

SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

ALL BATHROOMS TO HAVE TALL VANITIES

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 LANCASTER, PENNSYLVANIA 17601
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KEYSTONE CUSTOM HOMES, INC.

ALL EXTERIOR WALLS ARE WEN CONT. STRUCTURAL SHEATHING (MTC) #3 PER 17.1.02

CHSUMBOARD, TWO HEADS 2x3 INTERIOR WALL INTERIOR HALL WALL FRAMING POST

SECOND FLOOR PLAN
 SCALE 3/8" = 1'-0"



Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 20254, Expiration Date: 12-12-2022

SHEET DESCRIPTION	SECOND FLOOR PLAN
PROJECT	MR&012
DATE	CARTER / SILAW
DATE	APR 26 2021
SCALE	AS NOTED
DESIGNER	C.FOX
SHEET NO.	P11
PLAN NO.	anh10

GEN. KITCHEN NOTES:

NON-VENTED HOOD-FRAMING DIMENSION FROM SUBFLOOR TO UNDERSIDE OF CABINET TO RANGE IS 5'-10" (30"X14" H. CABINETS) 6'-0" (42"X24" H. CABINETS)

FRAMING DIMENSIONS UNLESS OTHERWISE NOTED

ALL COUNTERTOP RECEPTACLES ARE GFI PROTECTED

TYPICAL WINDOW CASING REQUIRED, DO NOT USE WIDER TRIM OPTION ON WINDOW

GARDEN PKG INCL:

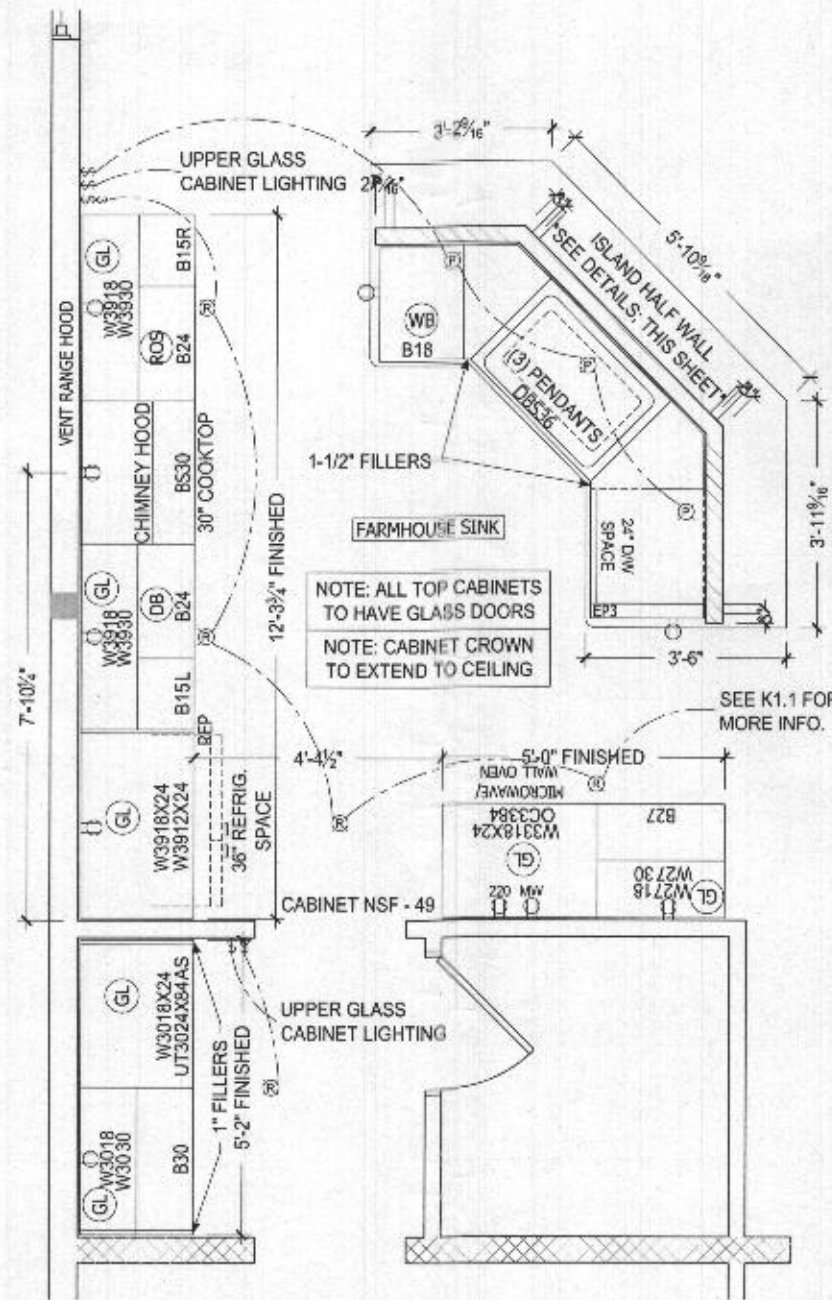
Tahoe Maple Cabinet Style - May Upgrade Separately
Small / Angled Crown Molding
Door Trays
** Drawer Bank (Max. Drawer Bank Size =24" Larger Base Cabinets Will be Split)
**Upper Glass Wall Cabinets w/ Lighting
Installed Ice Maker Line
** Installed Recessed Light Package w/ White Trim Kits
Level 30 Kitchen Sink
Kitchen Faucet Upgrade
Level 140 Gourmet & Garden Kitchen Package Appliance Upgrade (incl: Gas Cooktop, Single Electric Wall Oven, Built-In Microwave in Oven Cabinet, Vented Range Hood, Dishwasher)
**Roll-Out Shelves
**Linen Range Base Cabinet for Under Cooktop
**Oven Cabinet for Wall Oven/Microwave
**Waste Basket Rollout Cabinet
**Specially Kitchen Window
** Utility Cabinet with Fixed Shelf Kit
**24" Deep Refrigerator Wall Cabinet. May Include Refrigerator End Panel(s) (REP)
** THESE INCLUSIONS VARY PER HOUSE DESIGN. PLEASE SEE PLAN FOR SPECIFIC INFORMATION REGARDING SIZE AND LOCATION.

NOTE COMPARED TO STANDARD KITCHEN. MANY INCLUSIONS REPLACE EXISTING CABINETS AND ARE NOT ADDITIONS.

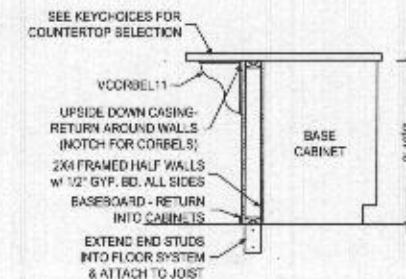
KITCHEN SYMBOL LEGEND:

ON THE CABINET LAYOUT, ITEMS SHOWN BELOW IN CIRCLES ARE INCLUDED WITH THE PACKAGE. ITEMS SHOWN BELOW IN TRIANGLES ARE PRE-DESIGNED LOCATIONS IF THE CLIENT CHOOSES THE OPTION SEPARATELY. AVAILABLE IT* AND INCLUSIONS VARY PER PLAN/KITCHEN PACKAGE

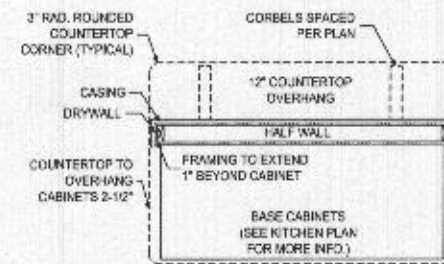
DB	Drawer Bank
GL	Glass Doors
SS	Slide Out Shelf
WB	Waste Basket
MW	Microwave (All location w/ wall mount hood)
UC LIGHT	Under Cab. Light



GARDEN KITCHEN LAYOUT SCALE 1/8" = 1'-0"



ISLAND SECTION



PLAN VIEW

KITCHEN ISLAND w/HALF WALL SCALE: 1/8" = 1'-0"



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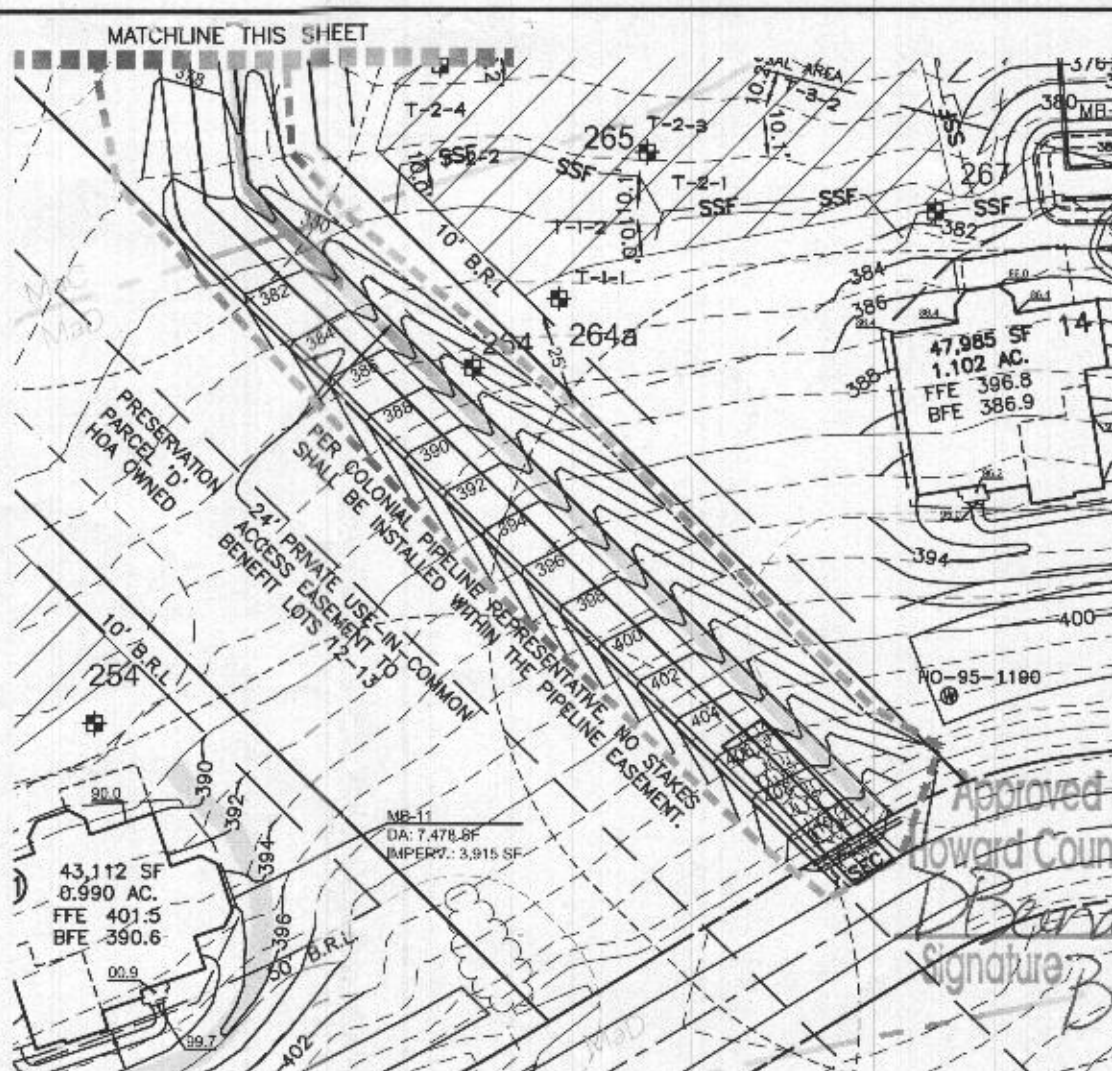
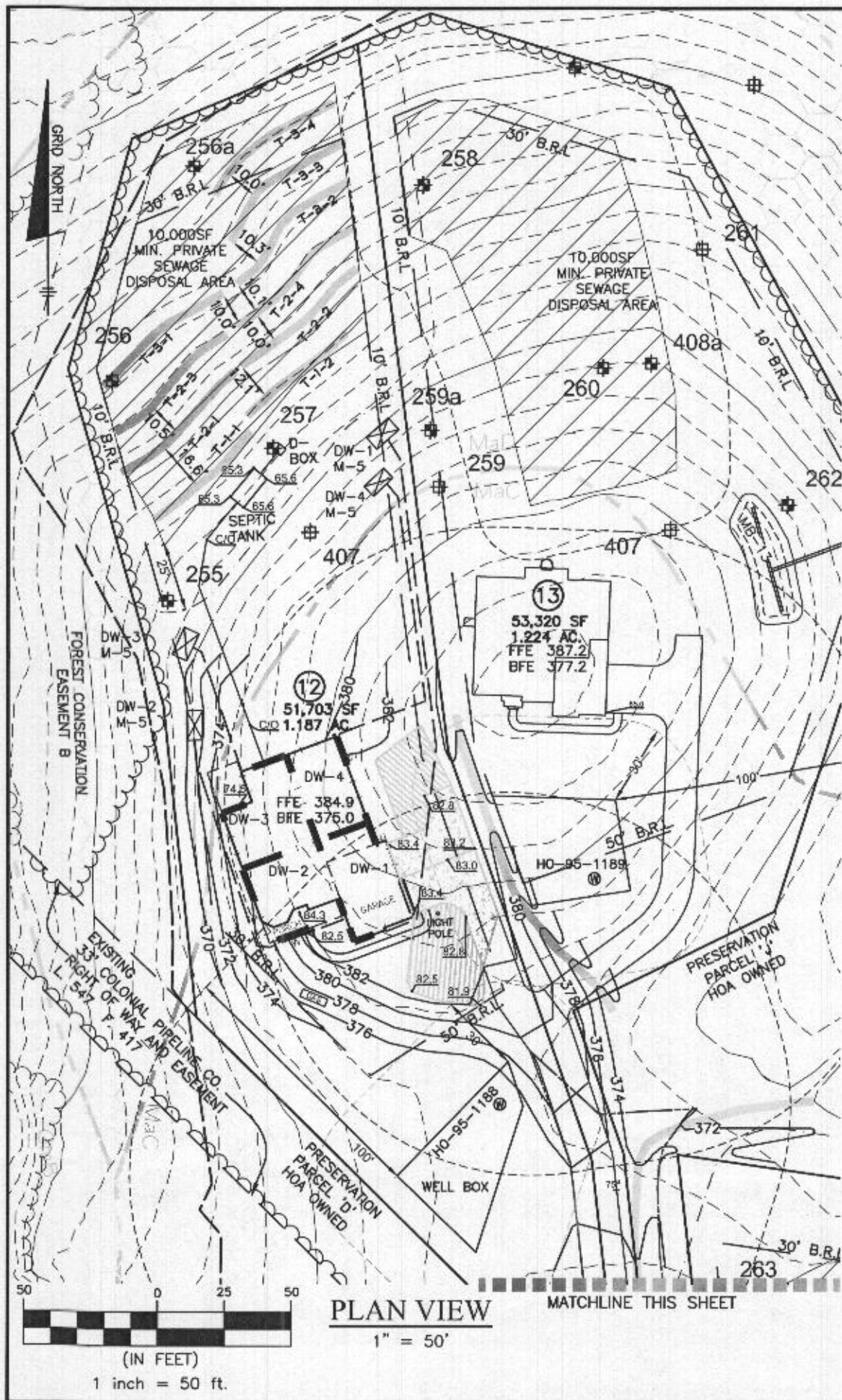
KEYSTONE CUSTOM HOMES, INC.

KITCHEN
MIRs012
CARTER, J.SIAW

DATE: APR 26 2021
SCALE: AS NOTED
DRAWN: C.FOX

1-20110
K1.3
an h 10

BS1004018



GENERAL NOTES

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR THE MYRTUE PROPERTY, PLAT No. 23868. REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
2. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER GP-22-035.
3. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM THE APPROVED ROAD CONSTRUCTION PLANS F-06-104, PREPARED BY DAFT, McCUNE WALKER, INC. SEPT. 2007 AND REVISED BY BENCHMARK ENGINEERING, INC., DEC. 2015.
4. ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
5. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED ROAD CONSTRUCTION PLANS EXCEPT AS WAIVED.
6. THE EXISTING WELL SHOWN ON THIS PLAN, HO-98-1188, HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC., AND IS ACCURATELY SHOWN.
7. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
8. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
9. STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED BY FOUR DRYWELLS (MDE M-5), DRIVEWAY DISCONNECTION (N-2), PRIVATELY OWNED AND MAINTAINED.
10. THE STORMWATER MANAGEMENT FOR THE USE IN COMMON DRIVEWAY IS TREATED IN AN EXISTING HOA OWNED AND MAINTAINED MICRO-BIORETENTION FACILITY (MDE M-6).

Approved Septic System Plan
 Howard County Health Department
Signature 11-8-21
 Date

OWNER/BUILDER:
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 SUITE 100
 LANCASTER, PA 17601
 717-464-9060

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AAM-BEI

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LEGEND

- 400 PROPOSED CONTOURS
- 398 EXISTING CONTOURS
- 400 EXISTING CONTOURS
- EXISTING PRIVATE SEWAGE DISPOSAL AREA
- WELL BOX
- EXISTING WELL BOX
- PROPOSED TREELINE
- EXISTING TREELINE
- SOILS MAP SYMBOL
- SOILS DELINEATION LINE
- PERC TEST PASSED
- PERC TEST FAILED
- PAVEMENT DISCONNECTION AND RECEIVING

BUILDER'S DATA

- FINISHED FLOOR: 384.9
- BASEMENT FLOOR: 375.0
- TOP OF WALL: 383.7
- BASEMENT SUBGRADE: 374.1
- GARAGE FLOOR: 383.7
- GARAGE LIP: 383.4
- SEWER OUT, BELOW FOUNDATION
- FINISHED GARAGE FLOOR IS LEVEL WITH TOP OF THE REAR FOUNDATION WALL

BENCHMARK
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 WWW.BEI-CIVILENGINEERING.COM

PROJECT:		MYRTUE PROPERTY LOT 12	
LOCATION:		TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1847 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352447	
TITLE:		BUILDING PERMIT PLAN	
HOUSE TYPE:		CUSTOM - KEYSTONE HOMES	
DATE:	AUGUST, 2021	PROJECT NO.	2099
SCALE:	AS SHOWN	DRAWING	1 OF 2

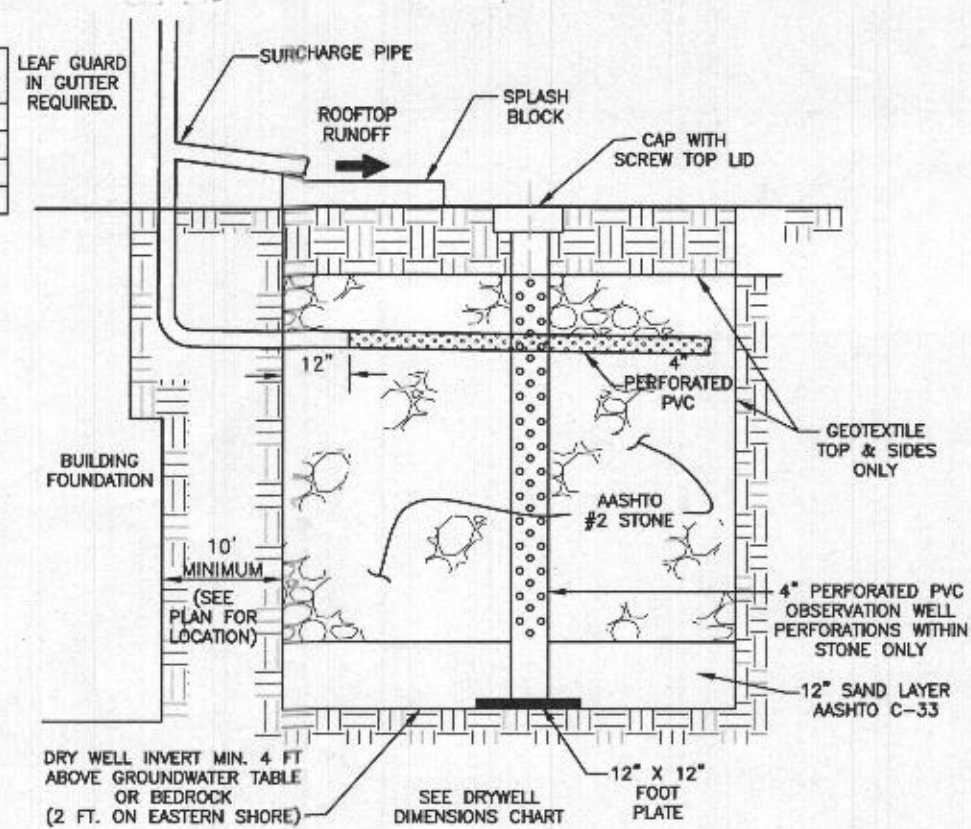
(M-5) DRY WELL COMPUTATIONS

Lot 12											
Designation	Drainage Area	Impervious Area	I (%)	Rv	ESDv (cf)	Depth (ft)	Porosity	Length (ft)	Width (ft)	Volume Stored	Pe Treated
DW-1	920	920	100%	0.950	131	5.0	0.40	11	6	132	1.81
DW-2	875	875	100%	0.950	125	5.0	0.40	11	6	132	1.91
DW-3	872	872	100%	0.950	124	5.0	0.40	11	6	132	1.91
DW-4	690	690	100%	0.950	98	5.0	0.40	10	5	100	1.83
Totals:					478					496	

Drywell Designation	Length (ft)	Width (ft)	Depth (ft)	Grade	Top of Stone	Bottom of Stone
DW-1	11.00	6.00	5.00	370.0	369.0	364.0
DW-2	11.00	6.00	5.00	438.2	369.2	364.2
DW-3	11.00	6.00	5.00	436.2	368.2	363.2
DW-4	10.00	5.00	5.00	373.0	372.0	367.0

OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED (M-5) DRY WELLS

- The monitoring wells and structures shall be inspected on a quarterly basis and after every large storm event.
- Water levels and sediment build up in the monitoring wells shall be recorded over a period of several days to insure trench drainage.
- A log book shall be maintained to determine the rate at which the facility drains.
- When the facility becomes clogged so that it does not drain down within the 72 hour time period, corrective action shall be taken.
- The maintenance log book shall be available to Howard County for inspection to insure compliance with operation and maintenance criteria.
- Once the performance characteristics of the infiltration facility have been verified, the monitoring schedule can be reduced to an annual basis unless the performance data indicates that a more frequent schedule is required.



DRY WELL DETAIL

NOT TO SCALE

OWNER/BUILDER:

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717-464-9060

BENCHMARK

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AAM-BEI

2021.09.14 12:07:02 -04'00

MATERIALS & SPECIFICATIONS FOR MICRO-BIORETENTION

MATERIAL	SPECIFICATION	SIZE	NOTES:
PLANTINGS	SEE APPENDIX A; TABLE A.4	N/A	PLANTINGS ARE SITE SPECIFIC
PLANTING SOIL (2.0' TO 4.0' DEEP)	LOAMY SAND 60-65% COMPOST 35-40% OR SANDY LOAM 30% COARSE SAND 30% & COMPOST 40%	N/A	USDA SOIL TYPES: LOAMY SAND OR SANDY LOAM; CLAY CONTENT <5%
ORGANIC CONTENT	MIN 10% BY DRY WEIGHT ASTM D 2974		
MULCH	SHREDDED HARDWOOD	N/A	AGED 6 MONTHS, MINIMUM, NO PINE OR WOOD CHIPS
GEOTEXTILE (CLASS "C")		N/A	PE TYPE 1 NONWOVEN
GEOTEXTILE (1/4" WIRE MESH)		1/4" WIRE MESH	1/4" WIRE MESH
UNDERDRAIN GRAVEL	AASHTO M-43	NO. 57 OR NO. 6 0.375" TO 0.750"	
UNDERDRAIN PIPING	F758, TYPE PS28 OR AASHTO M-278	4" TO 6" RIGID SCH.40 PVC, SDR35 OR HDPE	3/8" PERF. @ 6" O/C, 4 HOLES PER ROW; MINIMUM OF 3" OF GRAVEL OVER PIPES, NOT NECESSARY UNDERNEATH PIPES. PIPE SHALL BE WRAPPED WITH 1/4-INCH GALVANIZED HARDWARE CLOTH
IMPERVIOUS LINER	ASTM-D-4833 (THICKNESS) ASTM-D-412 (TENSILE STRENGTH 1,100 LB., ELONGATION 200%) ASTM-D-624 (TEAR RESISTANCE - 150 LB./IN) ASTM-D-471 (WATER ADSORPTION: +8 TO -2% MASS)	30 MIL THICK	LINER TO BE ULTRAVIOLET RESISTANT. A GEOTEXTILE FABRIC SHOULD BE USED TO PROTECT THE LINER FROM PUNCTURE.
GEOTEXTILE (BELOW IMPERV. LINER)	ASTM-D-4833 (PUNCTURE STRENGTH 125LB) ASTM-D-4632 (TENSILE STRENGTH 300 LB.)		

(N-2) Disconnection of Non-Rooftop Runoff

Target PE:	1.0	
Total DA:	2699 SF	
Impervious:	1220 SF	
Area of Filter Strip:	1479 SF	ok
Rv:	0.46	
Pe Reduction for Non-Rooftop Disconnection		
Length of contributing area:	0 feet	
Length of impervious area:	21 feet	
Length of filter strip:	33 feet	
MAX. all imp. treated	1 /1 Impervious ratio	
MAX. all imp. treated	1 /1 Pervious ratio	
Reduction to Target Pe	1.0 inches	
Remaining obligation:	0.0 inches	
ESDv Required:	103	
ESDv Provided:	103	

PROJECT: **MYRTUE PROPERTY LOT 12**

LOCATION: TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO
1847 DAVIS BRANCH RD. WOODSTOCK, MD 21163
6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352447

TITLE: **BUILDING PERMIT PLAN**

HOUSE TYPE: **CUSTOM - KEYSTONE HOMES**

DATE: **AUGUST, 2021** PROJECT NO. **2099**

SCALE: **AS SHOWN** DRAWING **2** OF **2**

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*5-Bedroom residence
w/ Powder Room in
part-finished basement*



FRONT ELEVATION
SCALE 1/4" = 1'-0"

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KEYSTONE CUSTOM HOMES, INC.

FRONT ELEVATION	MR-012
CARTER / SHAW	
DATE: APR 25 2021	
SCALE: AS NOTED	
DRAWN BY: C. FOX	
SHEET NO: A1.0	
DATE: a n h 10	

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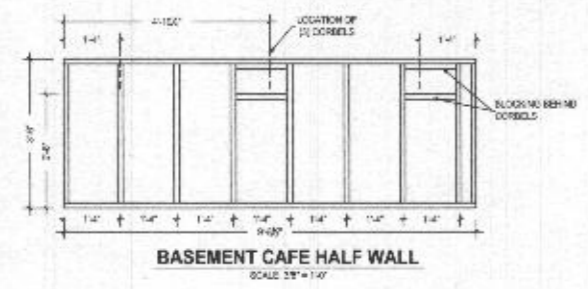


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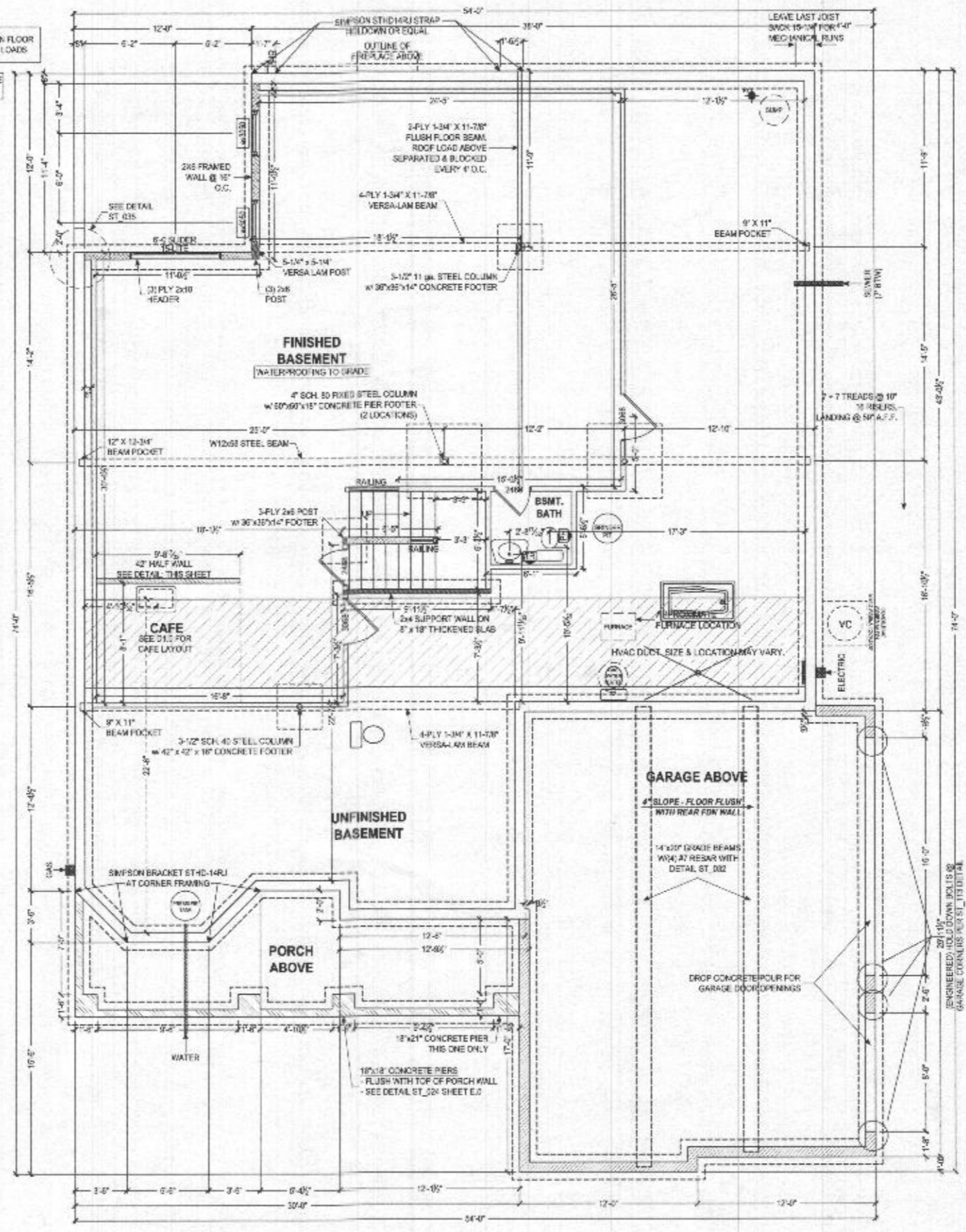
PROJECT NO. 1700
FOUNDATION PLAN
DATE: MRS012
DRAWN BY: CARTER / SILAW

DATE: APR 26 2021
SCALE: AS NOTED
DRAWN BY: C.FOX

PROJECT NO. 1700
FOUNDATION PLAN
DATE: MRS012
DRAWN BY: CARTER / SILAW
SCALE: 1/8" = 1'-0"



SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS
7"x20" CONTINUOUS CONCRETE FOOTER @ 2500 P.S.I.
"ALL BATH ROOMS TO HAVE TALL VANITIES"



FOUNDATION PLAN
SCALE: 1/8" = 1'-0"

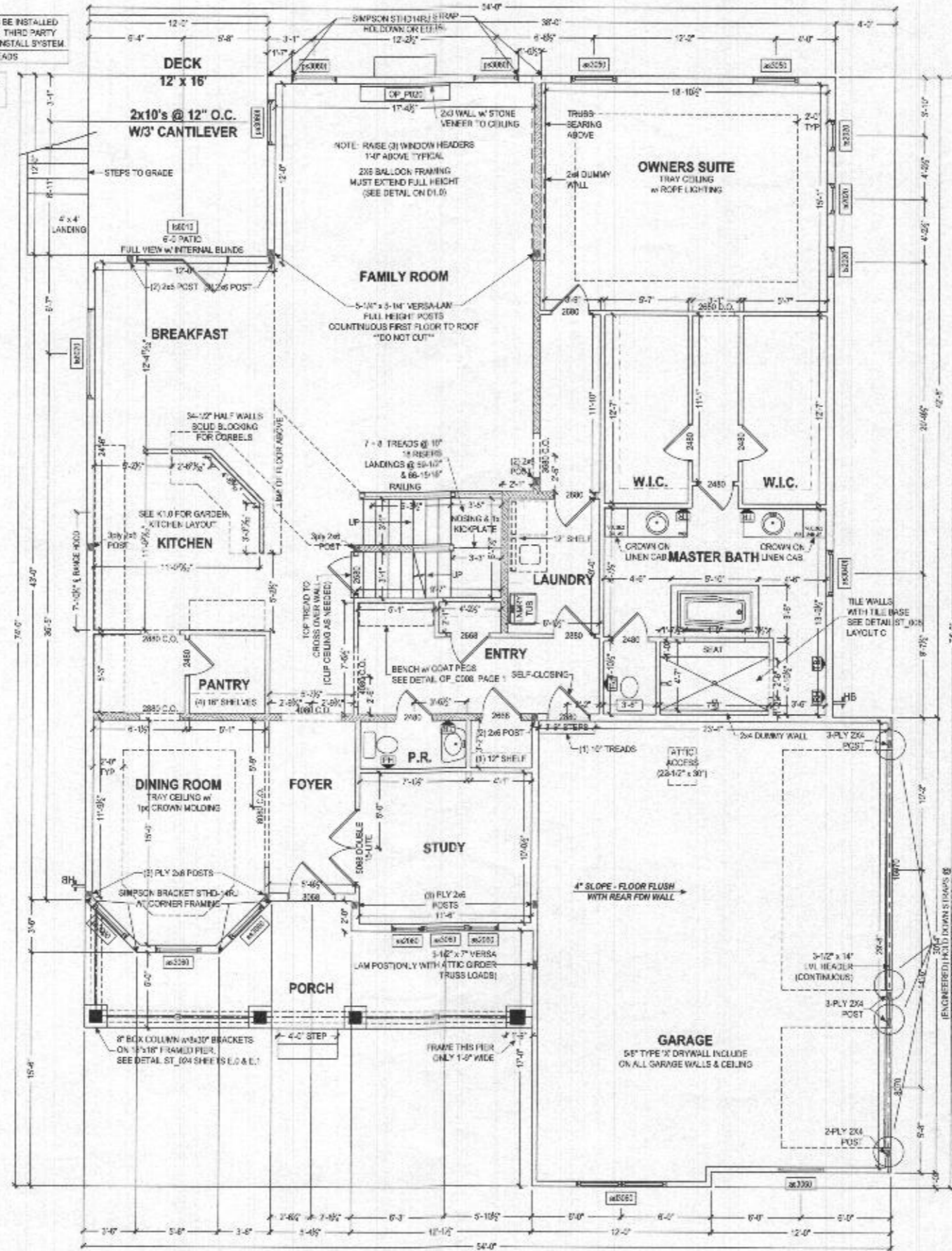
4" THICK POLISHED CONCRETE WALLS
5/8" HIGH WALK HEARS BATHROOM WALLS STANDARD
6" THICK POLISHED CONCRETE WALLS
C-DECK FLOOR WALL HEIGHT OF CHANG. SPACE AND GARAGE WALLS
6" THICK POLISHED CONCRETE WALLS
C-DECK FLOOR WALL HEIGHT OF FRONT PORCH WALLS

NOTE TO CONTRACTOR:
LOCATIONS SHOWN FOR HVAC PLUMBING AND OTHER MECHANICAL ITEMS WILL BE USED IF POSSIBLE. ACTUAL PLACEMENT OF FURNACE, WATER HEATER, SUMP PUMP, ETC. MAY VARY DUE TO UNUSUAL SITE REQUIREMENTS.

RESIDENTIAL SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH THE 2018 IRC. THIRD PARTY AGENCY TO PROVIDE DRAWINGS AND INSTALL SYSTEM. CONCEALED SPRINKLER HEADS.

SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS.

ALL BATHROOMS TO HAVE TALL VANITIES



FIRST FLOOR PLAN
SCALE: 3/8\"/>

ALL EXTERIOR WALLS ARE 16\"/>

SWAY-BRACED WALLS: 2x6 INTERIOR WALL, INTERIOR HALF WALL, FRAMING POST

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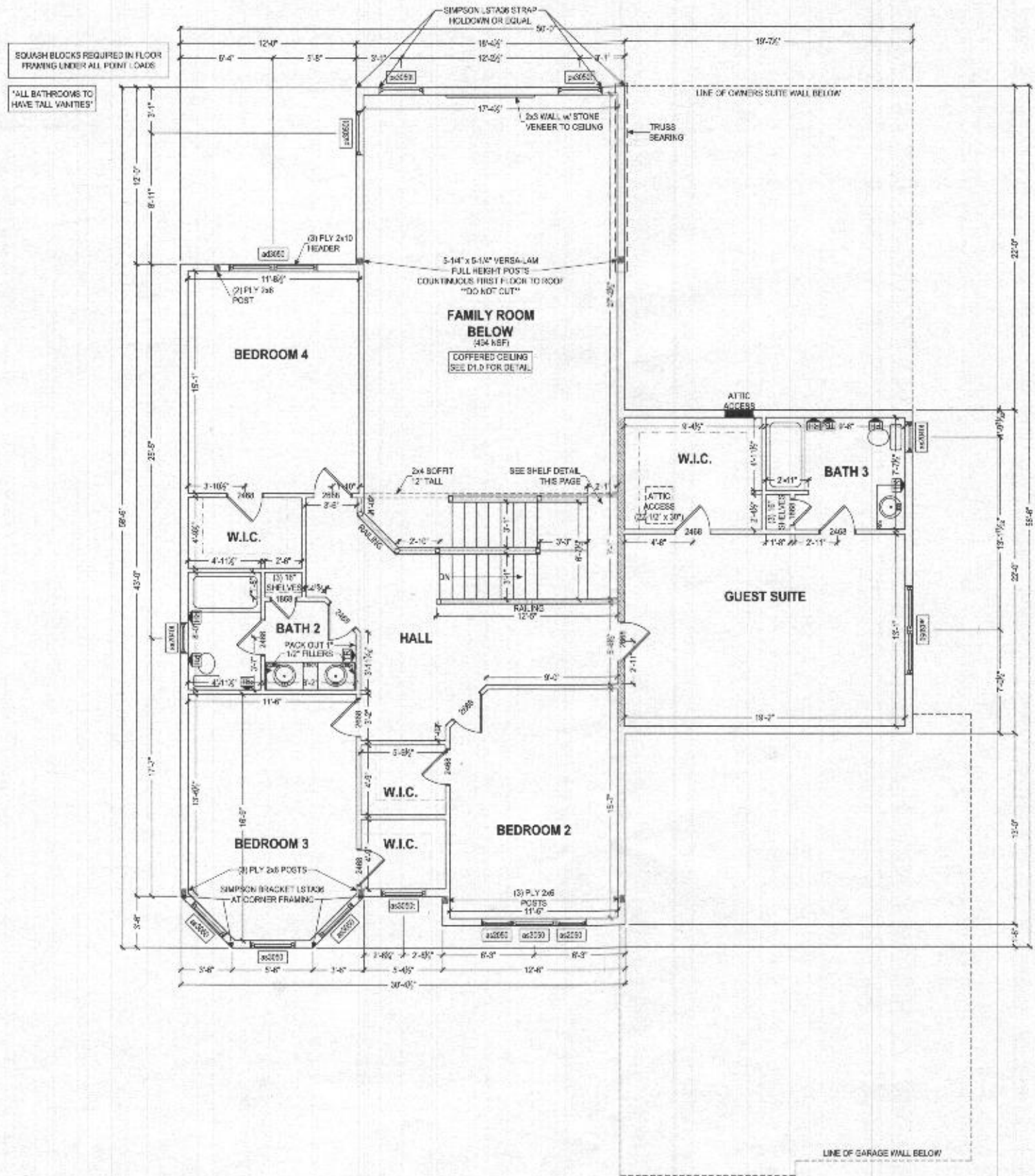


KEYSTONE CUSTOM HOMES, INC.

PROJECT NO: MR-012
OWNER: CARTER / SILAW

DATE: APR 28 2021
SCALE: AS NOTED
DRAWN BY: C. COX

SHEET NO: P1.0
PAGE: 10 OF 10



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KEYSTONE CUSTOM HOMES, INC.

PROJECT NO.	MR-012
DESIGNER	CARTER / SHAW
DATE	APR 28 2021
SCALE	AS NOTED
DRAWN BY	C.FOX
CHECKED BY	P.I.
DATE	anh 10

ALL EXTERIOR WALLS ARE 1625 COND. STRUCTURAL SHEATHING - 1/2" GYPSUM BOARD PER ST. 110
 CHASE BOARD, 1/2" GYPSUM BOARD
 METRIC: POST, 110 2x6 INTERIOR WALL INTERIOR HALF WALL FRAMING POST

SECOND FLOOR PLAN
 SCALE: 3/8" = 1'-0"