



# HOWARD COUNTY HEALTH DEPARTMENT

61544

DATE 10/17/17

A5

Received From

TEA Contractors Inc. PHONE # 301 924 2111

For

for lepp / 6055 Meric Hill Rd

CASH

CHECK

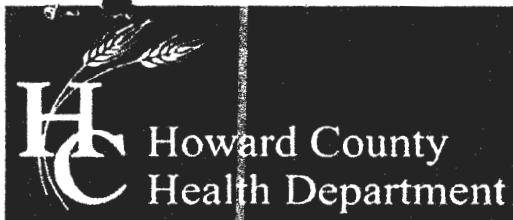
NO. 91624

Five hundred and no/100 Dollars

\$ 500.00

Received By

Kemp



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045
Main: 410-313-2640 | Fax: 410-313-2648
TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
Facebook: www.facebook.com/hocohealth
Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

APPLICATION
FOR PERCOLATION TESTING AND SITE EVALUATION

PROPERTY LOCATION

SUBDIVISION/PROPERTY NAME Weinberg Residence

PROPERTY ADDRESS 6655 Mink Hollow Road, Highland, Md. 20777
STREET TOWN ZIP

TAX ACCOUNT # 05-355559 TAX MAP 34 GRID 21 PARCEL 283 LOT NO. PROPOSED LOT SIZE (ACRES)

ZONING CATEGORY TIER

PROPERTY OWNER(S) Andrew Weinberg

DAYTIME PHONE 800-783-4789 CELL 301-370-4742 EMAIL tacont@comcast.net

MAILING ADDRESS 6655 Mink Hollow Road, Highland, Md. 20777
STREET CITY, STATE ZIP

APPLICANT (OWNER) RELATIONSHIP TO OWNER:

DAYTIME PHONE CELL EMAIL

MAILING ADDRESS STREET CITY, STATE ZIP

I HEREBY APPLY FOR THE NECESSARY TESTING/EVALUATION PRIOR TO ISSUANCE OF SEWAGE DISPOSAL SYSTEM PERMIT(S):

PROPERTY:

- SUBDIVISION: NUMBER OF LOTS INCLUDING RESIDUE: SUBDIVISION CLASSIFICATION (PER DEPT. OF PLANNING AND ZONING) MAJOR MINOR
CONSTRUCT NEW OSDS ON UNDEVELOPED LOT
REPAIR OR REPLACE FAILING OSDS
UPGRADE EXISTING OSDS

BUILDING:

- RESIDENTIAL WITH 6 EXISTING OR PROPOSED BEDROOMS IN THE COMPLETED STRUCTURE
COMMERCIAL (PROVIDE DETAIL OF TYPE OF USE AND NUMBERS OF EMPLOYEES/CUSTOMERS ON ACCOMPANYING PLAN)

IS THE PROPERTY WITHIN 2500 FEET OF ANY RESERVOIR?

- YES
NO

AS APPLICANT, I UNDERSTAND THE FOLLOWING:

- THIS APPLICATION IS VALID FOR TWO(2) YEARS FROM DATE OF FEE PAYMENT AND APPROVAL IS BASED UPON HEALTH OFFICER SIGNATURE OF A PERC CERTIFICATION PLAN PRIOR TO EXPIRATION OF THIS PERMIT.
THE APPLICATION FEE IS NON-REFUNDABLE
THIS APPLICATION MUST BE ACCOMPANIED BY ALL APPLICABLE FEES AND A SUITABLE SITE PLAN IN ORDER TO BE PROCESSED
THIS IS A PUBLIC DOCUMENT

I declare and affirm that to the best of my knowledge, the information contained herein is correct. I declare that I am the owner of the property or duly authorized to make this application on behalf of the owner. I agree to comply with all applicable state and county regulations.

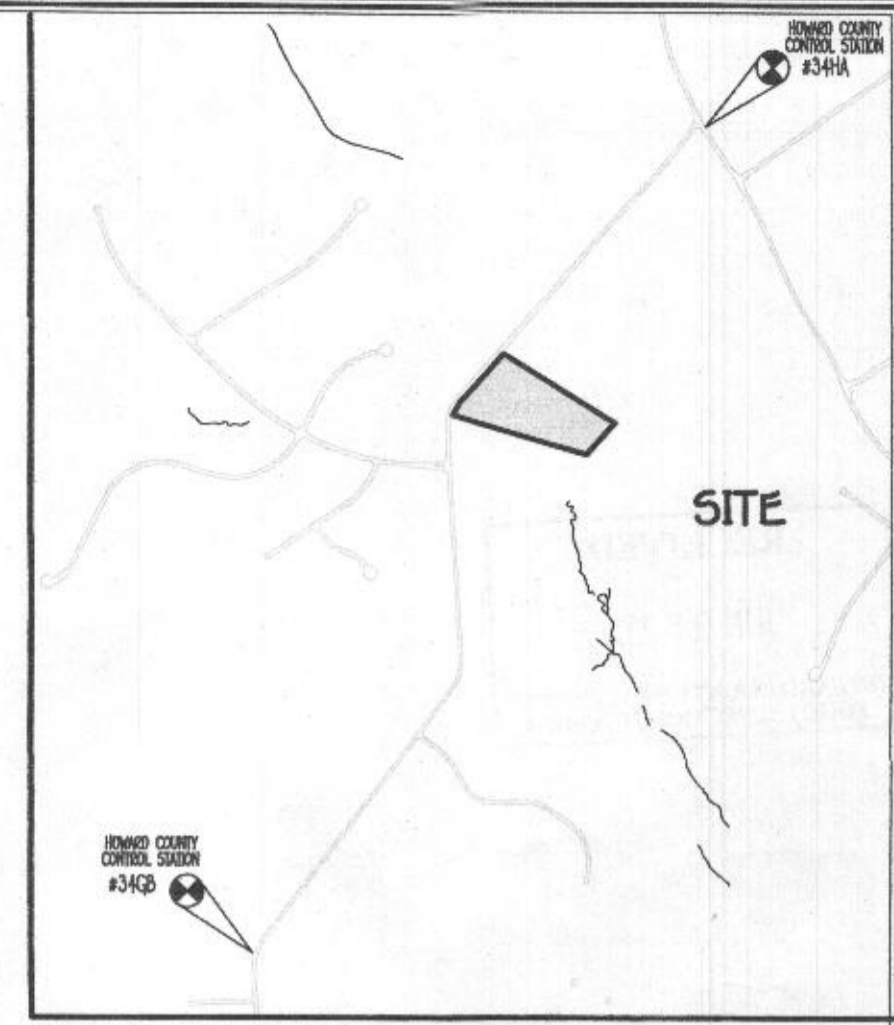
By signature of this application, I hereby grant Howard County Health Department officials the right to enter onto the property for the purpose of inspecting the property as directly related to the requested permit/service.

[Handwritten Signature]

9/22/17

SIGNATURE OF APPLICANT

DATE



ADC Map Page 18 Grid F-3 & F-4

**LEGEND**

- SEWAGE DISPOSAL AREA
- INITIAL TRENCH SYSTEM = 360 LF
- REPLACEMENT TRENCH = 360 LF
- DENOTES FAILED PERC
- DENOTES PASSED PERC
- DENOTES PROPOSED PERC (TBR)

NOTE: THE ONLY PORTION OF THIS DRAWING PREPARED BY NIT ASSOCIATES, INC. WAS THE LOCATION OF THE EXISTING PERC HOLES.

**PURPOSE NOTE:**  
THE PURPOSE OF THIS PLAN IS TO REVISE THE ALT. WELL SITES.  
See: EDC-165, The Parcel 179015

- GENERAL NOTES:**
- SUBJECT PROPERTY IS ZONED RR-DEO
  - TOTAL AREA OF PROPERTY = 7.516 ACRES.
  - CURRENT OWNERS DEED RECORDED IN LIBER 545B - FOLIO 294.
  - EXISTING TOPOGRAPHY FIELD RUN BY LAVELLE & ASSOCIATES, INC. FEBRUARY 2009. VERTICAL DATUM IS ASSUMED.
  - THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP, WIDTH, AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
  - EXISTING PRIVATE WATER AND PRIVATE SEWER PROPOSED.
  - ZZZZZ THIS AREA DESIGNATES A PRIVATE SEWAGE DISPOSAL AREA OF AT LEAST 10,000 S. F. AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICERS SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A REVISED SEWAGE EASEMENT SHALL NOT BE NECESSARY.
  - ANY CHANGES TO A PRIVATE SEWAGE EASEMENT SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
  - EXISTING WELLS, SEPTIC SYSTEMS, AND SEWAGE DISPOSAL AREAS WITHIN 100' OF THE PROPERTY AND THOSE WELLS WITHIN 200' DOWN GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS OR SEWAGE DISPOSAL AREAS HAVE BEEN SHOWN.
  - AN ADVANCED PRE-TREATMENT SYSTEM, WHICH UTILIZES BEST AVAILABLE TECHNOLOGY TO PERFORM NITROGEN REDUCTION, SHALL BE INSTALLED ON THE SEPTIC SYSTEM LOCATED AT 6655 MINK HOLLOW ROAD AS THE AREA IN THE PROPOSED SOA CAN ACCOMMODATE ONLY THE INITIAL SOAN FIELD AND ONE REPLACEMENT DRAINFIELD. A SUPPLEMENTAL SITE PLAN WITH ALL OF THE NECESSARY DETAILS FOR INSTALLATION OF THE SYSTEM WILL BE REQUIRED PRIOR TO THE RELEASE OF THE BUILDING PERMIT AND THE SEPTIC SYSTEM INSTALLATION PERMIT. IN ADDITION, AN OPERATION AND MAINTENANCE CONTRACT AGREEMENT MUST BE FILED WITH HOWARD COUNTY LAND RECORDS FOR RELEASE OF THE SEPTIC SYSTEM INSTALLATION PERMIT.
  - THE SEPTIC SYSTEM UPGRADE WILL BE COMPLETED AND THE EXISTING SEPTIC TANK PUMPED DRY AND ABANDONED PRIOR TO HEALTH DEPARTMENT FINAL APPROVAL OF THE SEPTIC SYSTEM INSTALLATION PERMIT AND RELEASE OF THE BUILDING PERMIT FOR EXPANSION OF THE RESIDENCE.
  - PERCOLATION TEST FEE -- RECEIPT NUMBER A561544

**SOILS LEGEND**

SYMBOL	NAME / DESCRIPTION	SOIL GROUP
GgB	Glenns Loam, 3 to 8% Slopes	B
MaC	Manor Loam, 8 to 15% Slopes	B
WhB	Wiltshire Silt Loam, 3 to 8% Slopes	C
GmB	Glenville Silt Loam, 3 to 8% Slopes	C

**PREC CERTIFICATION PLAN**  
**6655 MINK HOLLOW ROAD**

ZONING: RR-DEO  
TAX MAP No. 34 GRID No. 21 PARCEL No. 283  
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1"=40' DATE: May 3, 2018  
SHEET 1 OF 1

**PERC CERTIFICATION**  
I certify that the locations shown hereon are based on field locations done under my direct supervision and are correct to the best of my professional knowledge and belief.

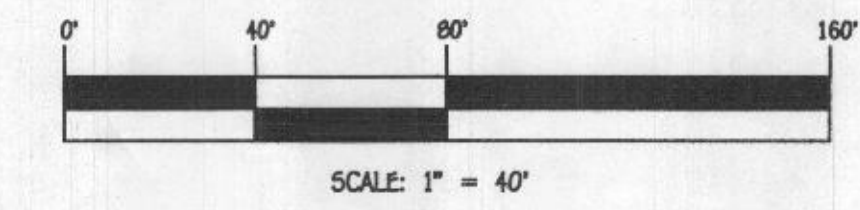
*Terrell A. Fisher*  
Signature of Professional Land Surveyor  
Terrell A. Fisher, Professional Land Surveyor No. 10692 Expires 12/13/17

5/31/18  
Date

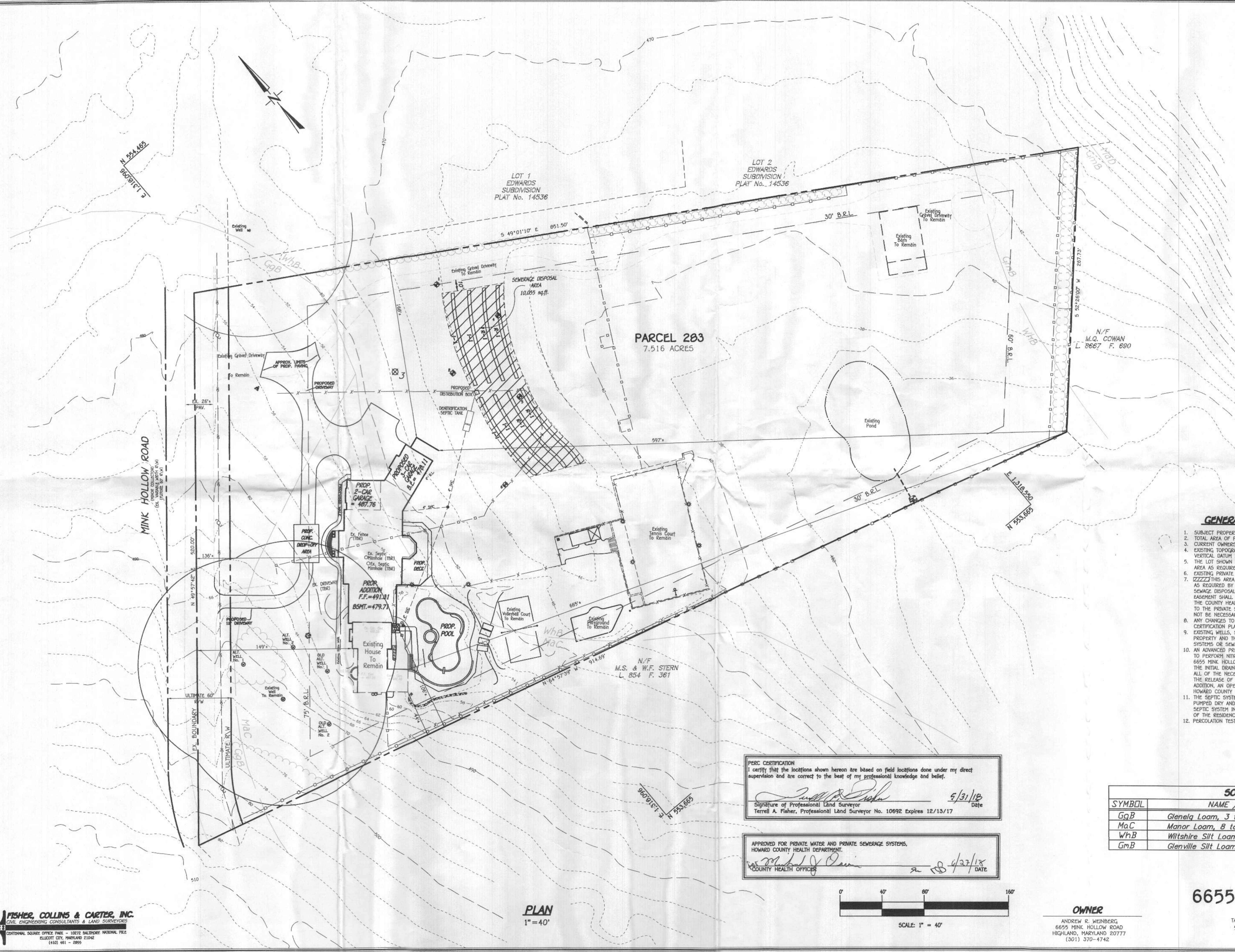
APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT.

*M. J. Davis*  
COUNTY HEALTH OFFICER

4/27/18  
DATE



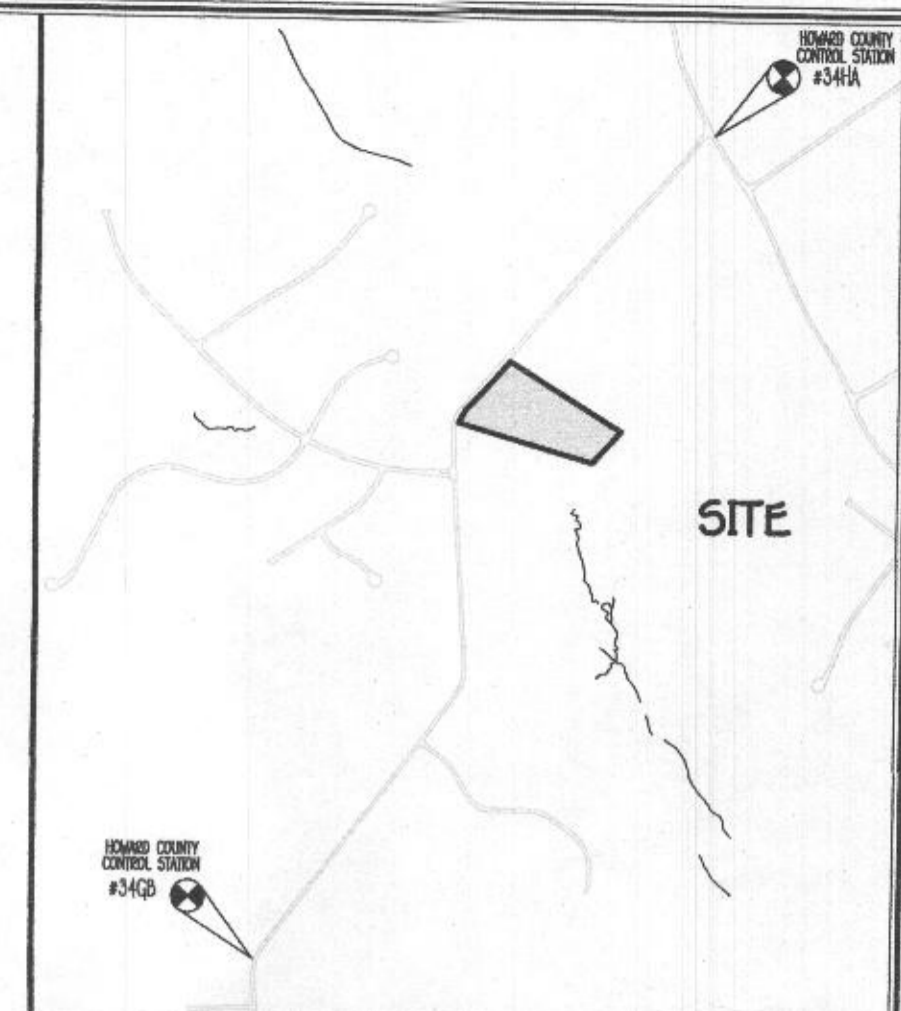
**OWNER**  
ANDREW R. WEINBERG  
6655 MINK HOLLOW ROAD  
HIGHLAND, MARYLAND 20777  
(301) 370-4742



**PLAN**  
1" = 40'

13017117003-Engineering-Dwg-17003 PERC PLAN.dwg, Modif., 5/31/2018 11:06:07 AM, 1:40

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTENNIAL SQUARE OFFICE PARK - 10272 SALTERS INDUSTRIAL PARK  
ELLSWORTH CITY, MARYLAND 21042  
(410) 481-2895



ADC Map Page 18 Qld F-3 & F-4

**LEGEND**

- SEWAGE DISPOSAL AREA
- INITIAL TRENCH SYSTEM = 360 LF
- REPLACEMENT TRENCH = 360 LF
- DENOTES FAILED PERC
- DENOTES PASSED PERC
- DENOTES PROPOSED PERC (TBR)

NOTE: THE ONLY PORTION OF THIS DRAWING PREPARED BY NTT ASSOCIATES, INC. WAS THE LOCATION OF THE EXISTING PERC HOLES.

**PURPOSE NOTE:**  
THE PURPOSE OF THIS PLAN IS TO REVISE THE ALT. WELL SITES FOR FUTURE PROPOSED TANKS.

**GENERAL NOTES:**

1. SUBJECT PROPERTY IS ZONED RR-DEO
2. TOTAL AREA OF PROPERTY = 7.516 ACRES.
3. CURRENT OWNERS DEED RECORDED IN LIBER 5458 ~ FOLIO 294.
4. EXISTING TOPOGRAPHY FIELD RUN BY LAVELLE & ASSOCIATES, INC. FEBRUARY 2009. VERTICAL DATUM IS ASSUMED.
5. THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH, AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
6. EXISTING PRIVATE WATER AND PRIVATE SEWER PROPOSED.
7. THIS AREA DESIGNATES A PRIVATE SEWAGE DISPOSAL AREA OF AT LEAST 10,000 S.F. AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE EASEMENT. RECORDATION OF A REVISED SEWAGE EASEMENT SHALL NOT BE NECESSARY.
8. ANY CHANGES TO A PRIVATE SEWAGE EASEMENT SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
9. EXISTING WELLS, SEPTIC SYSTEMS, AND SEWAGE DISPOSAL AREAS WITHIN 100' OF THE PROPERTY AND THOSE WELLS WITHIN 200' DOWN GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS OR SEWAGE DISPOSAL AREAS HAVE BEEN SHOWN.
10. AN ADVANCED PRE-TREATMENT SYSTEM, WHICH UTILIZES BEST AVAILABLE TECHNOLOGY TO PERFORM NITROGEN REDUCTION, SHALL BE INSTALLED ON THE SEPTIC SYSTEM LOCATED AT 6655 MINK HOLLOW ROAD AS THE AREA IN THE PROPOSED SDA CAN ACCOMMODATE ONLY THE INITIAL DRAIN FIELD AND ONE REPLACEMENT DRAINFIELD. A SUPPLEMENTAL SITE PLAN WITH ALL OF THE NECESSARY DETAILS FOR INSTALLATION OF THE SYSTEM WILL BE REQUIRED PRIOR TO THE RELEASE OF THE BUILDING PERMIT AND THE SEPTIC SYSTEM INSTALLATION PERMIT. IN ADDITION, AN OPERATION AND MAINTENANCE CONTRACT AGREEMENT MUST BE FILED WITH HOWARD COUNTY LAND RECORDS FOR RELEASE OF THE SEPTIC SYSTEM INSTALLATION PERMIT.
11. THE SEPTIC SYSTEM UPGRADE WILL BE COMPLETED AND THE EXISTING SEPTIC TANK PUMPED DRY AND ABANDONED PRIOR TO HEALTH DEPARTMENT FINAL APPROVAL OF THE SEPTIC SYSTEM INSTALLATION PERMIT AND RELEASE OF THE BUILDING PERMIT FOR EXPANSION OF THE RESIDENCE.
12. PERCOLATION TEST FEE -- RECEIPT NUMBER A561544

**SOILS LEGEND**

SYMBOL	NAME / DESCRIPTION	SOIL GROUP
GqB	Glenelg Loam, 3 to 8% Slopes	B
MaC	Manor Loam, 8 to 15% Slopes	B
WhB	Wiltshire Silt Loam, 3 to 8% Slopes	C
GmB	Glenville Silt Loam, 3 to 8% Slopes	C

**PERC CERTIFICATION**  
I certify that the locations shown hereon are based on field locations done under my direct supervision and are correct to the best of my professional knowledge and belief.

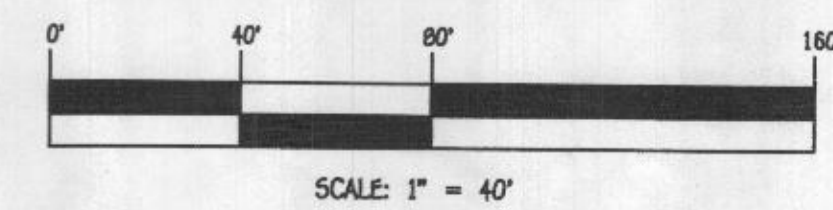
*Terrell A. Fisher*  
Signature of Professional Land Surveyor  
Terrell A. Fisher, Professional Land Surveyor No. 10692 Expires 12/13/17

5/31/18  
Date

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT.

*Terrell A. Fisher*  
Signature of Professional Land Surveyor  
Terrell A. Fisher, Professional Land Surveyor No. 10692 Expires 12/13/17

6/27/18  
DATE



**OWNER**  
ANDREW R. WEINBERG  
6655 MINK HOLLOW ROAD  
HIGHLAND, MARYLAND 20777  
(301) 370-4742

**PREC CERTIFICATION PLAN**  
**6655 MINK HOLLOW ROAD**  
ZONING: RR-DEO  
TAX MAP No. 34 QGD No. 21 PARCEL No. 2B3  
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND  
SCALE: 1"=40' DATE: May 31, 2018  
SHEET 1 OF 1

**PLAN**  
1" = 40'

**FISHER, COLLINS & CARTER, INC.**  
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS  
CENTRAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE  
ELLSWORTH CITY, MARYLAND 21142  
(410) 461-2995

E:\30171\17033\Engineering\Drawings\17033 PERC PLAN.dwg, Model: 5/31/2018 11:06:07 AM, 140