

PERMIT NUMBER: B **22003317**

DATE ACCEPTED: **01-1-2022**



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS **REQUIRED**

Street Address: 1933 Davis Branch Road		Unit:
City: Woodstock	State: MD	Zip Code: 21163
Subdivision/Village/Complex Name: Myrtue Property		SDP/WP/BA #:
Lot: 20	Tax Map: 10, Grid 24	Parcel: 225
		Grading Permit #: 622000159

DESCRIPTION OF WORK **REQUIRED**

Existing Use: Vacant improved lot	Proposed Use: SFD	Estimated Cost: \$535,275.00
Trade Work to Be Completed (Separate Permits Required): <input checked="" type="checkbox"/> Mechanical (HVACR) <input checked="" type="checkbox"/> Electrical <input checked="" type="checkbox"/> Plumbing <input type="checkbox"/> None		

Construct a SFD w/ attached Garages and a 14 x 22 (308 sq ft) composite deck with steps to grade.

PROPERTY OWNER INFORMATION **REQUIRED**

Owner(s) Name(s) (As it appears on tax records): Makshood Minhal/Rizvi Ejas		Primary Residence: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Owner's Street Address: 5632 Montgomery Road		
City: Ellicott City	State: MD	Zip Code: 21043
Phone: (518) 301-8404	Email: minhal.mak@gmail.com	

APPLICANT NAME **REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION**

Business Name: Keystone Custom Homes	Contact Name: Neil J. Bontempi
Street Address: 227 Granite Run Drive, Suite 100	
City: Lancaster	State: PA
Phone: (717) 847-5426	Zip Code: 17601
Email: nbontempi@keystonecustomhome.com	

CONTRACTOR INFORMATION **REQUIRED**

Business Name: Keystone Custom Homes	
Licensee's Name:	License #: MHBR# 2937 (exp 12/01/2023)
Street Address: 227 Granite Run Drive, Suite 100	
City: Lancaster	State: PA
Phone: (717) 847-5426	Zip Code: 17601
Email: nbontempi@keystonecustomhome.com	

ARCHITECT/ENGINEER INFORMATION **INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE**

Business Name: James F. Collins, P.E.	Name: James F. Collins
Street Address: 227 Granite Run Drive, Suite 100	
City: Lancaster	State: PA
Phone: (352) 250-3146	Zip Code: 17601
Email: jcollins@keystonecustomhome.com	

BUILDING CHARACTERISTICS **REQUIRED**

Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)	Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Gas	Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)
Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)	
Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane <input type="checkbox"/> Other:	Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input checked="" type="checkbox"/> NFPA 13D <input type="checkbox"/> None	Fire Alarm System: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION **(PLEASE SELECT/COMPLETE ALL THAT APPLY)**

Model Name & Options: Devonshire Manor (with 14 X 22 composite deck)				
# of Bedrooms (SF): 6	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):
# Rooms: 21	# Full Baths: 5	# Half Baths: 1	# Fireplaces: 1	
Garage/Carport Info: <input checked="" type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None				
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input checked="" type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input checked="" type="checkbox"/> Partial				
1 st Fl Width: 80	1 st Fl Depth: 59	2 nd Fl Width: 56	2 nd Fl Depth: 54	Bsmt Width: 80
		Bsmt Depth: 59		
Energy Method: <input checked="" type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area: 8,127 sq ft		Occupiable Area: 7,696 sq ft

AGREEMENT/ DISCALIMER **REQUIRED**

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Neil J. Bontempi

8/19/22

APPLICANT'S ORIGINAL SIGNATURE

DATE SIGNED

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:				
<input checked="" type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ	<input checked="" type="checkbox"/> DED	<input checked="" type="checkbox"/> Health 10.17.22	<input type="checkbox"/> SHA
SUBMITTAL FEES: \$150.00		PAYMENT:	ACCEPTED BY:	

HoCo Health Depart

AUG 26 2022

Environmental Health

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B23001332	04/20/2023
Description of Work		
SFD/ INSTALL (1) 500 GALLON UNDER GROUND PROPANE TANK		

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner


Street #	Street Name	Street Type	
1933	DAVIS BRANCH	RD	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-76.867	39.31918
City	State	Zip Code	Primary
WOODSTOCK	MD	21163	Yes

4/27/23 - plan is too small scale and I can't locate the proposed location for the LP tank - requested a revised plan
 4/27/23 - sent email about revised plan to Suburban Propane.

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
930149	225,287	1.17	197900	0	0	RURAL
Legal Description						
LOT 20 1.175 A []1933 DAVIS BRANCH ROAD []MYRTUE PROPERTY INCL RSB						

Approved 4/28/23


[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	20	603000	5	6			
Plan Area	State Tax Id	Subdivision Name					
	1403352544	Myrtue Property					
Section	Area	Tax Map					
		11					
Grid	Zoning District	ADC Map					
11-19	RC-DEO	4695-B9					
SDP No.	Final Plan No.	WP File No.					
	F-06-104						
Record Plat No.	WS Contract No.	FDP No.	Primary				
19961-1996			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input checked="" type="radio"/> Yes <input type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	3-02A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner * (This section is required.)

Search Reset Clear

Name *

RIZVI EJAS

Address Line 1

5632 MONTGOMERY ROAD

GENERAL NOTES

VN HEREON WAS RECORDED ON THE PLAT FOR ERTY, PLAT NUMBER 23866. REFER TO THE PLAT NSIONS, LOT AREA, ALL EASEMENTS AND

WELL SHOWN ON THIS PLAN (HO-95-1216) LD LOCATED BY DAFT, McCUNE WALKER, INC. N IN ACCORDANCE WITH THEIR SURVEY.) EXISTING WELLS OR SEPTIC SYSTEMS WITHIN PROJECT'S BOUNDARY EXCEPT AS NOTED. SHOWN WAS FLOWN BY VIRGINIA RESOURCE DATED FEBRUARY 2003 AND SUPPLEMENTED RVEY BY DMW, INC. DATED 2005.

) EROSION CONTROLS WILL BE SUBMITTED BY) CONSERVATION DISTRICT AS A CUSTOM GRADING

AND STORMWATER MANAGEMENT FEATURES USED MUST COMPLY WITH THE APPROVED BUILDING) CUSTOM GRADING PLANS.

TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL REQUIRE A REVISED PERCOLATION CERTIFICATION

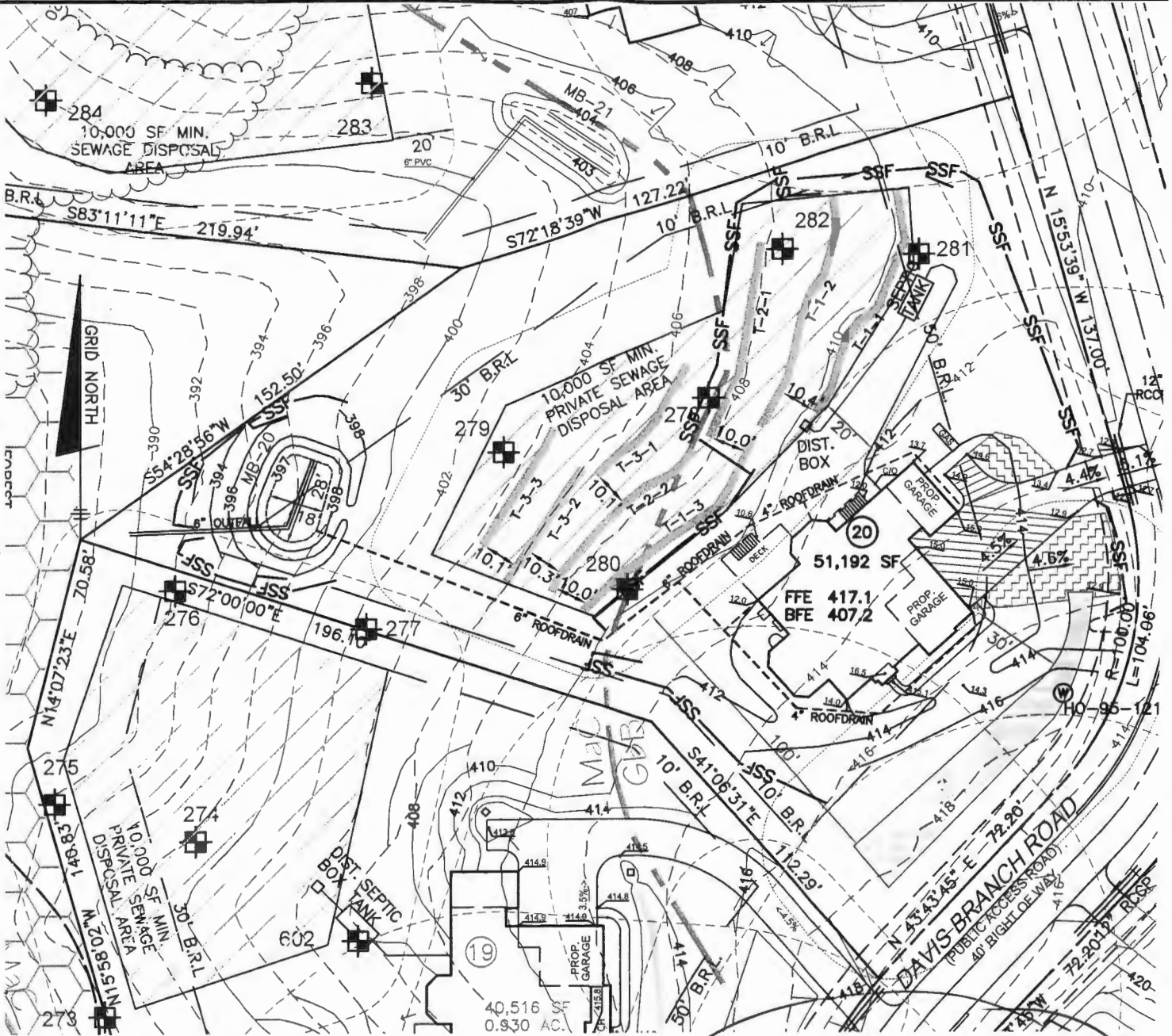
TO THE LOCATIONS OR DEPTHS TO ANY MUST BE APPROVED BY THE ENGINEER AND THE NTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. TE PLAN MAY BE REQUIRED.

AL WORK FOR THE INSTALLATION MUST BE BY A LICENSED ELECTRICIAN.

TANK WILL BE A 2000 GALLON TWO TANK.

I EARTH COVER OVER THE TANK IS 3 FEET. TH COVER WILL REQUIRE A HEAVY LOAD BEARING

ND SEPTIC SYSTEMS LOCATED WITHIN 100' OF Y BOUNDARIES AND 200' DOWN GRADIENT OF R SEPTIC SYSTEM HAVE BEEN SHOWN.



PLAN VIEW
1" = 50'

Approved for LP tank
B23001332
4/28/23
Approved Septic System Plan
Howard County Health Department

LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS

