

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B22002627	07/11/2022
Description of Work		
SFD/ INSTALL (1) 1000 UNDERGROUND PROPANE TANK		

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
1847	DAVIS BRANCH	RD
Unit Type	Unit #	X Coordinate
--Select--		-76.87066
		Y Coordinate
		39.32013
City	State	Zip Code
WOODSTOCK	MD	21163
	Primary	
	Yes	

Approved 7/13/22
AJJ

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
926384	225,287	1.18	198000	0	0	RURAL
Legal Description						
LOT 12 1.187 A[]1847 DAVIS BRANCH ROAD[]MYRTUE PROPERTY INCL RSB						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	12	603000	5	6			
Plan Area	State Tax Id	Subdivision Name					
	1403352447	Myrtue Property					
Section	Area	Tax Map					
		11					
Grid	Zoning District	ADC Map					
11-19	RC-DEO	4695-A9					
SDP No.	Final Plan No.	WP File No.					
	F-06-104						
Record Plat No.	WS Contract No.	FDP No.	Primary				
19961-1996			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input checked="" type="radio"/> Yes <input type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	3-02A	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner * (This section is required.)

Search Reset Clear

Name *

CARTER DAVID MICHAEL

Address Line 1

1664 PREAKNESS DR

Address Line 2

Address Line 3

Mail City	Mail State	Mail Zip Code
GAMBRILLS	MD	21054
Phone	Primary	
703-587-5362	Yes	
E-mail		

Cell Number Fax Number

Professionals (This section is not required.)

Search Reset Clear

License # *	Business Name		
20100100429	DIXIE LAND ENERGY LLC		
License Type *	First Name	Middle Name	Last Name
Propane Gs	BASIL	STEPHEN	PERRY
Primary	Address Line 1		
Yes	281 EAST MAIN STREET		
	Address Line 2		
	City	State	ZIP Code
	RISING SUN	MD	21911
	Phone 1	Phone 2	Fax
	4434144940		
	E-mail		

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type *	First Name	MI	Last Name
Applicant	LouAnn		Nickle
Relationship	Full Name		
Applicant	LouAnn Nickle		
Primary	Organization Name		
Yes	Dixie Land Energy LLC		
	Street Address		
	281 E MAIN ST		
	Address Line 2		
	City	State	Zip Code
	RISING SUN	MD	21911
	Phone	Cell	Fax
	888-517-3680		
	E-mail *		
	lnickle@dixielandenergy.com		

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
5500	0	0	No
Construction Type			
--Select--			

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

Capital Project-No Fee *	Capital Project Number	Fee Exempt *	Roadside Tree Project Permit *	Roadside Tree Permit #
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Existing Use *	Number of Tanks Installed *	Number of Tanks Removed *		
Multi Family	1	0		
Water Supply	Sewage Disposal	Expiration Date	Relocate Existing Tank *	
Private	Private	1/8/2023	0	

PAYMENT INFORMATION

Check 1	Payee 1	Check 2	Payee 2	SAP Doc No	SAP Entered

Submit Cancel

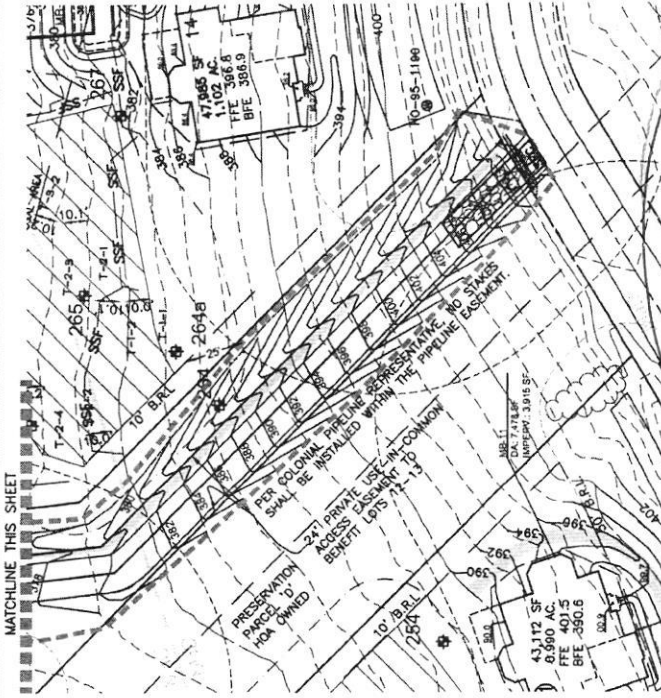
1847 Davis Branch Rd
Woodstock, MD 21163

GENERAL NOTES

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR THE ABOVE PROPERTY, PLAT NO. 25868, REFER TO THE PLAT FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
2. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER GP-22-035. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM THE APPROVED ROAD CONSTRUCTION PLANS F-06-104, PREPARED BY DMT, BENCHMARK ENGINEERING, INC., DEC. 2011.
3. ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
4. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED SHALL BE INSTALLED IN ACCORDANCE WITH THE APPROVED ROAD CONSTRUCTION PLANS, EXCEPT AS NOTED.
5. THE EXISTING WELL SHOWN ON THIS PLAN, HO-98-1188, HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING, INC., AND IS ACCURATELY SHOWN.
6. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
7. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
8. STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED BY FOUR DRYWELLS (MIDE M-5), DRIVEWAY DISCONNECTION (M-2), THE STORMWATER MANAGEMENT FOR THE USE IN COMMON DRIVEWAY IS TREATED IN AN EXISTING HOA OWNED AND MAINTAINED MICRO-BIOTRETENTION FACILITY (MIDE M-6).

OWNER/BUILDER:
KEYSTONE CUSTOM HOMES, INC.
227 GRANITE RUN DR.
SUITE 100
LANCASTER, PA 17601
717-464-8060

Professional Certificate: I hereby certify that these drawings were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01-01-2023.



Approved for LP tank
B22002627
RAT 7/13/22

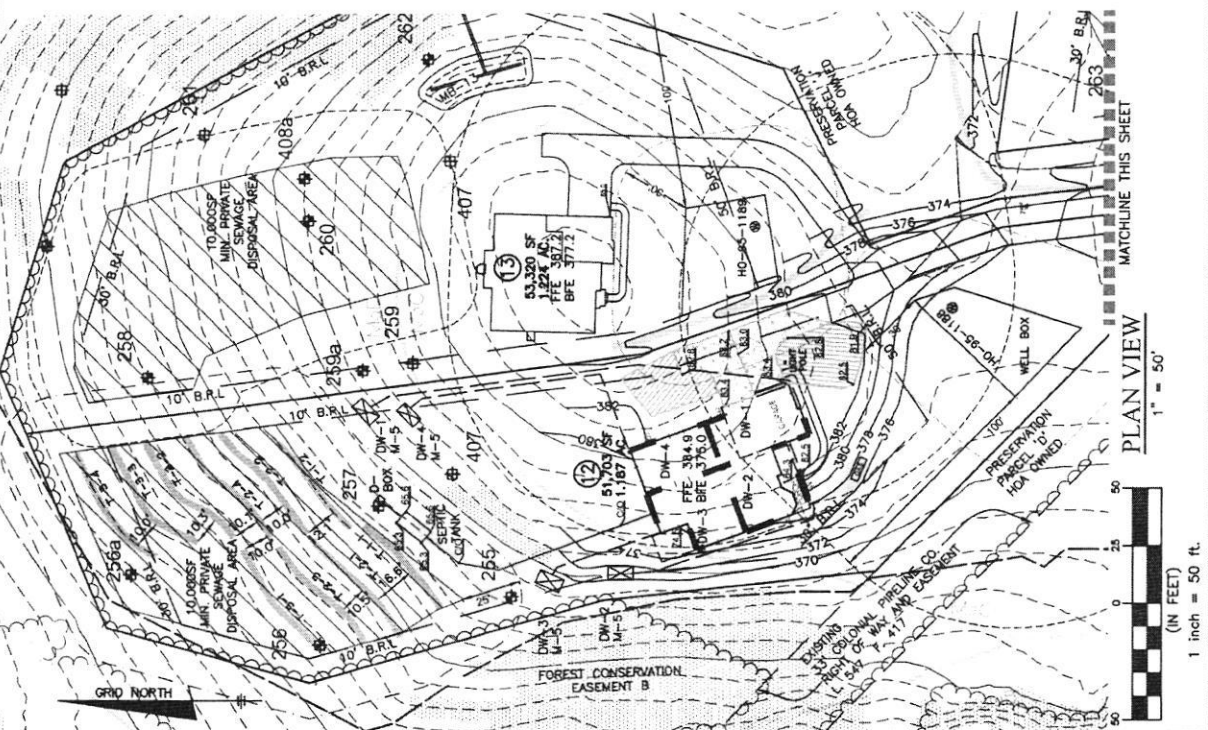
LEGEND

- PROPOSED CONTOURS (400, 398, 396, 394, 392, 390, 388, 386, 384, 382, 380, 378, 376, 374, 372, 370, 368, 366, 364, 362, 360, 358, 356, 354, 352, 350, 348, 346, 344, 342, 340, 338, 336, 334, 332, 330, 328, 326, 324, 322, 320, 318, 316, 314, 312, 310, 308, 306, 304, 302, 300)
- EXISTING CONTOURS
- EXISTING PRIVATE SEWAGE DISPOSAL AREA
- EXISTING WELL/BOX
- PROPOSED TREATMENT FACILITY
- EXISTING TREATMENT FACILITY
- SOILS IMP SYMBOL
- SOILS DELINEATION LINE
- PERC TEST PASSED
- PERC TEST FAILED
- PAVEMENT DISCONNECTION AND RECEIVING

BUILDER'S DATA
FINISHED FLOOR: 384.9
BASEMENT FLOOR: 375.0
TOP OF WALL: 383.7
BASEMENT SUBGRADE: 374.1
GARAGE FLOOR: 363.7
GARAGE LIP: 363.4
SEWER OUMT. BELOW FOUNDATION
FINISHED GARAGE FLOOR IS LEVEL WITH TOP OF THE REAR FOUNDATION WALL

PROJECT:	MYRTUE PROPERTY LOT 12
LOCATION:	TAX MAP: 10, GRID: 24, PARCEL: 235 ZONED: RC-02 1847 DAVIS BRANCH RD, WOODSTOCK, MD 21163 8TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 358447
TITLE:	BUILDING PERMIT PLAN
HOUSE TYPE:	CUSTOM - KEYSTONE HOMES
DATE:	AUGUST, 2021
SCALE:	AS SHOWN
PROJECT NO.:	2099
DRAWING	1 OF 2

BENCHMARK ENGINEERING, INC.
A CONSULTING AND SURVEYING FIRM
8400 ELWOOD ROAD, SUITE 315
ELICOTT CITY, MARYLAND 21043
(P) 410-465-6105 A (F) 410-465-6844
WWW.BE-CVLEENGINEERING.COM



180' off Front
40' off Left
70' off Right
310' off Rear

75' off Well
125' off Septic

U61000
16x4'

PERMIT NUMBER: B 21004019

DATE ACCEPTED:



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
 3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED			
Street Address: 1847 Davis Branch Road			Unit:
City: Woodstock	State: MD		Zip Code: 21163
Subdivision/Village/Complex Name: Myrtue Property		SDP/WP/BA #:	
Lot: 12	Tax Map: 10, Grid 24	Parcel: 225	Grading Permit #:

DESCRIPTION OF WORK REQUIRED		
Existing Use: Vacant improved lot	Proposed Use: SFD	Estimated Cost: \$475,800.00
Trade Work to Be Completed (Separate Permits Required): <input checked="" type="checkbox"/> Mechanical (HVACR) <input checked="" type="checkbox"/> Electrical <input checked="" type="checkbox"/> Plumbing <input type="checkbox"/> None		

PROPERTY OWNER INFORMATION REQUIRED		
Owner(s) Name(s) (As it appears on tax records): Marriott's Ridge, LLC		Primary Residence: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Owner's Street Address: 227 Granite Run Drive, Suite 100		
City: Lancaster	State: PA	Zip Code: 17601
Phone: (717) 464-9060	Email: billb@keystonecustomhome.com	

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION	
Business Name: Keystone Custom Homes	Contact Name: Neil J. Bontempi
Street Address: 227 Granite Run Drive, Suite 100	
City: Lancaster	State: PA Zip Code: 17601
Phone: (717) 847-5426	Email: nbontempi@keystonecustomhome.com

CONTRACTOR INFORMATION REQUIRED		
Business Name: Keystone Custom Homes		
Licensee's Name:		License #: MHBR# 2937 (exp 12/01/2021)
Street Address: 227 Granite Run Drive, Suite 100		
City: Lancaster	State: PA	Zip Code: 17601
Phone: (717) 847-5426	Email: nbontempi@keystonecustomhome.com	

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE	
Business Name: James F. Collins, P.E.	
Name: James F. Collins	
Street Address: 227 Granite Run Drive, Suite 100	
City: Lancaster	State: PA Zip Code: 17601
Phone: (352) 250-3146	Email: jcollins@keystonecustomhome.com

BUILDING CHARACTERISTICS REQUIRED		
Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)		Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Gas	Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)	Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)
Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane <input type="checkbox"/> Other:		Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input checked="" type="checkbox"/> NFPA 13D <input type="checkbox"/> None		Fire Alarm System: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)				
Model Name & Options: Nottingham Manor				
# of Bedrooms (SF): 5	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):
# Rooms: 18	# Full Baths: 3	# Half Baths: 2	# Fireplaces: 1	
Garage/Carport Info: <input checked="" type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None				
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input checked="" type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input checked="" type="checkbox"/> Partial				
1 st Fl Width: 54	1 st Fl Depth: 74	2 nd Fl Width: 50	2 nd Fl Depth: 59	Bsmt Width: 54 Bsmt Depth: 74
Energy Method: <input checked="" type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area: 7,798 sq ft Occupiable Area: 7,598 sq ft		

AGREEMENT/ DISCALIMER REQUIRED
 THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION, (2) THAT THE INFORMATION IS CORRECT, (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERE TO, (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION, (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Neil J. Bontempi 10/6/2021
APPLICANT'S ORIGINAL SIGNATURE DATE SIGNED

FOR OFFICE USE ONLY		CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY
AGENCIES REQUIRED/APPROVALS:		
<input checked="" type="checkbox"/> PR	<input type="checkbox"/> DPZ	<input type="checkbox"/> DED
<input checked="" type="checkbox"/> Health <i>D. Bernard</i>		<input type="checkbox"/> CID
SUBMITTAL FEES: \$150.00	PAYMENT: \$ 3578	ACCEPTED BY: <i>DH</i>

KEYSTONE CUSTOM HOMES, INC

3-Time winner of NAHB's "America's Best Builder" Award

THESE DRAWINGS HAVE BEEN CAREFULLY PREPARED BY CAD PROFESSIONALS FOR CONSTRUCTION REFERENCES ONLY. AT ALL TIMES, THE CONTENTS OF THE CURRENT EXECUTED KEYCHOICE SUMMARY DOCUMENT TAKES PRECEDENCE IN DETERMINING THE SCOPE OF ALL CONTRACTUAL OBLIGATIONS.

JOB INFORMATION

COMMUNITY/LOT #:	MRs012	SALES MANAGER:	Emily Morrison
MRs012:	David Carter & Siri Shaw		
PHONE NO.:	(703) 587-5362	PHONE NO.:	(410) 913-1678
SITE ADDRESS:	1847 Davis Branch Road, Woodstock, MD 21163		
DRAFTER:	MAH	LC DATE:	00/00/00
		FLC DATE:	00/00/00

DRAWING INDEX

CS1.0	COVER PAGE
A1.0	FRONT ELEVATION
A1.1	LIVING SIDE ELEVATION
A1.2	REAR ELEVATION
A1.3	GARAGE SIDE ELEVATION
P1.0	FIRST FLOOR PLAN
P1.1	SECOND FLOOR PLAN
P1.2	FOUNDATION PLAN
E1.0	ELECTRICAL LEGEND
E1.1	FIRST FLOOR ELECTRICAL
E1.2	SECOND FLOOR ELECTRICAL
E1.3	FOUNDATION ELECTRICAL
F1.0	FIRST FLOOR FLOORING
F1.1	SECOND FLOOR FLOORING
K1.0	KITCHEN
J1.0	FIRST FLOOR FRAMING
J1.1	SECOND FLOOR FRAMING
S1.0	SECTIONS

DETAILS

ALL DETAILS CAN BE LOCATED ONLINE UNDER KEYCHOICES. AFTER LOG IN, CLICK THE "PLAN DETAILS" HYPERLINK ON THE LEFT OF THE SIDEBAR. ALL DETAIL DOCUMENTS ARE PDF FORMAT.

aSchedule_DoorExterior	aSchedule_DoorInterior	aSchedule_Window	
aSchedule_Appliances1	See detail packet 40.21.dtls.pdf		
OP_C008	OP_E003	OP_E006	OP_E021
OP_F020	ST_001	ST_003	ST_006
ST_007	ST_010	ST_011	ST_022
ST_024	ST_029	ST_032	ST_033
ST_112	ST_113		

LIVING SPACE SQ FT

	STANDARD	JOB AS BUILT
1ST FLOOR:	2161	2427
2ND FLOOR:	1455	2015
TOTAL:	3616	4442
BASEMENT:	2161	2427
FIN BSMT:	NA	1173
GARAGE:	406	729
PORCH:	127	200

THE PRESERVE AT MARRIOTS RIDGE

HOWARD COUNTY
THE DEPT. OF INSPECTIONS,
LICENSING AND PERMITS (410) 313-3800

INTERNATIONAL RESIDENTIAL CODE 2018

Please see "10.15 Community Standards" for more information.

ONLY LOCATION-SPECIFIC OPTIONS ARE SHOWN ON THESE DRAWINGS. PLEASE REFER TO "KEYCHOICE SUMMARY" AND/OR "PURCHASE ORDER(S)" FOR COMPLETE LISTING OF OPTIONS.

DRAFTER "LC" QUESTIONS TO SM:



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland License No. 45349, Expiration Date: 10-13-2022

PLAN REVISIONS - FOR DRAFTER USE ONLY

DATE INITIALS	REVISION	SHEET(S) REVISED	DATE INITIALS	REVISION	SHEET(S) REVISED
...
...
...
...

BUYERS SIGNATURE

X

X

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227 GRANITE RUN DRIVE, SUITE 100
LANCASTER, PENNSYLVANIA 17601
PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystoncustomhomes.com



KEYSTONE CUSTOM HOMES, INC.

CHECK OFF BOX	COVER SHEET
PROJECT:	MRs012
DESIGNER:	CARTER / SHAW
DATE:	APR 26 2021
SCALE:	AS NOTED
DRAWN BY:	CFCX
SHEET NO:	A1.0
TOTAL:	an h 10

1847 DAVIS BRANCH RD
HEALTH
B2100 4019

The architect, engineer, contractor, or other professional responsible for the preparation of these documents shall be held responsible for the accuracy and completeness of the information provided. The architect, engineer, contractor, or other professional shall be held responsible for the accuracy and completeness of the information provided. The architect, engineer, contractor, or other professional shall be held responsible for the accuracy and completeness of the information provided.



FRONT ELEVATION
SCALE: 1/8" = 1'-0"

227 GRANITE RUN DRIVE, SUITE 100
LANCASTER, PENNSYLVANIA 17601
PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystonecustomhomes.com



KEYSTONE CUSTOM HOMES, INC.



DATE: 10/06/2021	PROJECT: FRONT ELEVATION
SCALE: AS NOTED	MODEL: MR-8012
DRAWN BY: CFCX	CHECKED BY: CARTER / SHAW
DATE: 10/06/2021	SCALE: AS NOTED
DRAWN BY: CFCX	CHECKED BY: CARTER / SHAW

Professional Certification, I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 20355. Expiration Date: 12-31-2022

The customer design company, architect or other professional is not responsible for the accuracy of the information contained herein. The customer design company, architect or other professional is not responsible for the accuracy of the information contained herein. The customer design company, architect or other professional is not responsible for the accuracy of the information contained herein.

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 LANCASTER, PENNSYLVANIA 17601
 PH: (717) 464-9060 • FAX: (717) 464-9046
 www.keystonecustomhomes.com

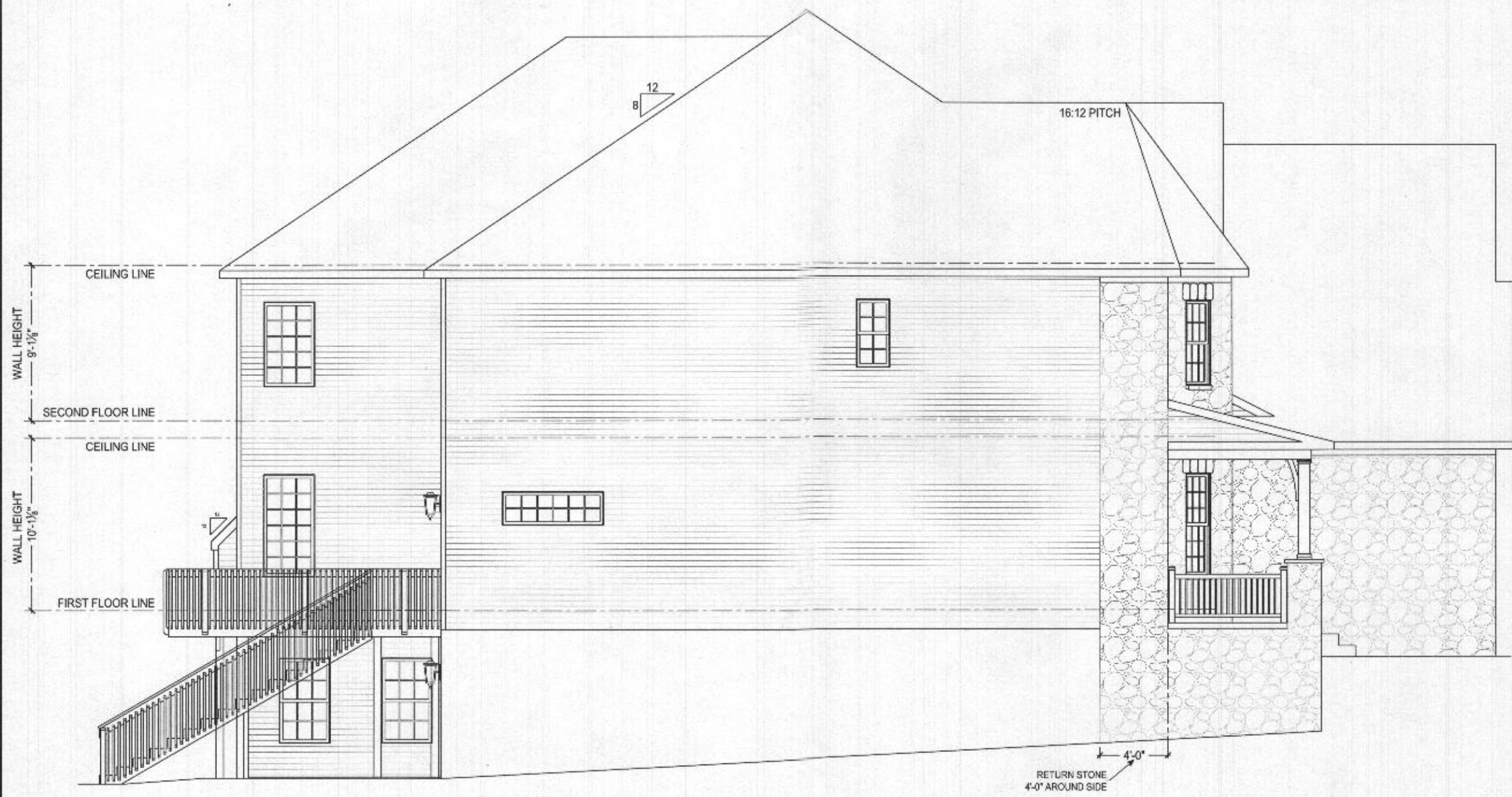


KEYSTONE CUSTOM HOMES, INC.

PREPARED BY
 LIVING SIDE ELEVATOR
 MODEL
 MR012
 CARTER / SHAW

DATE
 APR 25 2021
 SCALE
 AS NOTED
 DRAWN BY
 C.FOX

DATE
 ALL
 PLAN
 a n h 10



LIVING SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

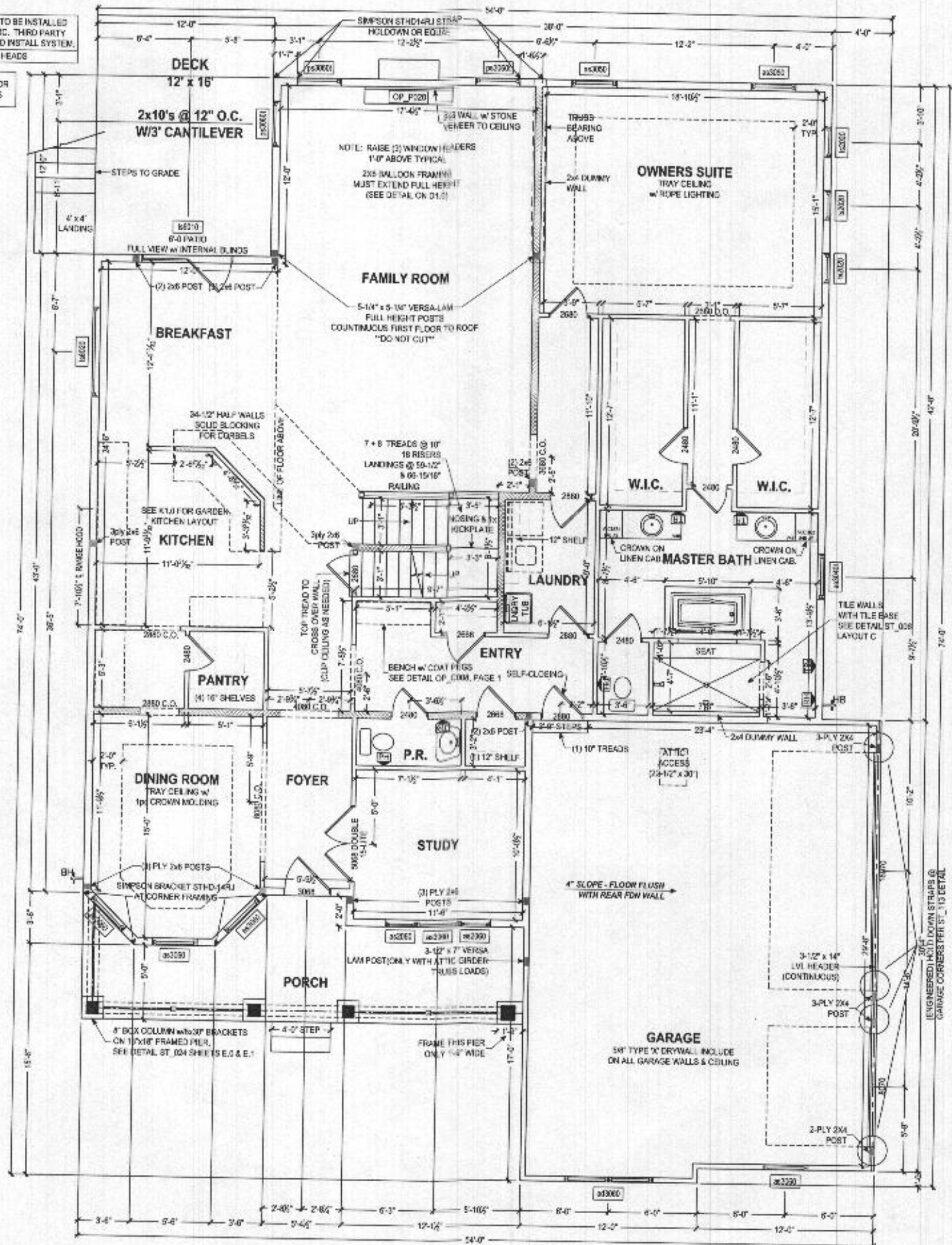


Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 32258. Expiration Date: 12-12-2022.

RESIDENTIAL SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH THE 2016 IFC. THIRD PARTY AGENCY TO PROVIDE DRAWINGS AND INSTALL SYSTEM. CONCEALED SPRINKLER HEADS

SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

ALL BATHROOMS TO HAVE TALL VANITIES



FIRST FLOOR PLAN

ALL EXTERIOR WALLS ARE 100% CONT. STRUCTURAL SPECIFICATIONS (METHOD NO. PER ST. 11)

0.5\"/>

To a certain degree, drawings are a record of the work. It is the responsibility of the architect to provide a clear and accurate record of the work. The architect is not responsible for the construction of the work. The architect is not responsible for the safety of the work. The architect is not responsible for the quality of the work. The architect is not responsible for the quantity of the work. The architect is not responsible for the cost of the work. The architect is not responsible for the time of the work. The architect is not responsible for the location of the work. The architect is not responsible for the direction of the work. The architect is not responsible for the manner of the work. The architect is not responsible for the result of the work. The architect is not responsible for the consequences of the work. The architect is not responsible for the damage caused by the work. The architect is not responsible for the injury caused by the work. The architect is not responsible for the death caused by the work. The architect is not responsible for the loss of life caused by the work. The architect is not responsible for the loss of property caused by the work. The architect is not responsible for the loss of income caused by the work. The architect is not responsible for the loss of reputation caused by the work. The architect is not responsible for the loss of honor caused by the work. The architect is not responsible for the loss of respect caused by the work. The architect is not responsible for the loss of dignity caused by the work. The architect is not responsible for the loss of self-respect caused by the work. The architect is not responsible for the loss of self-dignity caused by the work. The architect is not responsible for the loss of self-honor caused by the work. The architect is not responsible for the loss of self-respect caused by the work. The architect is not responsible for the loss of self-dignity caused by the work. The architect is not responsible for the loss of self-honor caused by the work.

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KEYSTONE CUSTOM HOMES, INC.



PROJECT NO. 10/06/2021
FIRST FLOOR PLAN
SCALE: AS NOTED
OWNER: C. FOX
DESIGNER: MRS.012 CARTER / SHAW
DATE: APR 26 2021

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 50356, Expiration Date: 12-12-2025.