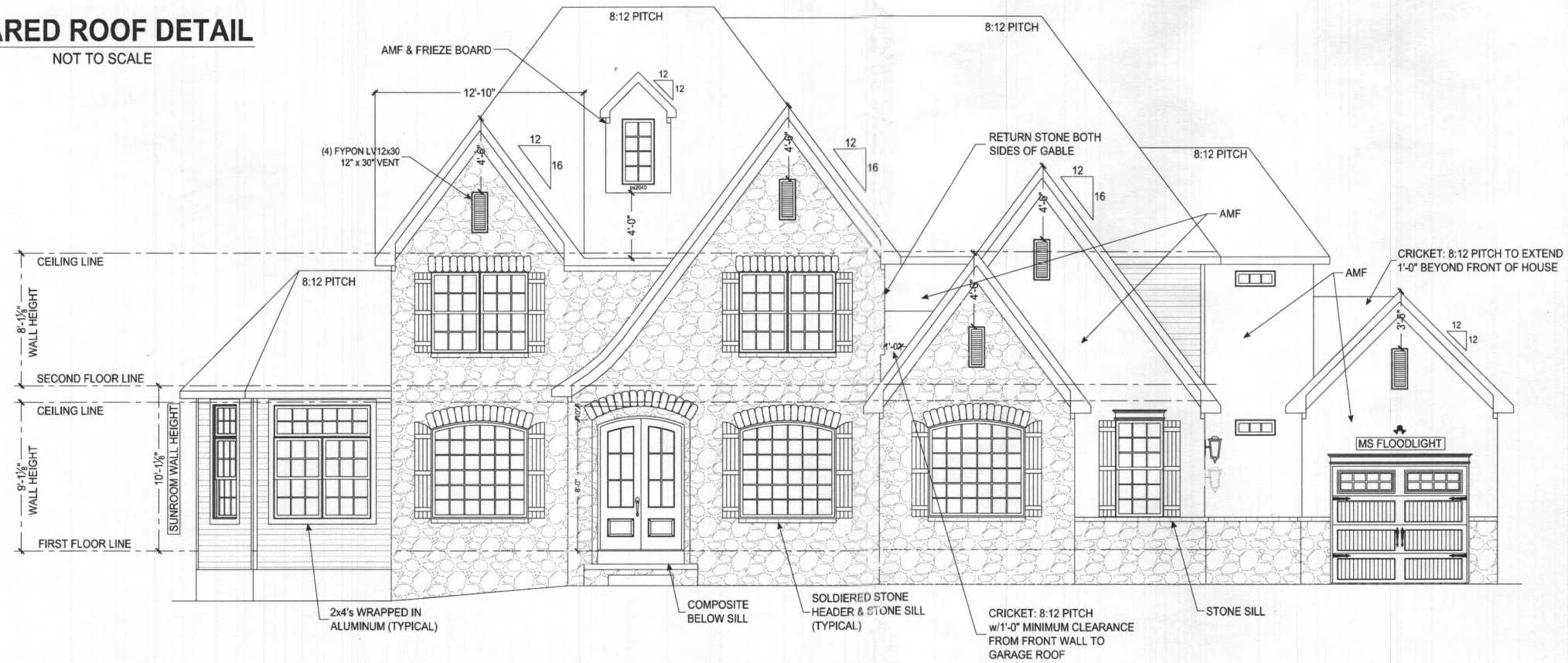


BEI-AAM

2022.06.01 16:19:38 -04'00



FLARED ROOF DETAIL
NOT TO SCALE



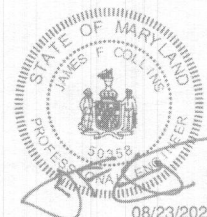
FRONT ELEVATION
SCALE: 3/16" = 1'-0"

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LANCASTER, PENNSYLVANIA 17601
PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystonecustomhome.com



KEYSTONE CUSTOM HOMES, INC.



Professional Certification, I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 50358, Expiration Date: 12-12-2022

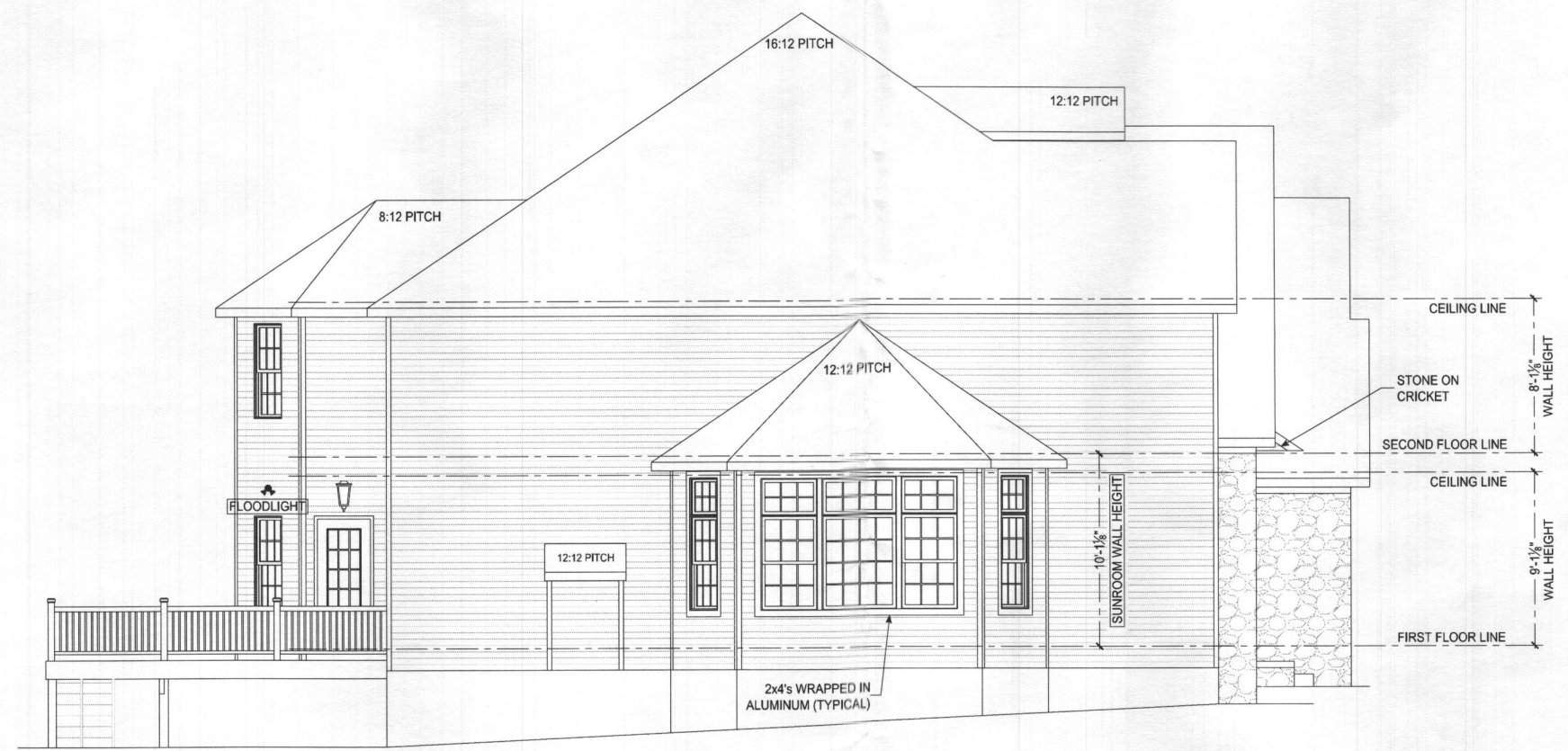
SHEET DESCRIPTION	FRONT ELEVATION
MODEL	MR4020
	MAKSHOOD / RIZVI
UPDATED	AUG 22 2022
SCALE	AS NOTED
DRAWN BY	G.SWEIGERT
SHEET NO.	A1.0
PLAN NO.	ads10

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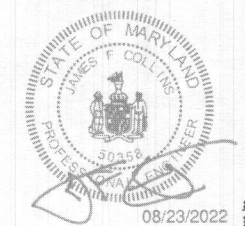
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LIVING SIDE ELEVATION
 SCALE: 3/16" = 1'-0"



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SHEET DESCRIPTION	LIVING SIDE ELEVATION
MODEL	MR4020 MAKSHOOD / RIZVI
UPDATED	AUG 22 2022
SCALE	AS NOTED
DRAWN BY	G.SWEIGERT
SHEET NO.	A1.1
PLAN ID.	ads10

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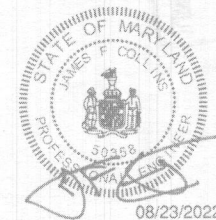
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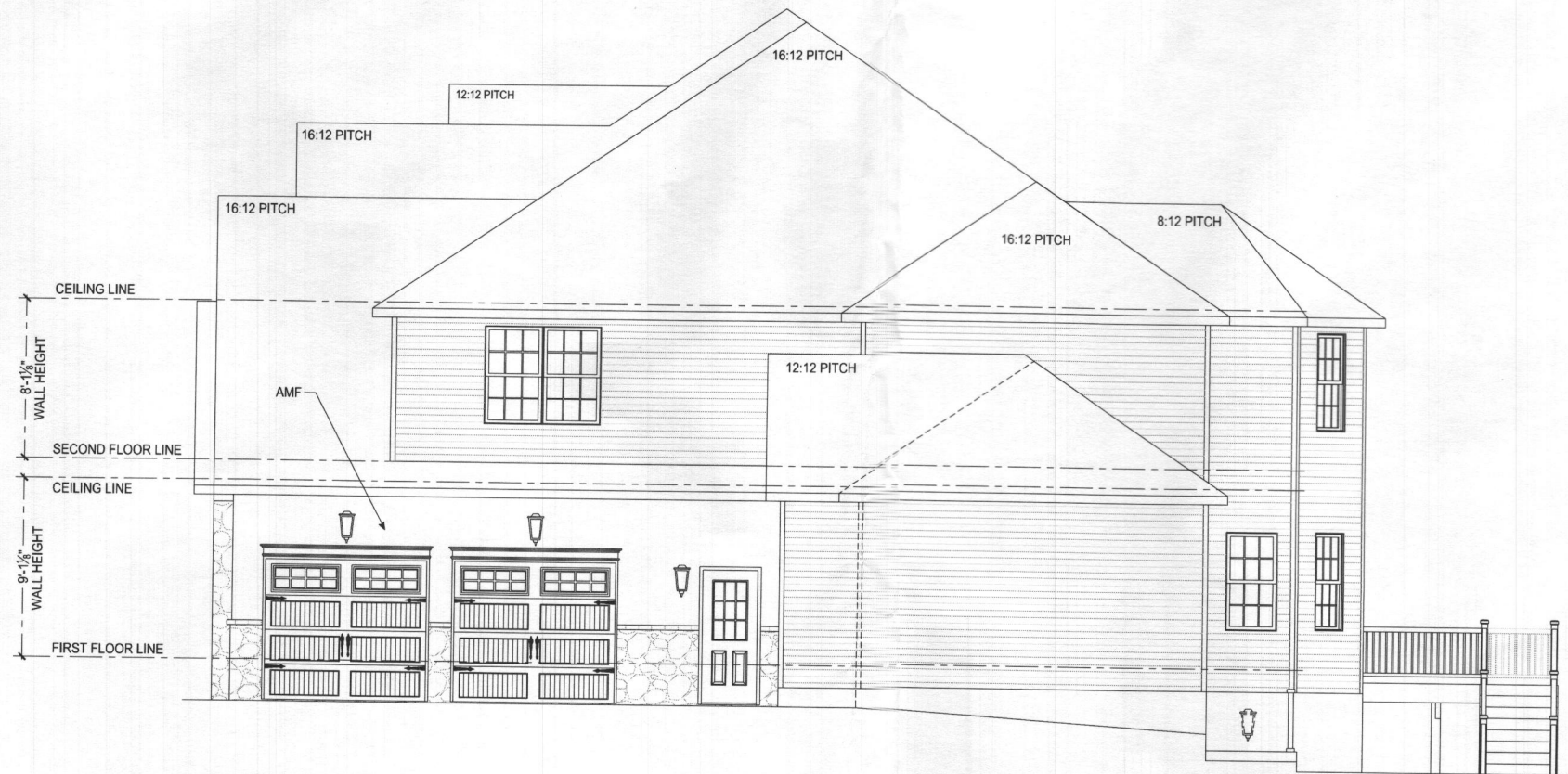


REAR ELEVATION
 SCALE: 3/16" = 1'-0"



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SHEET DESCRIPTION	REAR ELEVATION
MODEL	MRs020
	MAKSHOOD / RIZVI
UPDATED	AUG 22 2022
SCALE	AS NOTED
DRAWN BY	G.SWEIGERT
SHEET NO.	A1.2
PLANTED	as 10



GARAGE SIDE ELEVATION

SCALE: 3/16" = 1'-0"

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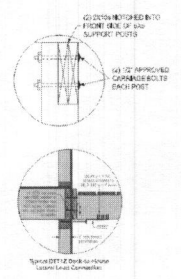


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SHEET DESCRIPTION FOR	GARAGE SIDE ELEVATION
MODEL	MRS020
	MAKSHOOD / RIZVI
UPDATED	AUG 22 2022
SCALE	AS NOTED
DRAWN BY	G.SWEIGERT
SHEET NO.	AL.3
PLAN NO.	ads10

ALL EXTERIOR WALLS ARE 100% CONTINUOUS STRUCTURAL SHEATHING (METHOD #5, PER ST_112)

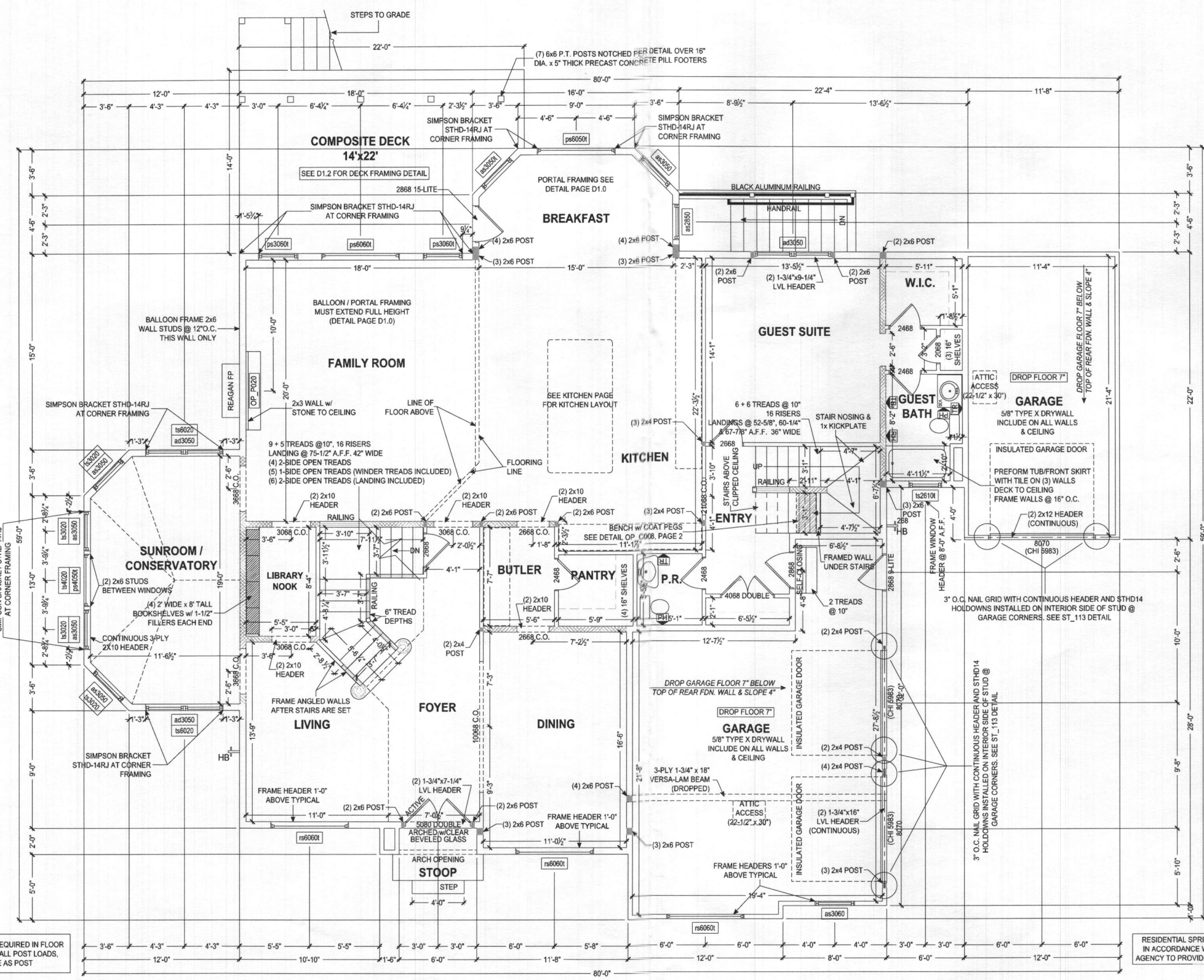
	GYPSUM BOARD, TWO SIDES (METHOD #5, PER ST_111)
	INTERIOR HALF WALL
	2x6 INTERIOR WALL
	FRAMING POST



SEE SUNROOM PORTAL FRAMING PAGE D1.2
 SUNROOM WALLS TO BE 10'-1 1/2"
 FRAME ALL SUNROOM WINDOW HEADERS 2'-0" ABOVE TYPICAL

NOTE:
 -OLD WORLD INTERIOR TRIM PACKAGE -ALLOW 4" FOR ALL WINDOW/DOOR HEADER TRIM

SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POST LOADS, SAME SIZE AS POST



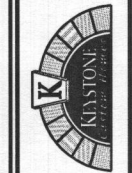
RESIDENTIAL SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH THE 2021 IRC. THIRD PARTY AGENCY TO PROVIDE DRAWINGS AND INSTALL SYSTEM.

FIRST FLOOR PLAN

SCALE: 3/16" = 1'-0"

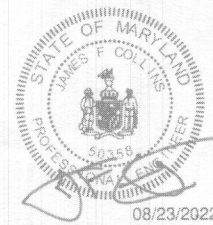
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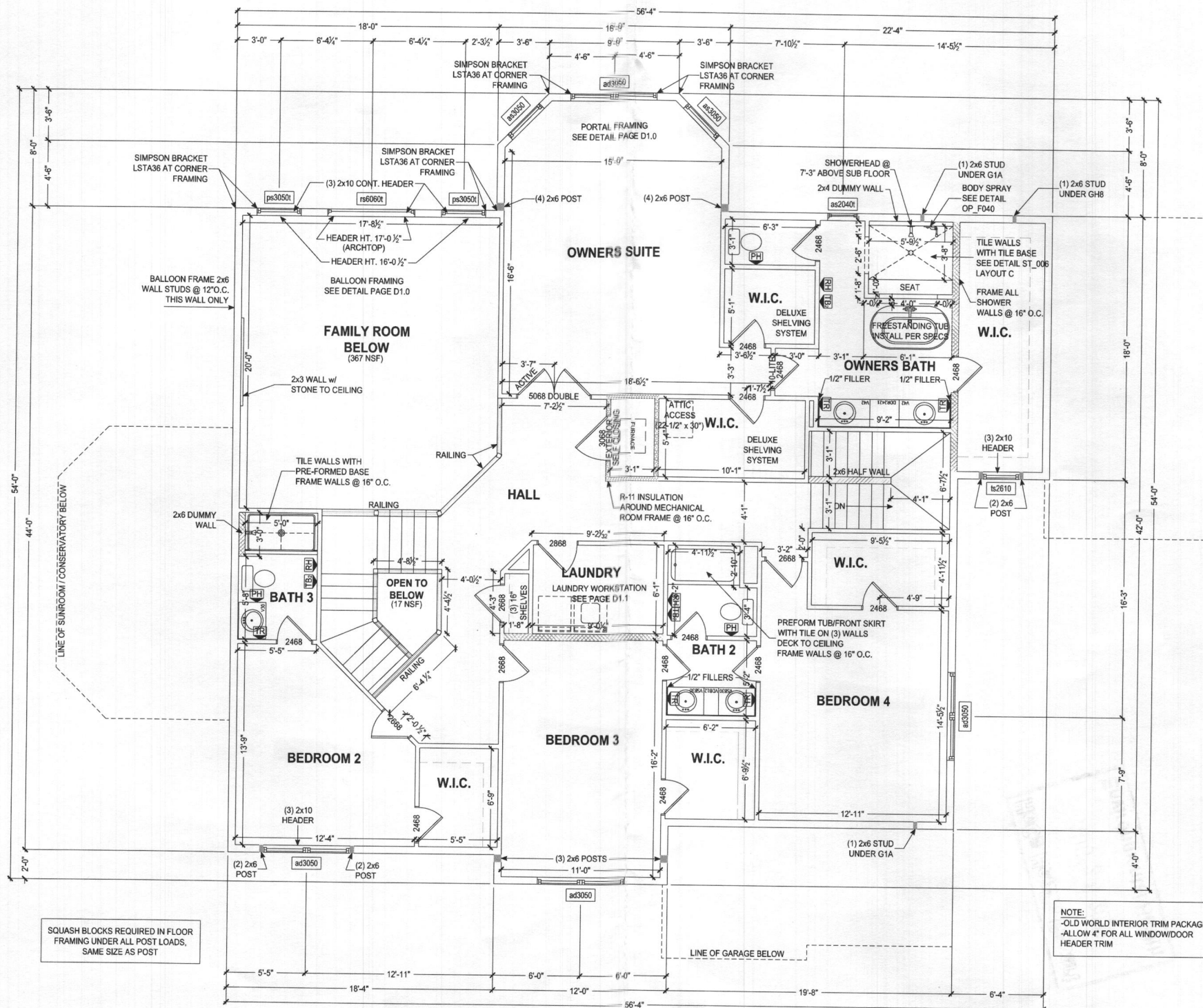
SHEET DESCRIPTION:	FIRST FLOOR PLAN
MODEL:	MR8020
DESIGNER:	MAKSHOOD / RIZVI
DATE:	AUG 22 2022
SCALE:	AS NOTED
DRAWN BY:	G. SWEIGERT
SHEET NO.:	P1.0
PLAN ID:	ads10



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ALL EXTERIOR WALLS ARE 100% CONTINUOUS STRUCTURAL SHEATHING (METHOD #3, PER ST. 112)

- GYPSUM BOARD, TWO SIDES (METHOD #5, PER ST. 111)
- INTERIOR HALF WALL
- 2 x 6 INTERIOR WALL
- FRAMING POST



SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POST LOADS, SAME SIZE AS POST

NOTE:
-OLD WORLD INTERIOR TRIM PACKAGE
-ALLOW 4" FOR ALL WINDOW/DOOR
HEADER TRIM

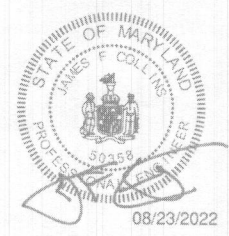
SECOND FLOOR PLAN
SCALE: 3/16" = 1'-0"

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SHEET DESCRIPTION:	SECOND FLOOR PLAN
MODEL:	MRS020 MAKSHOOD / RIZVI
UPDATED:	AUG 22 2022
SCALE:	AS NOTED
DRAWN BY:	G.SWEIGERT
SHEET NO.:	P1.1
PLAN ID:	ads10

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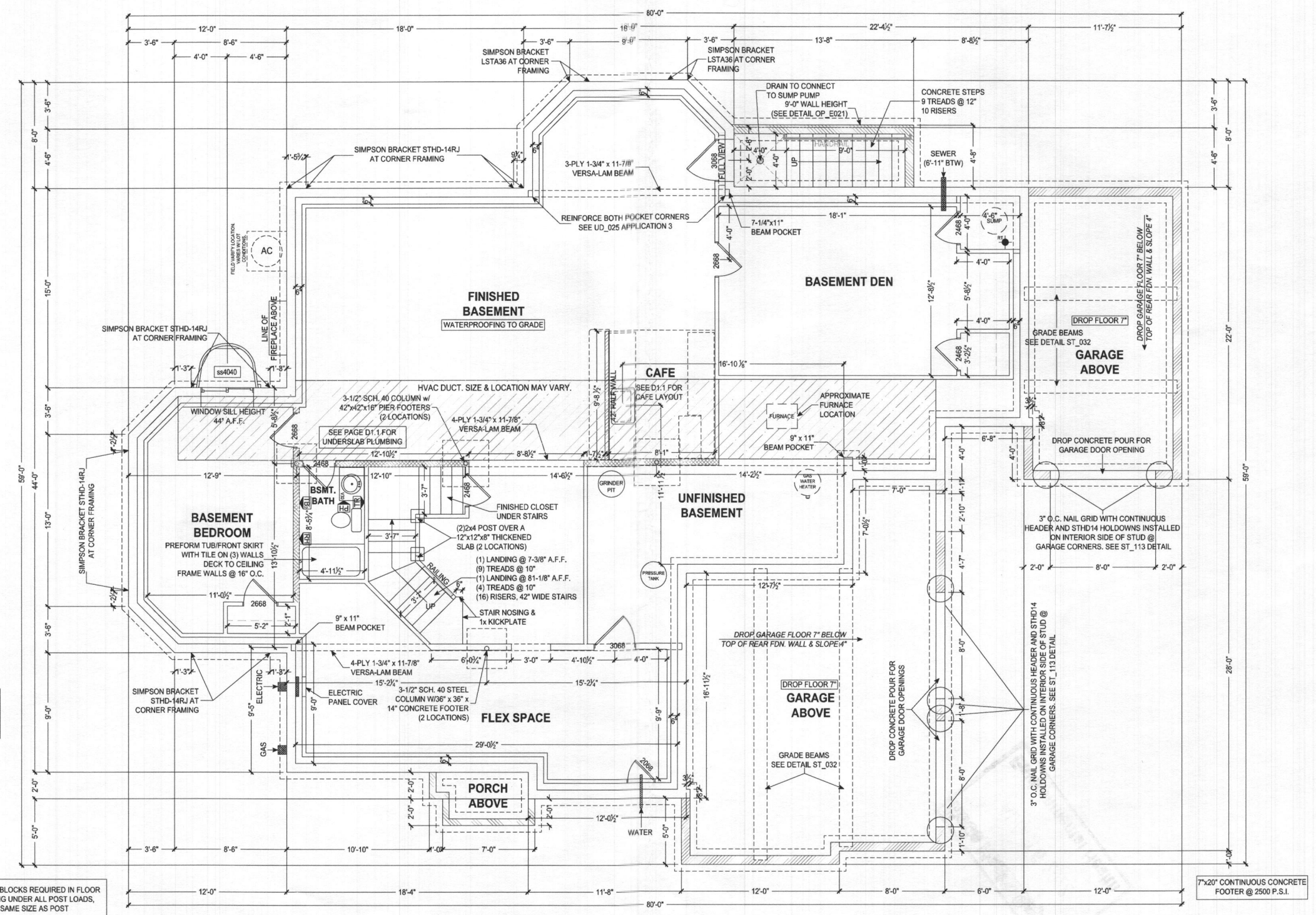


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SHEET DESCRIPTION:
FOUNDATION PLAN
MODEL: MRS020
MAKSHOOD / RIZVI

UPDATED:
AUG 22 2022
SCALE:
AS NOTED
DRAWN BY:
G. SWEIGERT

SHEET NO.
P1.2
PLAN ID:
ads10



PROVIDE SIMPSON CCOS COLUMN CAP TO ALL STEEL POSTS

LVL WIDTH	CAP
2 PLY	CCOS3.62
3 PLY	CCOS5.50
4 PLY	CCOS7.25

NOTE:
-OLD WORLD INTERIOR TRIM PACKAGE
-ALLOW 4" FOR ALL WINDOWDOOR HEADER TRIM

SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POST LOADS, SAME SIZE AS POST

FOUNDATION PLAN

SCALE: 3/16" = 1'-0"



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8" THICK POURED CONCRETE WALLS
9'-0" HIGH MAIN HOUSE BASEMENT WALLS STANDARD
6" THICK POURED CONCRETE WALLS
CHECK P.O. FOR WALL HEIGHT OF CRAWL SPACE AND GARAGE WALLS
6" THICK POURED CONCRETE WALLS
CHECK P.O. FOR WALL HEIGHT OF FRONT PORCH WALLS

NOTE TO HOMEOWNERS:
LOCATIONS SHOWN FOR HVAC, PLUMBING, AND OTHER MECHANICAL ITEMS WILL BE USED IF POSSIBLE. ACTUAL PLACEMENT OF FURNACE, WATER HEATER, SUMP PUMP, ETC. MAY VARY DUE TO INDIVIDUAL SITE REQUIREMENTS.

KITCHEN SYMBOL LEGEND:

ON THE CABINET LAYOUT, ITEMS SHOWN BELOW IN CIRCLES ARE INCLUDED WITH THE PACKAGE. ITEMS SHOWN BELOW IN TRIANGLES ARE PRE-DESIGNED LOCATIONS IF THE CLIENT CHOOSES THE OPTION SEPARATELY. AVAILABILITY AND INCLUSIONS VARY PER PLANKITCHEN PACKAGE

DB	Drawer Bank
GL	Glass Doors
SS	Slide Out Shelf
WB	Waste Basket
MW	Microwave (Alt. location w/ wall mount hood)
UC LIGHT	Under Cab. Light

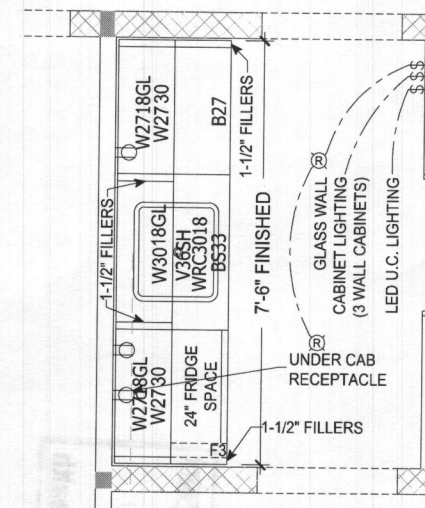
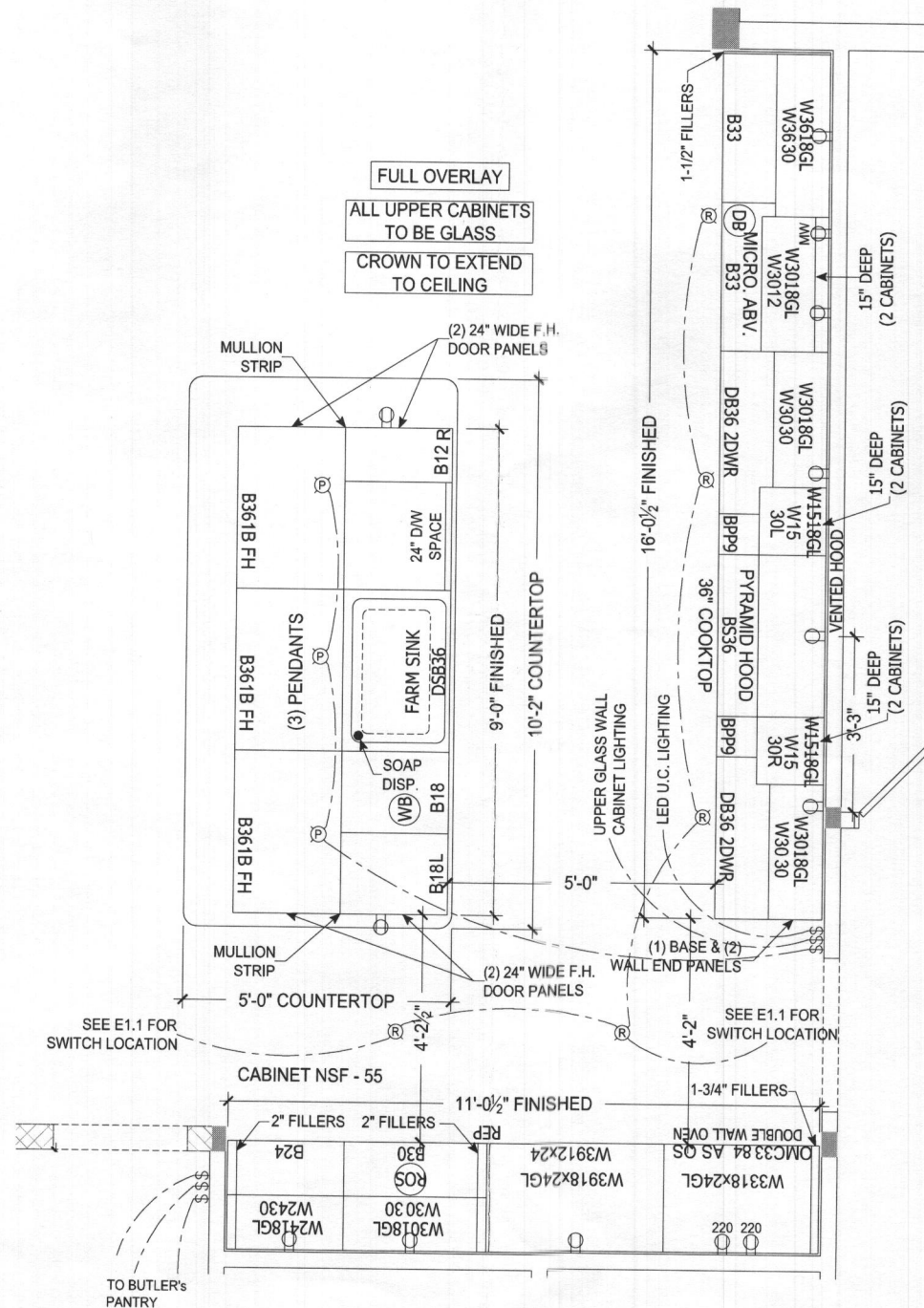
CHEFS PKG INCL:

Tahoe Maple Cabinet Style - May Upgrade Separately
Small / Angled Crown Molding
Door Trays
**Drawer Bank(s)
**Upper Glass Wall Cabinets w/ Lighting
Installed Ice Maker Line
**Installed Recessed Light Package w/ White Trim Kits
Level 30 Kitchen Sink
Kitchen Faucet Upgrade
Appliance Upgrade (incl: 36" Gas Cooktop, Double Electric Wall Oven, Built-In Microwave, 36" Vented Range Hood, Dishwasher)
**Roll-Out Shelves
**Linen Range Base Cabinet for Under Cooktop
**Oven Cabinet for Double Wall Oven
**Waste Basket Rollout Cabinet
**Specialty Kitchen Window
**Utility Cabinet with Fixed Shelf Kit
**24" Deep Refrigerator Wall Cabinet, May Include Refrigerator End Panel(s) (REP)
**48" Wide Refrigerator Opening
** THESE INCLUSIONS VARY PER HOUSE DESIGN. PLEASE SEE PLAN FOR SPECIFIC INFORMATION REGARDING SIZE AND LOCATION.

NOTE: COMPARED TO STANDARD KITCHEN, MANY INCLUSIONS REPLACE EXISTING CABINETRY AND ARE NOT ADDITIONS.

GEN. KITCHEN NOTES:

NON-VENTED HOOD: FRAMING DIMENSION FROM SUBFLOOR TO UNDERSIDE OF CABINET TO RANGE IS 5'-10" (30" / 14" H. CABINETS) 6'-0" (42" / 24" H. CABINETS)
FRAMING DIMENSIONS UNLESS OTHERWISE NOTED
ALL COUNTERTOP RECEPTACLES ARE GFI PROTECTED
TYPICAL WINDOW CASING REQUIRED, DO NOT USE WIDER TRIM OPTION ON WINDOW



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KEYSTONE CUSTOM HOMES, INC.

SHEET DESCRIPTION: KITCHEN
MODEL: MR8020
MAKSHOOD / RIZVI

UPDATED: AUG 22 2022
SCALE: AS NOTED
DRAWN BY: G. SWEIGERT

SHEET NO. **KT5.0**
PLAN ID: **ads10**