

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B22003821	10/10/2022
Description of Work		
SFD//INSTALL (1) ONE 1000 GALLON UNDERGROUND PROPANE TANK		

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type
7016	COLT	PL
Unit Type	Unit #	X Coordinate
--Select--		-77.00097
		Y Coordinate
		39.23352
City	State	Zip Code
DAYTON	MD	21036
		Primary
		Yes

Approved 10/21/22


Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
11060804		0	0	0	0	RURAL
Legal Description						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
18	30	605101	5				
Plan Area	State Tax Id	Subdivision Name					
		Willowshire					
Section	Area	Tax Map					
		27					
Grid	Zoning District	ADC Map					
27-18	RR-DEO	4932-K3					
SDP No.	Final Plan No.	WP File No.					
	ECP-16-025						
Record Plat No.	WS Contract No.	FDP No.	Primary				
25500-2550			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-01	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner * (This section is required.)

Search Reset Clear

Name *

TOLL MID ATLANTIC LP COMPANY INC.

Address Line 1

250 GIBRALTER ROAD

Address Line 2

Address Line 3

Mail City

HORSHAM

Phone

301-725-3232

E-mail

Mail State

PA

Primary

Yes

Mail Zip Code

19044

Cell Number Fax Number

Professionals (This section is not required.)

Search Reset Clear

License # * 68408 Business Name HJ POIST

License Type * Propane Gs First Name JEFF Middle Name JEFF Last Name WISEMAN

Primary Yes Address Line 1 360 MAIN ST Address Line 2

City LAUREN State MD ZIP Code 20707

Phone 1 3017253232 Phone 2 Fax

E-mail JEFF@HJPOIST.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type * Applicant First Name MICHELLE MI Last Name CLANCY

Relationship Applicant Full Name MICHELLE CLANCY

Primary Yes Organization Name APPLIED & APPROVED PERMITS LLC

Street Address P.O. BOX 310 Address Line 2

City PERRY HALL State MD Zip Code 21128

Phone 443-340-1229 Cell Fax

E-mail MICHELLE@APPLIEDANDAPPROVED.COM

Addtl Info

Est Construction Cost * 1000 Housing Units * 0 Number of Buildings * 0 Public Owned No

Construction Type --Select--

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

Capital Project-No Fee * Yes No Capital Project Number Fee Exempt * Yes No Roadside Tree Project Permit * Yes No Roadside Tree Permit #

Existing Use * SFD Number of Tanks Installed * 1 Number of Tanks Removed * 0

Water Supply Private Sewage Disposal Private Expiration Date 4/9/2023 Relocate Existing Tank * 0

PAYMENT INFORMATION

Check 1 Payee 1 Check 2 Payee 2 SAP Doc No SAP Entered

Submit Cancel

RECEIVED

MAY 05 2022

PERMIT NUMBER: B 22001843

DATE ACCEPTED:

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
 3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
 www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 7016 Colt Place Unit: _____
 City: Dayton State: MD Zip Code: 21036
 Subdivision/Village/Complex Name: Willowshire SDP/WP/BA #: _____
 Lot: 30 Tax Map: _____ Parcel: _____ Grading Permit #: _____

DESCRIPTION OF WORK REQUIRED

Existing Use: vacant lot Proposed Use: SFD Estimated Cost: \$ 300,000
 Trade Work to Be Completed (Separate Permits Required): Mechanical (HVACR) Electrical Plumbing None
New 2 story "Parkhurst" Fairview elev with 2 car side load garage, 2 car side attached garage, luxury covered deck, multi-gar suite, loft and finished lower level (Roc Rm, powder rm and Bedroom)

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Toll Mid Atlantic Lp. Co. Inc. Contact: Summer Riley Primary Residence: Yes No
 Owner's Street Address: 250 Gibraltar Road
 City: Horsham State: PA Zip Code: 19044
 Phone: 410-872-9105 Email: sriley1@tollbrothers.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Decatur Building Services Contact Name: Jim Kerwin
 Street Address: PO Box 552
 City: Woodbine State: MD Zip Code: 21797
 Phone: 443-309-7792 Email: jim@decaturbuildingservices.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Toll Brothers Contact: Summer Riley
 Licensee's Name: Toll Mid Atlantic Lp. Co. Inc. License #: 8220
 Street Address: 6731 Columbia Gateway Drive, Suite 120
 City: Columbia State: MD Zip Code: 21046
 Phone: 410-872-9105 Email: sriley1@tollbrothers.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: _____ Name: _____
 Street Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Email: _____

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF*) Condo: Yes No
 Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
 Heating System: Electric Natural Gas Propane Other: _____ Roadside Tree Project: No Yes: # _____
 Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: "Parkhurst" Fairview elev, 2+2 car garage, lux covered deck, multi-gar suite, loft and FCL
 # of Bedrooms (SF): 6 # of efficiency units (MF*): _____ # of 1 BR (MF*): _____ # of 2 BR (MF*): _____ # of 3 BR (MF*): _____
 # Rooms: 11 # Full Baths: 5 # Half Baths: 2 # Fireplaces: 1
 Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
 Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial
 1st Fl Width: 81 1st Fl Depth: 72 2nd Fl Width: 59 2nd Fl Depth: 56 Bsmt Width: 59 Bsmt Depth: 72
 Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: 9372 sq ft Occupiable Area: 8823 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERE TO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Jim Kerwin 5/4/2022
 APPLICANT'S ORIGINAL SIGNATURE DATE SIGNED

FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:
 PR DPZ DED Health 9-1-22 SHA CID

SUBMITTAL FEES: 150 PAYMENT: 00139861 ACCEPTED BY: _____

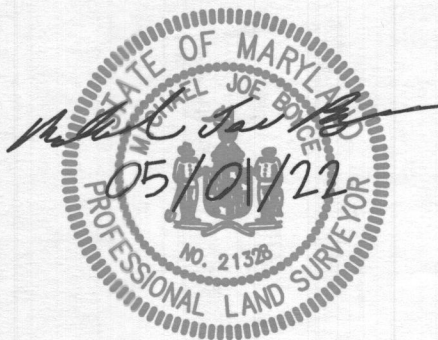
LEGEND:

- BRL BUILDING RESTRICTION LINE
- W WELL LOCATION
- T.W. TOP OF WALL
- G.F. GARAGE FLOOR
- B.F. BASEMENT FLOOR
- PASSED PERC LOCATION
- ▨ SEWAGE DISPOSAL AREA
- ▩ WELL BOX AREA
- PROPOSED TREE
- ⊕ STONE CONSTRUCTION ENTRANCE
- SILT FENCE
- SUPER SILT FENCE
- LIMITS OF DISTURBANCE

NOTE:
TOTAL LIMITS OF DISTURBANCE (LOD) = 36,149 SQ. FT.



BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN
SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.



HOUSE TYPE: PARKHURST (FAIRVIEW)

- | | |
|---------------------------------------|-------------------|
| FINISHED LOFT | OPTION No. 007 |
| TWO CAR SIDE ENTRY GARAGE | OPTION No. 012 |
| FINISHED LOWER LEVEL | OPTION No. 013 |
| DAYLIGHT BASEMENT | OPTION No. 018 |
| DAYLIGHT WINDOW/WELL | OPTION No. 543 |
| DOUBLE WIDE DRIVEWAY TAIL | OPTION No. 851 |
| ADDITIONAL TWO CAR FRONT ENTRY GARAGE | OPTION No. 263019 |
| MULTI-GEN SUITE ADDITION | OPTION No. 263073 |
| POWDER ROOM IN FINISHED LOWER LEVEL | OPTION No. 263036 |
| LUXURY OUTDOOR LIVING AREA | OPTION No. 263165 |
| BEDROOM IN FINISHED LOWER LEVEL | OPTION No. 263216 |

WELL NUMBER: HO-18-0076

ADDRESS: 7016 COLT PLACE
DAYTON, MD 21036

PERMIT PLOT PLAN
LOT 30
WILLOWSHIRE
LIBER 18479, FOLIO 296
PLAT NO. 25505
5th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

ESE CONSULTANTS

ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.

6731 Columbia Gateway Drive • Suite 120 • Columbia, MD 21046

T: 410-872-9105

DATE: 04/29/2022

SCALE: 1" = 30'

FILE: PP LOT 30 - PARKHURST FAIR.

CHK'D: M.J.B.

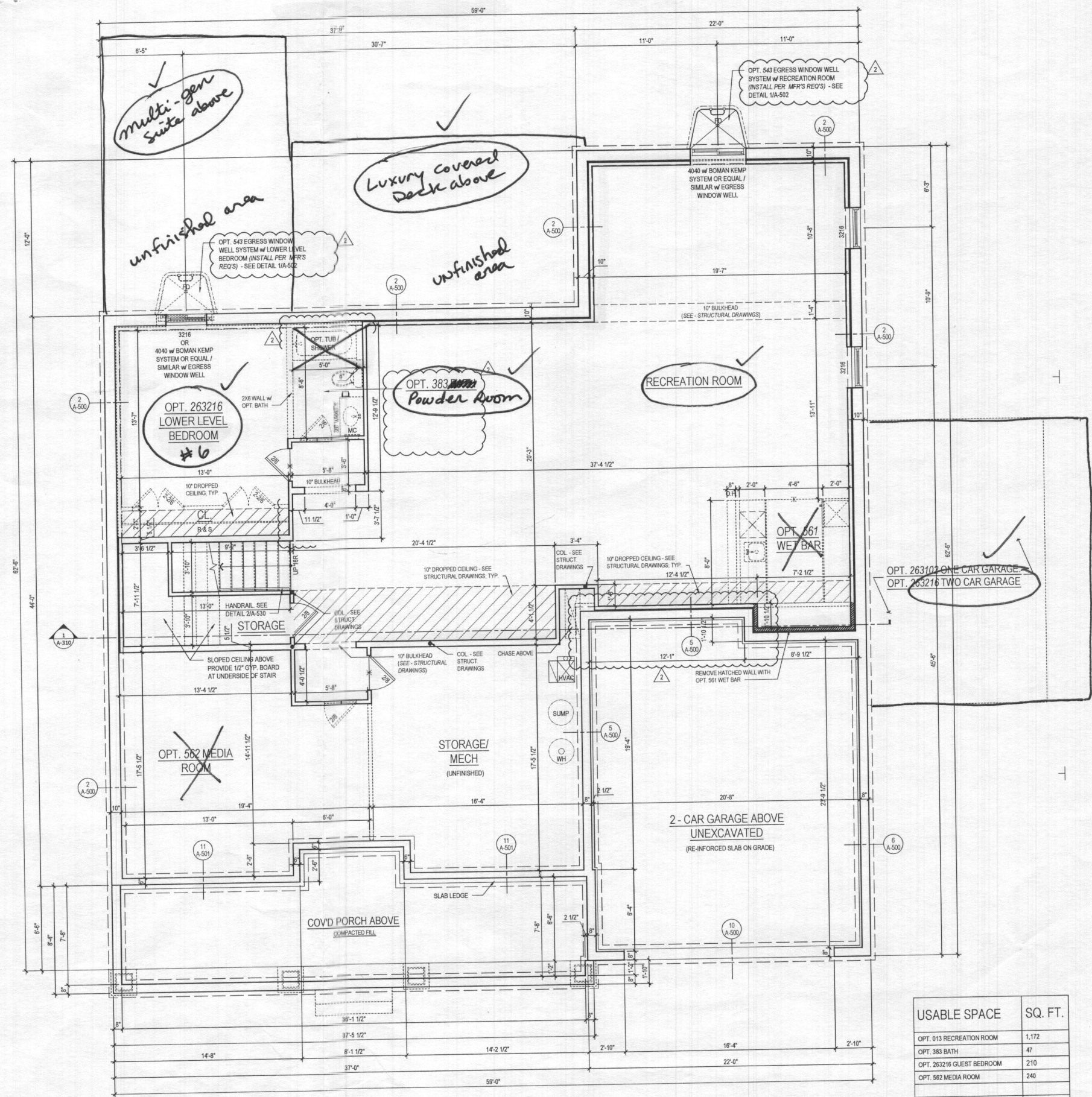
JOB NO: 4520

DRAWN: R.C.K.

Health Dept.

- GENERAL PLAN NOTES**
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 - I. ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
 - J. WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
 - K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

7016 COLT Place
 Lot 30
 Willowshire



ARCHITECT:

 8521 Leesburg Pike
 Suite 700 | Vienna, VA 22182
 P: 571.830.1800 | F: 571.830.1801
 www.lessarddesign.com

SEAL & SIGNATURE:
 OWNER:
 TOLL BROTHERS
 19775 BELMONT EXECUTIVE PLAZA
 ASHBURN, VA 20147
 P: 571.291.8068
 CONTACT: CHRISTINA LEMLEY
 clemley@tollbrothers.com

PROJECT NAME:
 MARYLAND
 PARKHURST
 FLOOR PLANS

ISSUE / REVISION

NO.	DESCRIPTION	DATE
BID SET		05.29.19
PERMIT SET		06.19.19
1	MD NEW STANDARDS	09.16.19
2	MR #220241	12.11.20

PROJECT No: TOL081a
 DRAWN BY: AC/RN
 CHECKED BY: AP
 PLOT DATE: Jan. 30, 2021
 FILE NAME: TOL081a_A100.dwg

USABLE SPACE	SQ. FT.
OPT. 013 RECREATION ROOM	1,172
OPT. 383 BATH	47
OPT. 263216 GUEST BEDROOM	210
OPT. 562 MEDIA ROOM	240
TOTAL	1,669

1 BASEMENT FLOOR PLAN
 A-100a SCALE 1/4"=1'-0"
 TOL081A_A100.DWG

W/ OPT 013 RECREATION ROOM @ ELEV. 1 - CRAFTSMAN
 @ FINISHED CONDITION
 see additional pages for "Fairview" elev

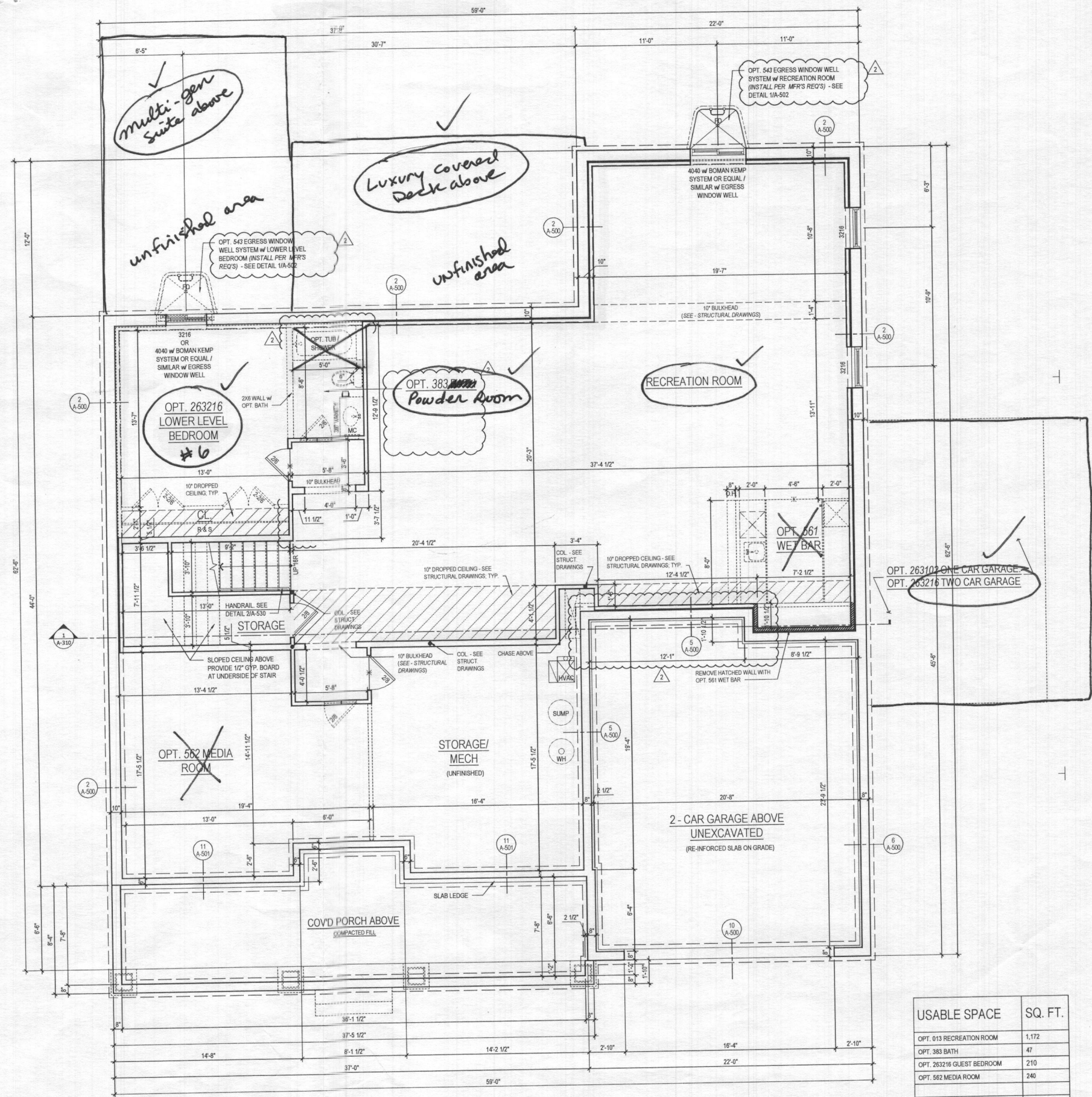
A-100a

HEALTH DEPT
 19220018043

Health Dept.

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PROJECT NAME: MARYLAND
 SHEET TITLE: PARKHURST FLOOR PLANS
 ISSUE / REVISION

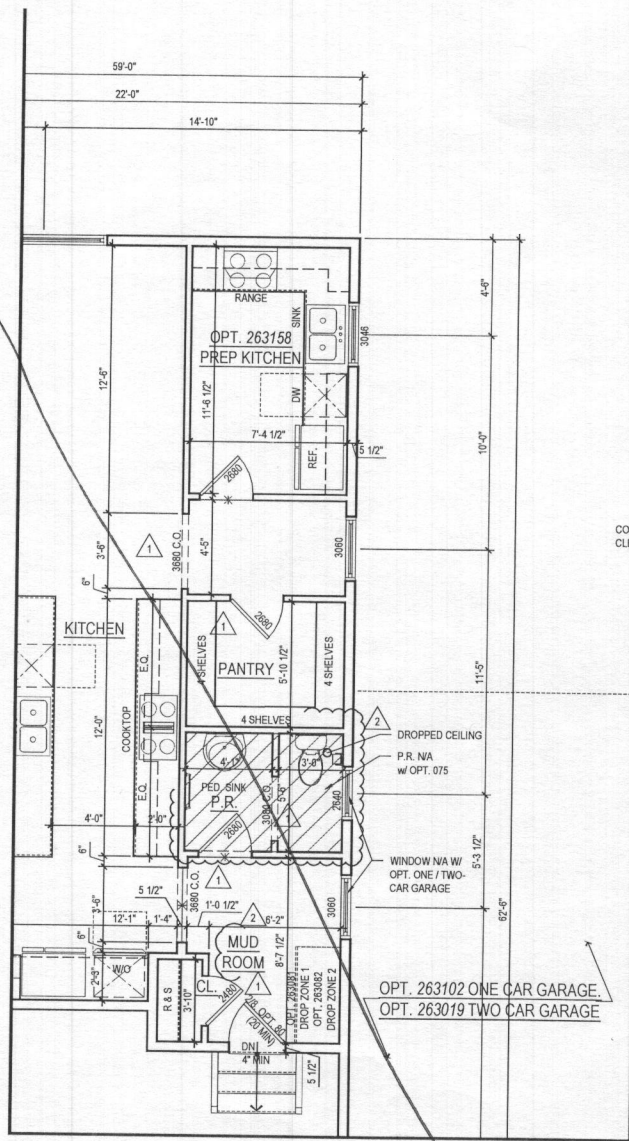
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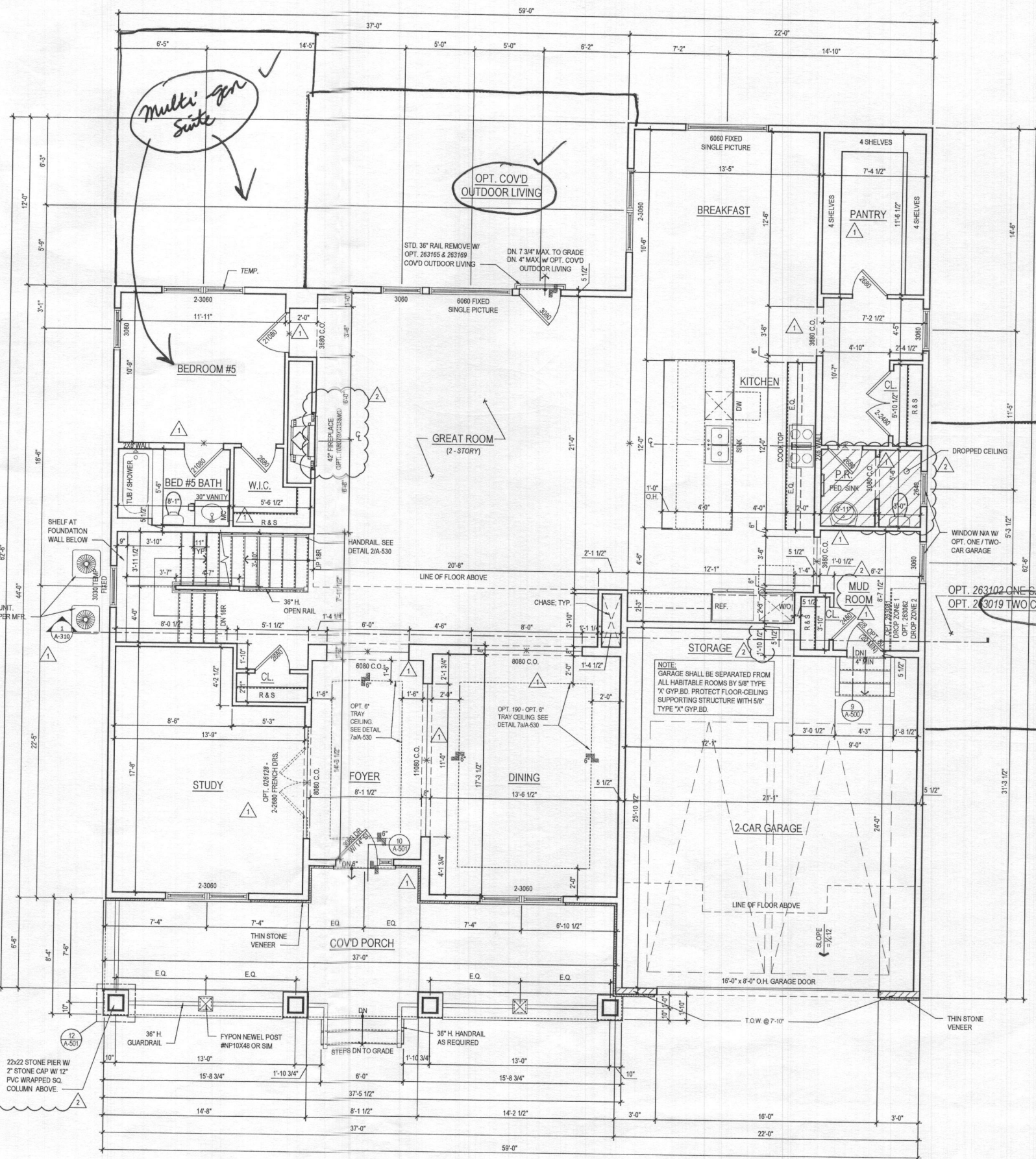
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HEALTH DEPT 19220018043

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2 PART. FIRST FLOOR PLAN w/ OPT. 263158 - OPT. PREP KITCHEN
 A-110 SCALE: 1/4"=1'-0"
 TOL081A.A110.DWG



1 FIRST FLOOR PLAN
 A-110 SCALE: 1/4"=1'-0"
 TOL081A.A110.DWG

@ ELEV. 1 - CRAFTSMAN *shown*
 See additional pages for "Fairview" elev

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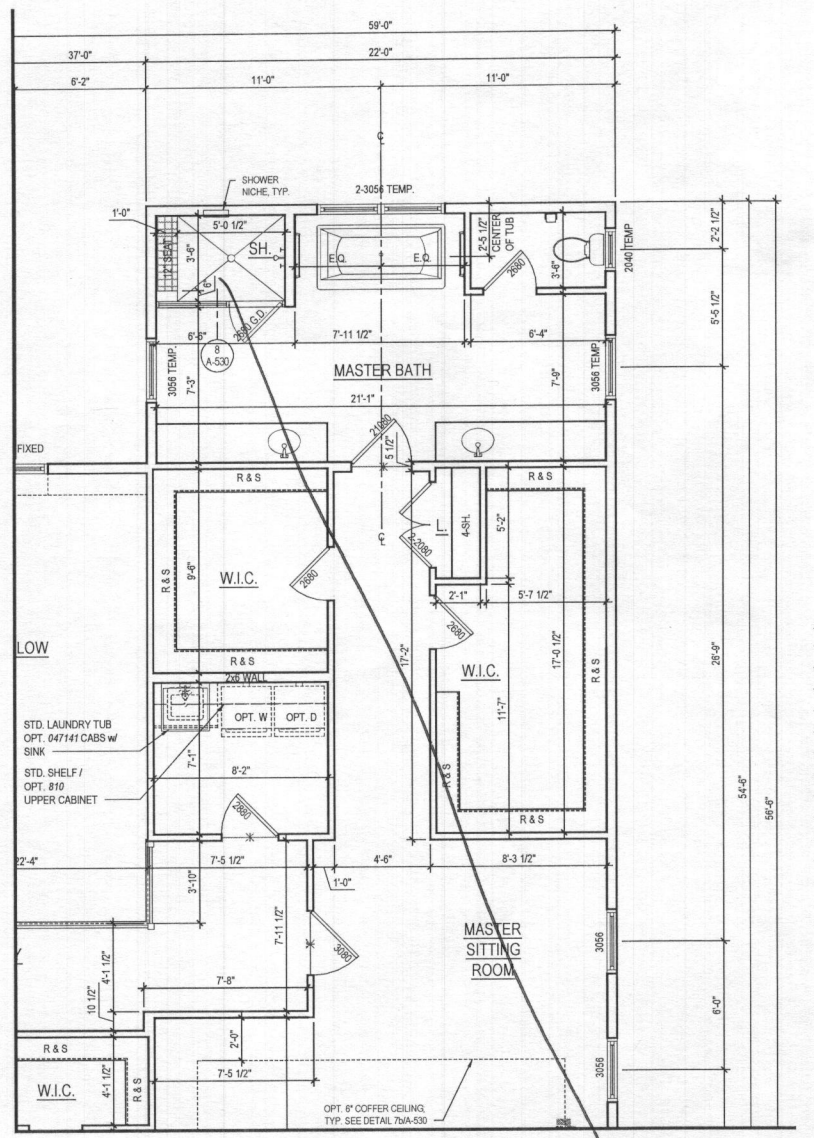
PROJECT NAME: **PARKHURST FLOOR PLANS**

SHEET TITLE: **MARYLAND**

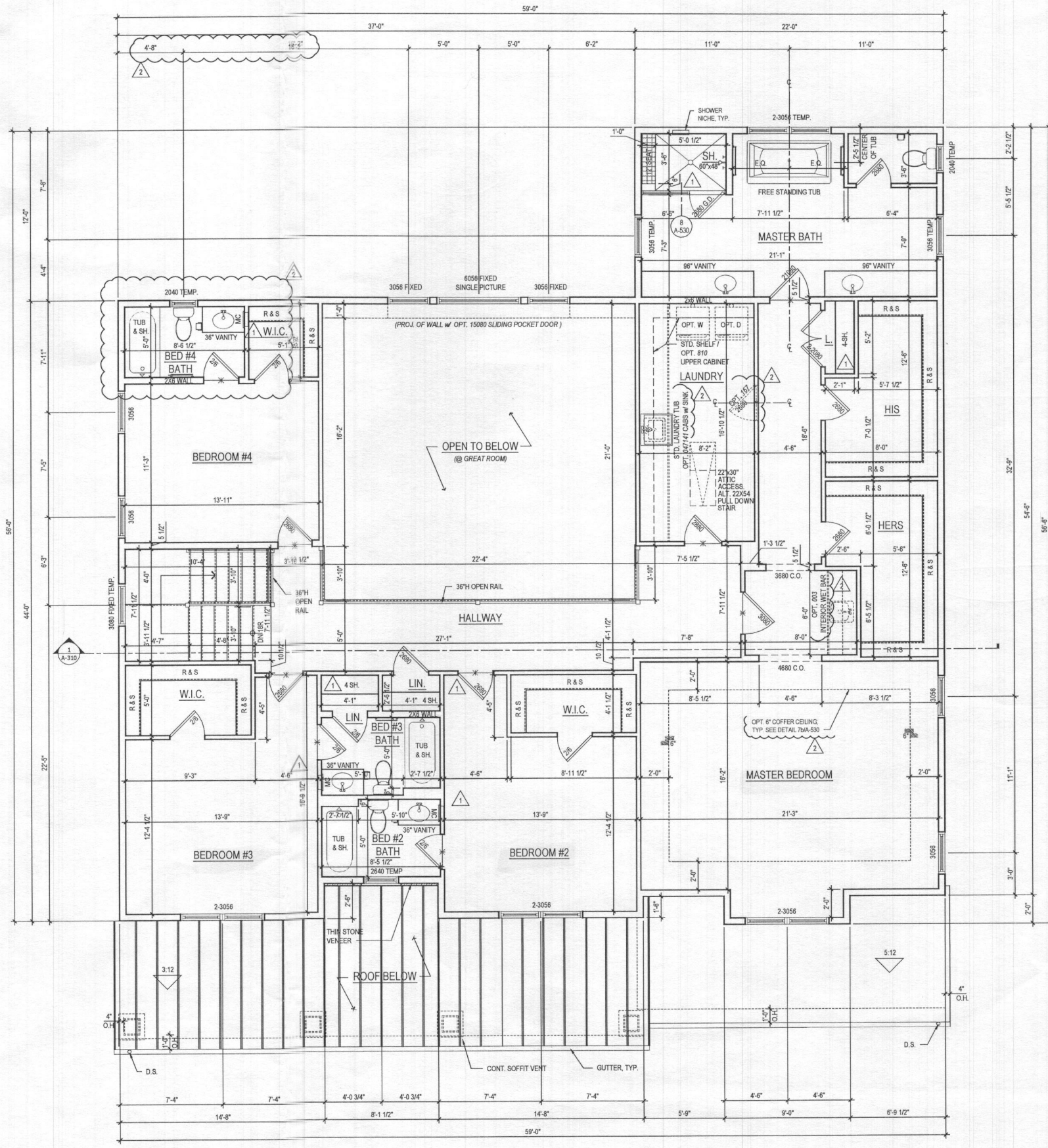
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PROJECT No: TOL081A
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 CHECKED BY: AP
 PLOT DATE: Jan. 20, 2021
 FILE NAME: TOL081A.A110.dwg

A-110



2 PART. SECOND FLOOR PLAN W/ OPT. 030 - ADDITIONAL WALK IN CLOSET
 A-120 SCALE: 1/4"=1'-0"
 TOL081A_A120.dwg



1 SECOND FLOOR PLAN
 A-120 SCALE: 1/4"=1'-0"
 TOL081A_A120.dwg

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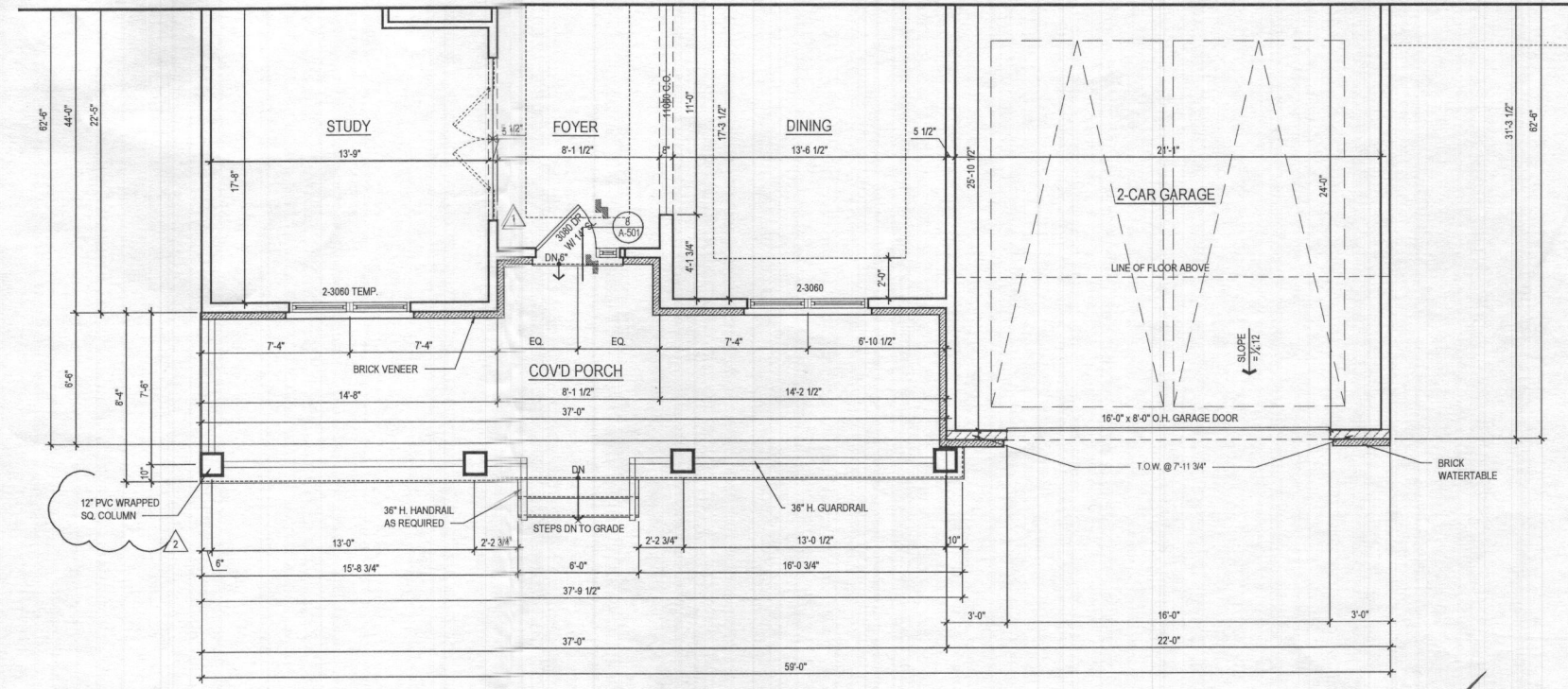
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PROJECT NO: TOL081a
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 FILE NAME: TOL081a_A120.dwg

A-120

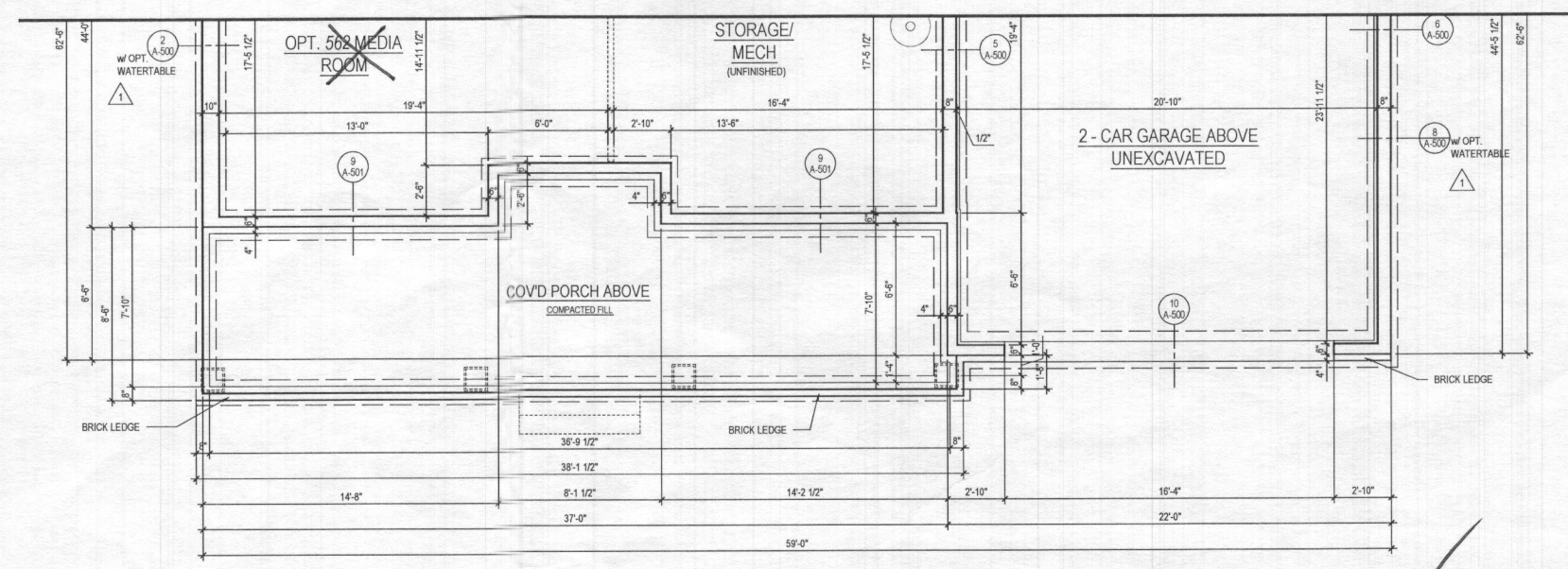
See additional pages for "fairview" elev @ ELEV. 1 - CRAFTSMAN shown

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2 FIRST FLOOR PLAN
A-170 SCALE: 1/4"=1'-0"
TOL081a_A170.DWG

@ ELEV. 5 - FAIRVIEW



1 BASEMENT FLOOR PLAN
A-170 SCALE: 1/4"=1'-0"
TOL081a_A170.DWG

@ ELEV. 5 - FAIRVIEW

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PROJECT NAME: MARYLAND

SHEET TITLE: PARKHURST FLOOR PLANS

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FILE NAME: TOL081a_A170.dwg

A-170