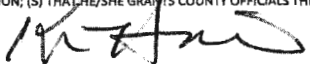



PERMIT NUMBER: B23002081

DATE ACCEPTED:

DILP 2023 JUN 12 PM 2:19

RESIDENTIAL BUILDING PERMIT APPLICATION				
HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS 3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 www.howardcountymd.gov				
BUILDING SITE ADDRESS REQUIRED				
Street Address: 2920 New Rover Road			Unit:	
City: West Friendship		State: MD		Zip Code: 21794
Subdivision/Village/Complex Name: 2001			SDP/WP/BA #:	
Lot: 15	Tax Map: 0015	Parcel: 0175	Grading Permit #:	
DESCRIPTION OF WORK REQUIRED				
Existing Use: Residential		Proposed Use: Residential		Estimated Cost: \$12,500.00
Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVACR) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input checked="" type="checkbox"/> None				
Wooden Deck with a composite decking and a vinyl railing				
12' X 30' W STEPS				
PROPERTY OWNER INFORMATION REQUIRED				
Owner(s) Name(s) (As it appears on tax records): SUNG H & JIYOUNG CHOI			Primary Residence: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Owner's Street Address: 2920 NEW ROVER ROAD				
City: WEST FRIENDSHIP		State: MD		Zip Code: 21794
Phone: (667) 256-5479		Email: GOBONG8492@GMAIL.COM		
APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION				
Business Name: LUXMEA GROUP		Contact Name: HONG KIM		
Street Address: 10721 TUCKER STREET				
City: BELTSVILLE		State: MD		Zip Code: 20705
Phone: (301) 906-2842		Email: LUXMEAGROUP@GMAIL.COM		
CONTRACTOR INFORMATION REQUIRED				
Business Name: LUXMEA GROUP				
Licensee's Name: HONG KIM		License #: 154409-152409		
Street Address: 10721 TUCKER ST.				
City: BELTSVILLE		State: MD		Zip Code: 20705
Phone: (301) 906-2842		Email: LUXMEAGROUP@GMAIL.COM		
ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE				
Business Name:		Name:		
Street Address:				
City:		State:		Zip Code:
Phone:		Email:		
BUILDING CHARACTERISTICS REQUIRED				
Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)			Corido: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Utilities: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Gas		Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)		Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)
Heating System: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane <input type="checkbox"/> Other:			Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #	
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input checked="" type="checkbox"/> None			Fire Alarm System: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Voice Evac	
ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)				
Model Name & Options:				
# of Bedrooms (SF):	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):
# Rooms:	# Full Baths:	# Half Baths:	# Fireplaces:	
Garage/Carport Info: <input type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None				
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial				
1 st Fl Width:	1 st Fl Depth:	2 nd Fl Width:	2 nd Fl Depth:	Bsmt Width: Bsmt Depth:
Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area:	sq ft	Occupiable Area: sq ft
AGREEMENT/ DISCALIMER REQUIRED				
THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.				
			6/12/23	
APPLICANT'S ORIGINAL SIGNATURE			DATE SIGNED	
FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY				
AGENCIES REQUIRED/APPROVALS:				
<input checked="" type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ	<input checked="" type="checkbox"/> DED	Approved MRE Health 6/25/23	<input type="checkbox"/> SHA <input type="checkbox"/> CID
SUBMITTAL FEES: \$55	PAYMENT: Check #2909		ACCEPTED BY: 	

LAYOUT 8/5/02 10am INSP 4 _____
 INSP 2 8/6/02 ASAP INSP 5 _____
 INSP 3 _____ INSP 6 _____

ISSUE DATE: 6/20/2002

APPROVAL DATE: 8/6/02

PERMIT

P 517321

A 59907-N

INDEXED

ON-SITE SEWAGE DISPOSAL SYSTEM HOWARD COUNTY HEALTH DEPARTMENT BUREAU OF ENVIRONMENTAL HEALTH

03-337464

Hatfield's Equipment IS PERMITTED TO INSTALL ALTER

ADDRESS: 13785 Burntwoods Rd., Glenelg PHONE NUMBER: 301-854-6172

SUBDIVISION: Friendship Lakes LOT NUMBER: 15

ADDRESS: 2920 New Rover Road PROPERTY OWNER: Williamsburg Group, LLC

SEPTIC TANK CAPACITY (GALLONS): 1250 OUTLET BAFFLE FILTER REQUIRED

PUMP CHAMBER CAPACITY (GALLONS): N/A COMPARTMENTED TANK REQUIRED

NUMBER OF BEDROOMS: 4

SQUARE FEET PER BEDROOM: 180

LINEAR FEET OF TRENCH REQUIRED: 240 HOUSE SERVED BY PUBLIC WATER

TRENCHES:	Trench to be 3.0 feet wide. Inlet 3.0 feet below original grade. Bottom maximum depth 5.0 feet below original grade. Effective area begins at 3.0 feet below original grade. 2.0 feet of stone below distribution pipe.
LOCATION:	Place the distribution box as shown on the approved site plan. Run trenches on contour.
NOTES:	Basement Service by gravity is not proposed.

PLANS APPROVED: Steven R. Krieg OK SRK 6/20/02 DATE: 6/03/2002

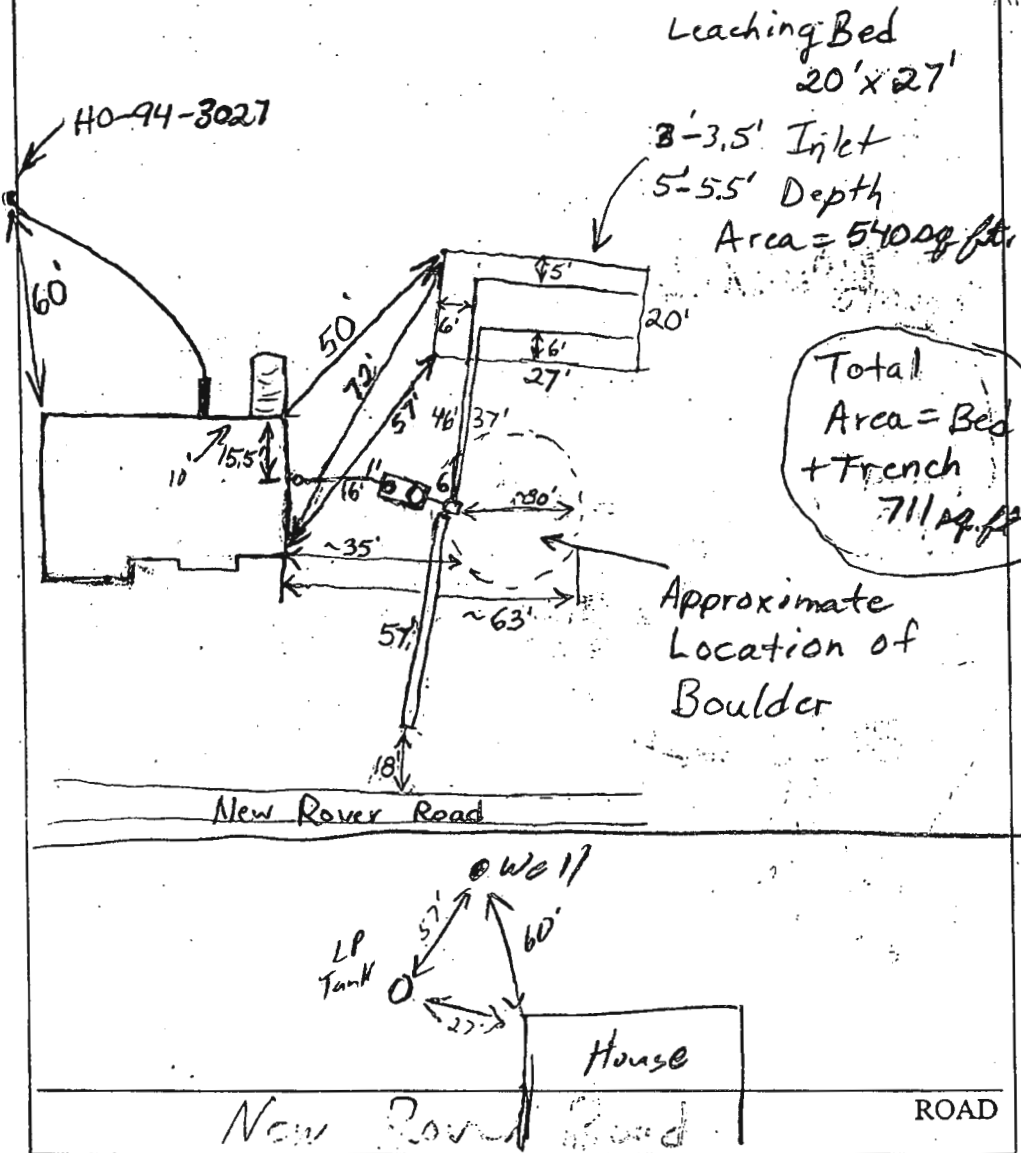
NOTES: PERMIT VOID AFTER 2 YEARS
 CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION INSPECTION FOR ALL INSTALLATIONS
 WATERTIGHT SEPTIC TANKS REQUIRED
 ALL PARTS OF SEPTIC SYSTEM SHALL BE 100 FEET FROM ANY WATER WELL UNLESS SPECIFICALLY AUTHORIZED
 MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS UNLESS SPECIFICALLY AUTHORIZED
 CONTRACTOR RESPONSIBLE FOR COMPLIANCE WITH APPLICABLE REGULATIONS, GUIDELINES AND THE TERMS OF THIS PERMIT

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM
BUILDING PERMITSIGNED RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT
AND RETURNED ALL 410-313-2640 FOR INSPECTION OF SEPTIC SYSTEM

10-7-02 800 138315 - UG PERIPANE TANK
 7-31-03 800 142997 - SW ROOM

A59907-N

NOT TO SCALE



Leaching Bed
20' x 27'
3'-3.5' Inlet
5'-5.5' Depth
Area = 540 sq. ft.

Total Area = Bed + Trench
711 sq. ft.

Approximate Location of Boulder

TRENCH/DRAINFIELD DATA		
WIDTH	INLET	BOTTOM
3.0'	3.0'	5.0'
NUMBER OF TRENCHES 1		
TOTAL LENGTH 57'		
ABSORPTION AREA 171 sq. ft.		
DISTRIBUTION BOX LEVEL <u>yes</u>		
DISTRIBUTION BOX BAFFLE <u>yes</u>		
DISTRIBUTION BOX PORT <u>no</u>		

SEPTIC TANK DATA	
SEPTIC TANK 1 LEVEL	<u>Yes</u>
CAPACITY	<u>1500</u> GAL
SEAM LOC	<u>Top</u>
TANK LID DEPTH	<u>~2'</u>
BAFFLES	<u>Yes</u>
BAFFLE FILTER	<u>No</u>
MANHOLE LOC	<u>Rear</u>
6" PORT LOC	<u>Front</u>
WATERTIGHT TEST	<u>No</u>
SEPTIC TANK 2 LEVEL	<u>N/A</u>
CAPACITY	_____ GAL
SEAM LOC	_____
TANK LID DEPTH	_____
BAFFLES	_____
BAFFLE FILTER	_____
MANHOLE LOC	_____
6" PORT LOC	_____
WATERTIGHT TEST	_____

PRE-CONSTRUCTION 8/5/02 To install 4 trenches of approximately 60' toward New River Road.

INSTALLATION 8/5/02 Tank set. First trench done. Some rock in tank hole and beginning of first trench. (BB) 8/6/02 Huge boulder in highest area of septic easement. Unable to dig through it. To install leaching bed away from boulder to conserve area. O.K. to cover. (BB)

BUILDING PERMIT SIGNED AND RETURNED

FINAL INSPECTOR B. Baker

DATE OF APPROVAL 8/6/02

Lot 15

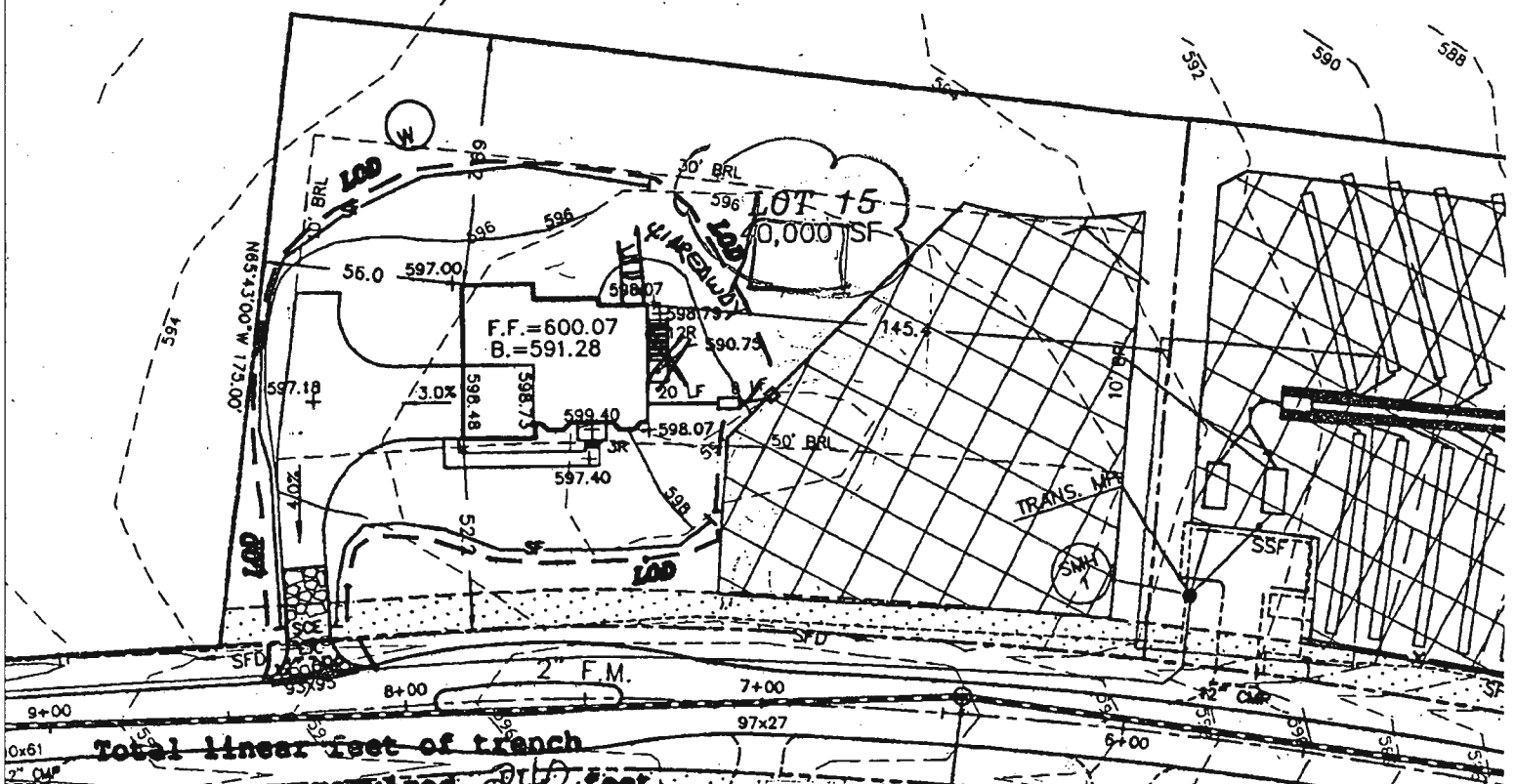
2920 New River Rd.

HEALTH Dept.

ENG:
MILLENBERG -
SAM

410/997-0298

36



Total linear feet of trench required 240 feet

Width of trench (es) 3 feet

Depth of trench (es) 5 feet

Depth of stone required below distribution pipe 2 feet

LOT 15 SEPTIC SYSTEM DATA

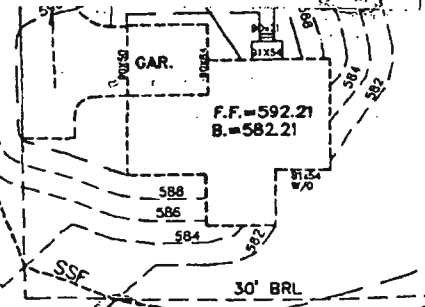
FIRST FLOOR EL	
INV. OUT OF HOUSE	599.57
INV. IN SEPTIC TANK	595.81
INV. OUT SEPTIC TANK	595.41
EXIST EL ● SEPTIC TANK	597.70
PROP EL ● SEPTIC TANK	598.22
INV. IN DIST. BOX	595.00
EXIST EL ● DIST. BOX	598.00

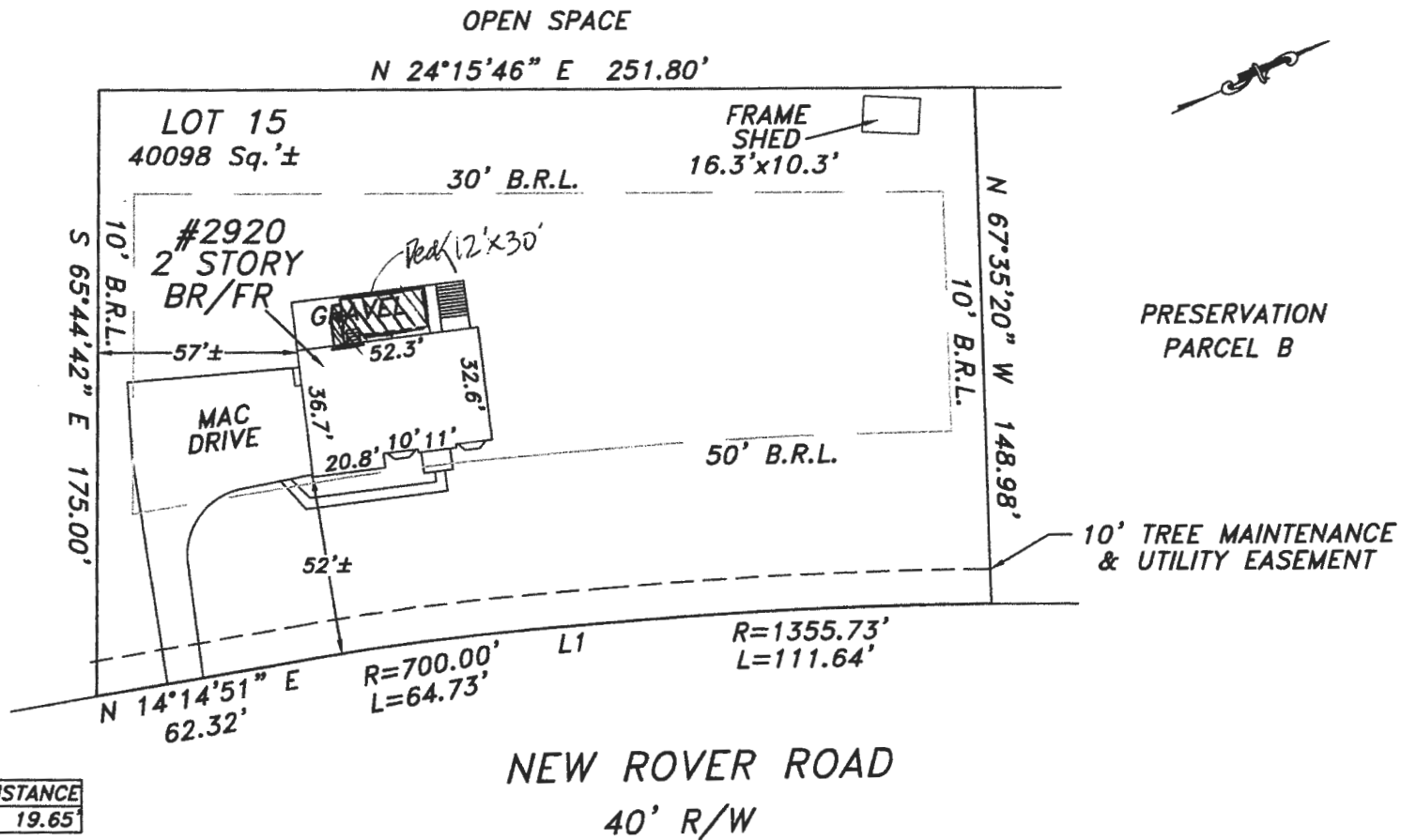
BASEMENT SEWERAGE TO BE PUMPED.

Approved Septic System Plan
Howard County Health Department

Steve J. Jones
Signature

11/3/02
Date





LINE	BEARING	DISTANCE
L1	N 19°17'54" E	19.65'

The purpose of this drawing is to locate, describe, and represent the positions of buildings and substantial improvements affecting the property shown hereon, being known as:

Lot 15, on a plat entitled,
"Friendship Lakes"

recorded among the land records of Howard County, Maryland in Plat Number 14909

This is to certify that I either personally prepared or was in responsible charge over the preparation of this drawing and the surveying work reflected in it, all set forth in Regulation .12 of Chapter 09.13.06 of the Code of Maryland Annotated Regulations.

This is page one of a two page document. The advice found on the affixed page is an integral part of this drawing, and is not valid without all pages.

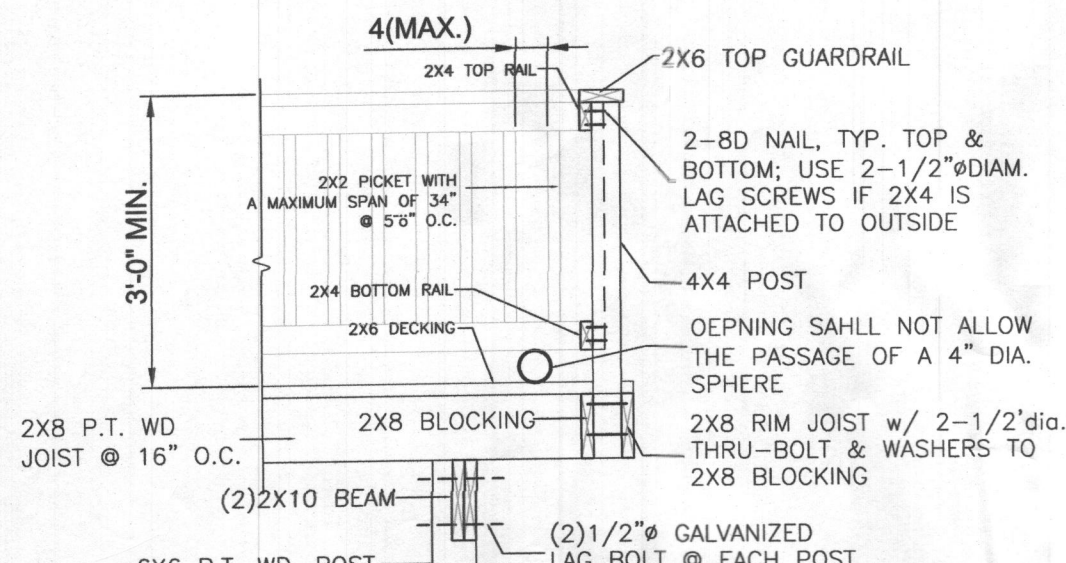


James Carl Hudgins
Property Line Surveyor #96
Expiration Date: 3/11/2024

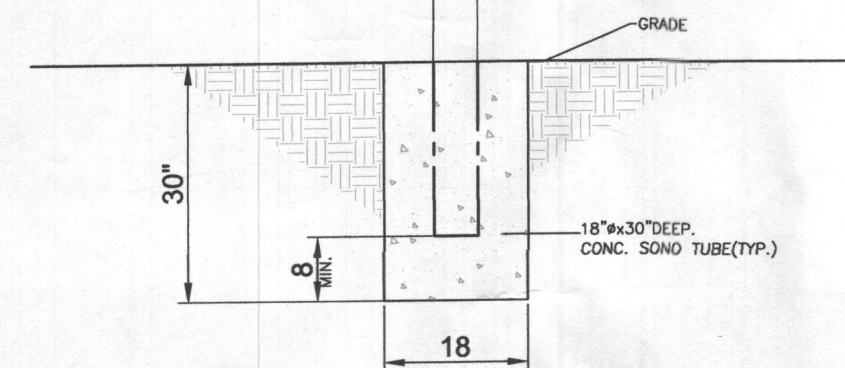
LOCATION DRAWING
2920 NEW ROVER ROAD
3rd ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

NTT Associates, Inc.
16205 Old Frederick Rd.
Mt. Airy, Maryland 21771
Phone: (410) 442-2031
Fax: (410) 442-1315
www.nttsurveyors.com

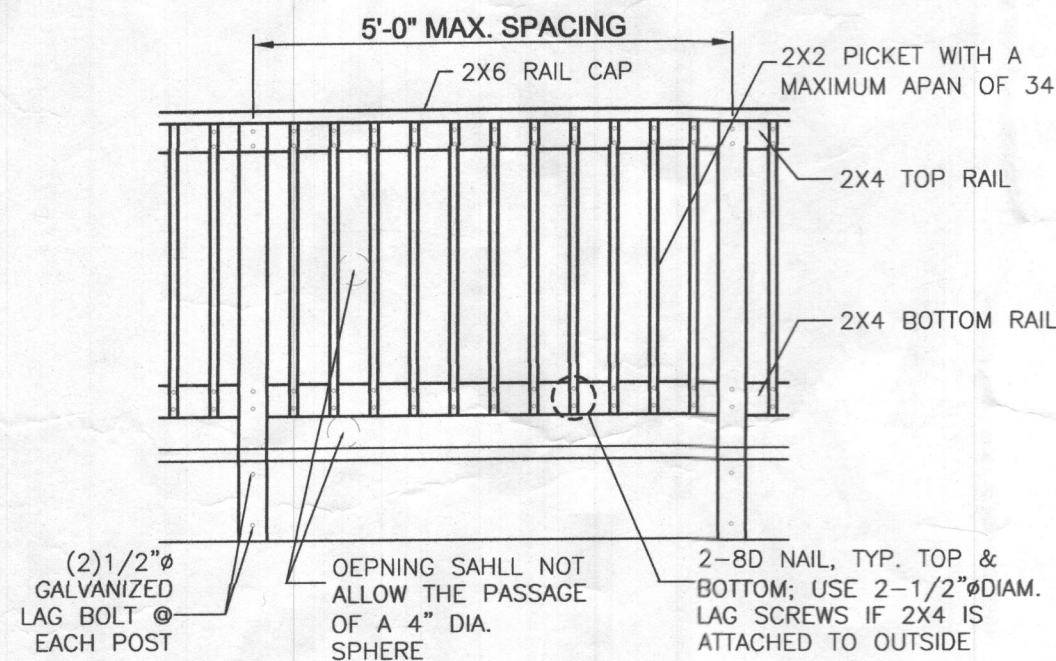
Scale:	1" = 50'
Date:	5/22/2023
Field By:	DRA
Drawn By:	DRA
File No.:	MISC 15952
Page No.:	1 of 2



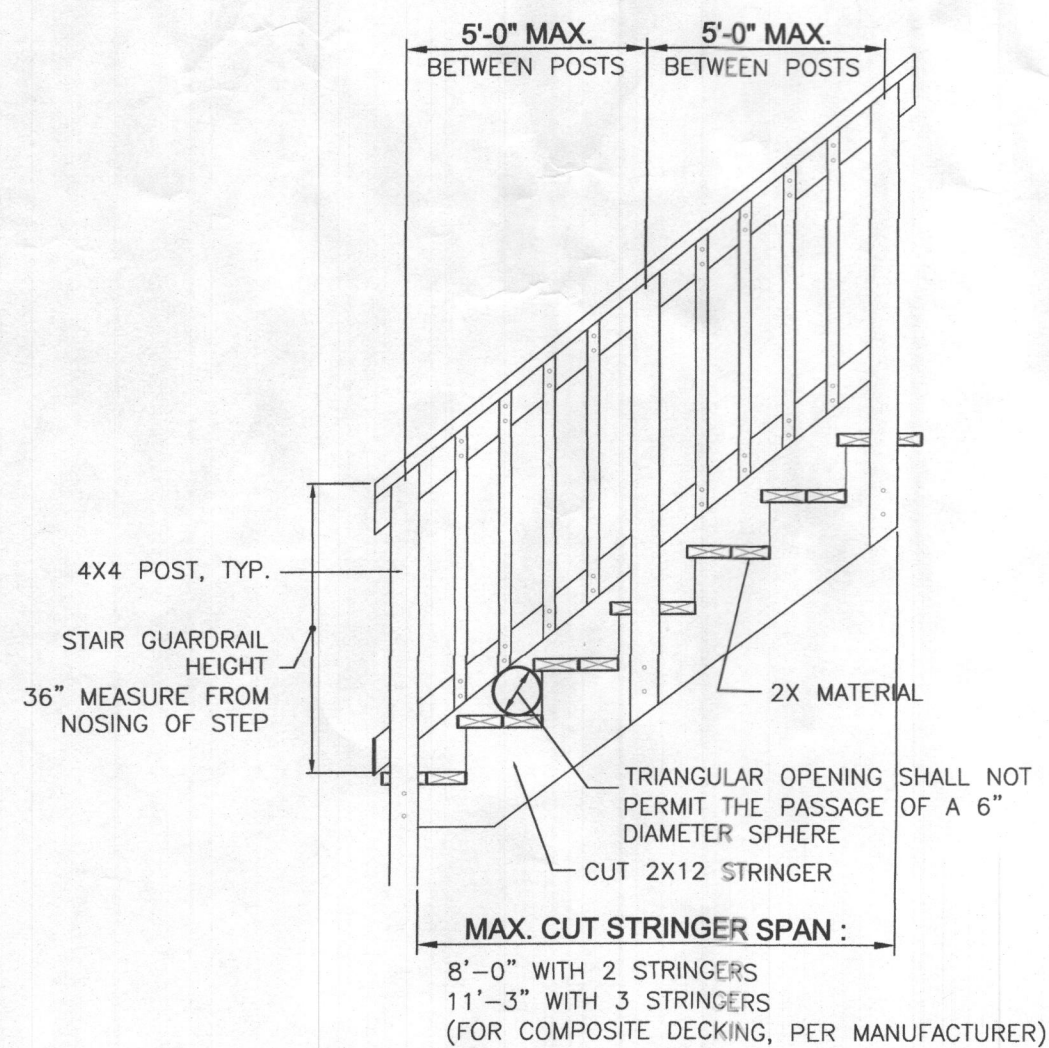
3 TYPICAL SECTION DETAIL



8 TYPICAL FOOTING DETAIL



7 TYPICAL HANDRAIL DETAIL



9 TYPICAL STAIR DETAIL

2 MAXIMUM BEAM SPAN LENGTH

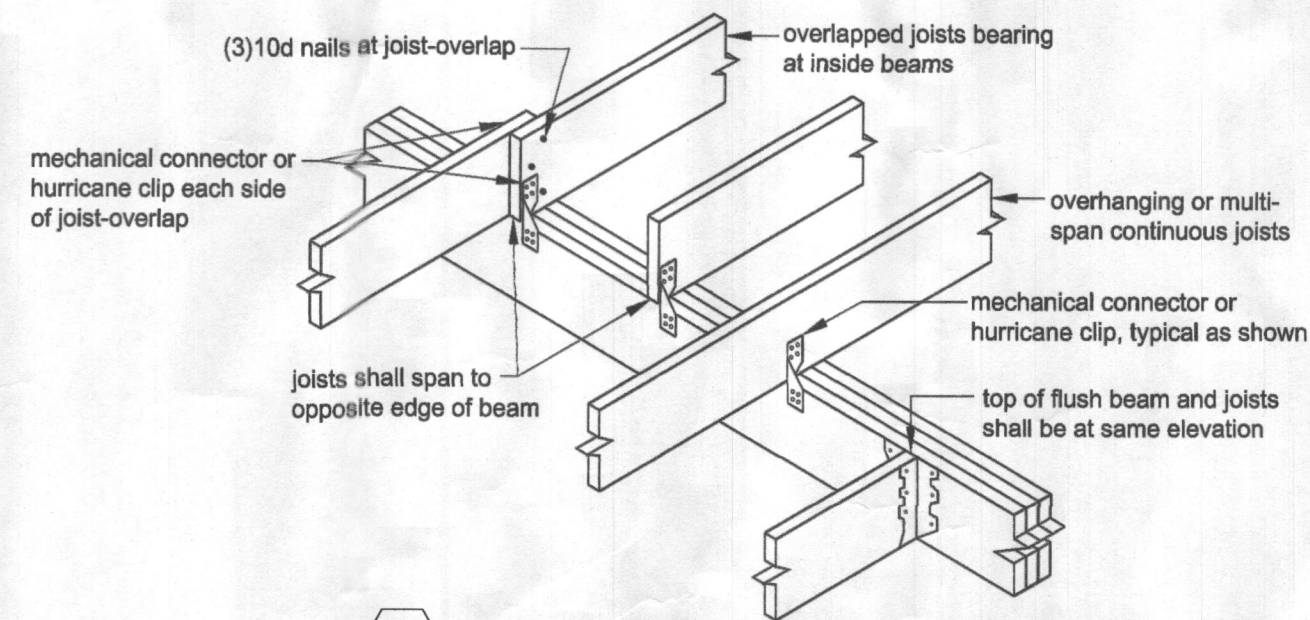
Joist Span less than or equal to:	(number of plies) Beam Size							
	(2)2x6	(2)2x8	(2)2x10	(2)2x12	(3)2x6	(3)2x8	(3)2x10	(3)2x12
6'	6'-11"	8'-9"	10'-4"	12'-2"	8'-2"	10'-10"	13'-0"	15'-3"
8'	5'-11"	7'-7"	9'-0"	10'-7"	7'-5"	9'-6"	11'-3"	13'-3"
10'	5'-4"	6'-9"	8'-0"	9'-5"	6'-8"	8'-6"	10'-0"	11'-10"
12'	4'-10"	6'-2"	7'-4"	8'-7"	6'-1"	7'-9"	9'-2"	10'-9"
14'	4'-6"	5'-9"	6'-9"	8'-0"	5'-8"	7'-2"	8'-6"	10'-0"
16'	4'-3"	5'-4"	6'-4"	7'-6"	5'-3"	6'-8"	7'-11"	9'-4"
18'	4'-0"	5'-0"	6'-0"	7'-0"	5'-0"	6'-4"	7'-6"	8'-10"

Spans are based on 40 PSF live load, 10 PSF dead load, southern pine #2, normal loading duration, wet service conditions and deflections of $\Delta = l/360$ for main span and $l/180$ for overhang with a 220 lb. point load.

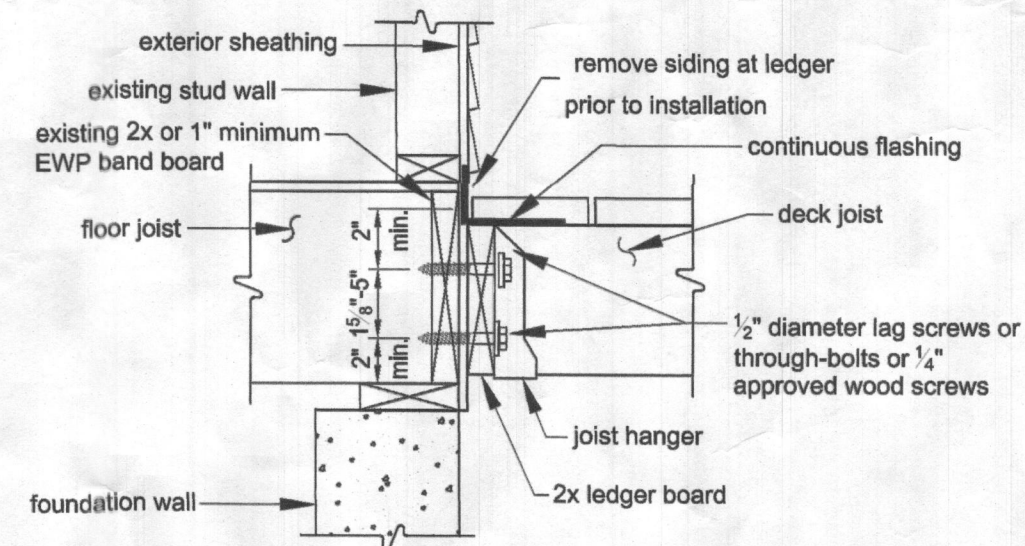
1 MAXIMUM JOIST SPAN LENGTH

Joist Spacing (inches on center)	Joist Size	Allowable Span	Allowable Overhang ¹
12	2x6	9'-11"	1'-3"
	2x8	13'-1"	2'-1"
	2x10	16'-2"	3'-4"
16	2x12	18'-0"	4'-6"
	2x6	9'-0"	1'-4"
	2x8	11'-10"	2'-3"
24	2x10	14'-0"	3'-6"
	2x12	16'-6"	4'-2"
	2x6	7'-7"	1'-6"
	2x8	9'-8"	2'-5"
	2x10	11'-5"	2'-10"
	2x12	13'-6"	3'-4"

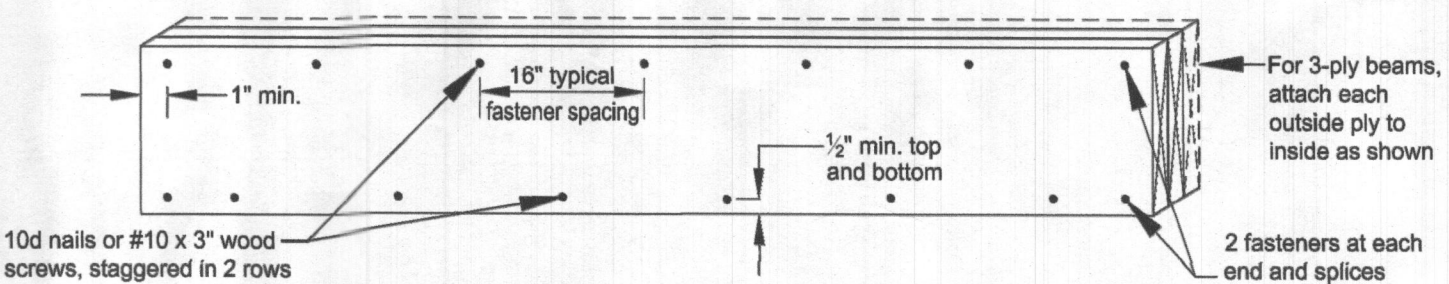
¹ Overhang dimension shall not exceed one-fourth of the actual joist span.



4 TYPICAL JOIST-BEAM CONNECTION DETAIL



5 TYPICAL LEDGER BOARD ATTACHMENT DETAIL



10 TYPICAL BUILT-UP BEAM and BEAM TO POST DETAIL

PROJECT
PROJECT NUMBER 230505_HJ

DECK

2920 NEW ROVER ROAD

WEST FRIENDSHIP, MD 21794

OWNER/CUSTOMER

ISSUED DRAWING LOG

NO.	DATE	DESCRIPTION
EP1	05.08.23	DECK PLAN
REV 1		REVISION 1
REV 2		REVISION 2

TITLE

GENERAL DETAILS

A-2

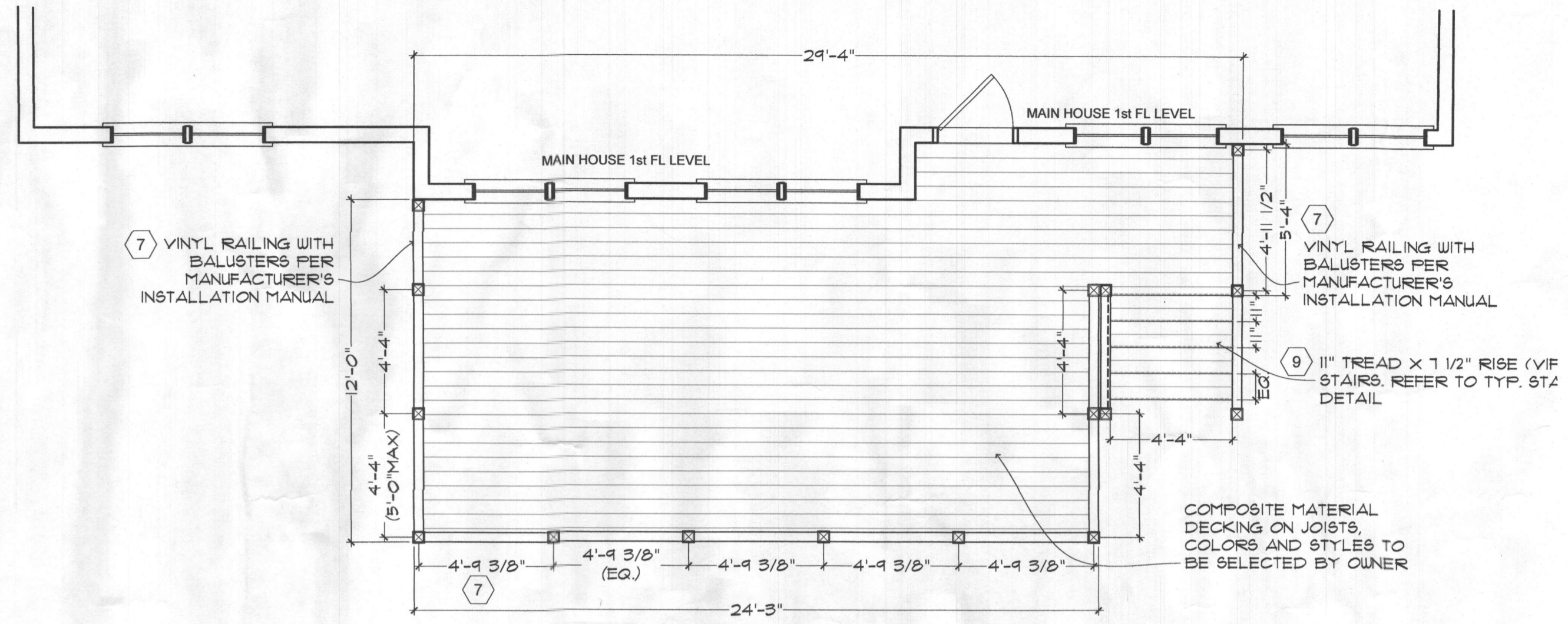
2021 INTERNATIONAL RESIDENTIAL CODE

DESIGN LOADS

- Ground snowload - 25 psf
- 120 MPH max. per T-1604.5/Risk Category
- Attics with storage - 20 psf
- Decks - 40 psf
- Balconies - 60 psf
- Rooms (other than sleeping) - 40 psf
- Sleeping areas - 30 psf
- Passenger vehicle garages - 50 psf (2000 lb point load over 20 sq. in area)
- Handrails - 200 lb concentrated lateral load
- Soil bearing capacity - 2,000 psf

FRAMING

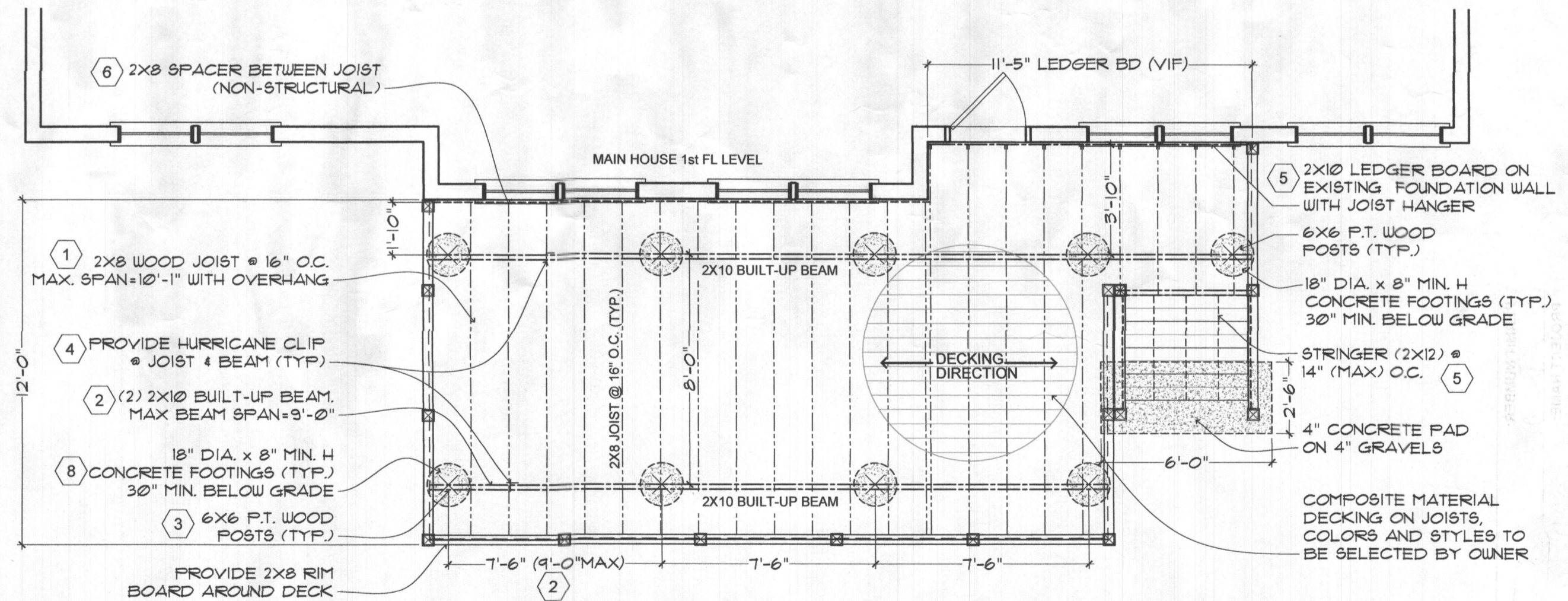
- Must be spaced 16 inches on centers
- Must be bolted to foundation with bolts of not less than one-half inch in diameter at 6 feet maximum centers
- Minimum embedded to a depth of not less than 8 inches in placed concrete
- Less than 15 inches in width of all wall supported thereon
- Pressure treated joists < 18" to ground
- Provide double joists under oversize bathroom tubs
- Provide 15 1/2 heel at roof truss bearings for R-49 insulation installation
- Provide collar ties or structural ridge at framed roofs less than 3 1/2 in 12 pitch
- Deck construction must comply with all specifications provided in the Deck Construction Guide



1 PROPOSED DECK PLAN
SCALE: 1/4"=1'-0"

X SHEET KEY NOTES

- 1 REFER TO TABLE 1: MAXIMUM JOIST SPAN LENGTH
- 2 REFER TO TABLE 2: MAXIMUM BEAM SPAN LENGTH & BEAM FLY FASTENING
- 3 REFER TO TYPICAL SECTION DETAIL 1
- 4 REFER TO JOIST-TO-BEAM CONNECTION DETAIL.
- 5 REFER TO LEDGER BOARD ATTACHMENT DETAILS.
- 6 2X8 SPACER or LEDGER ON JOIST END, 'NOT' TO THE EXISTING STRUCTURE.
- 7 REFER TO TYPICAL HANDRAIL DETAIL FOR REQUIRED SPACING.
- 8 REFER TO TYPICAL FOOTING DETAILS.
- 9 REFER TO TYPICAL STAIR DETAIL.
- 10 REFER TO TYPICAL BUILT-UP BEAM & BEAM TO POST DETAIL.



2 DECK FRAMING PLAN
SCALE: 1/4"=1'-0"

PROJECT
PROJECT NUMBER 230505_HJ

DECK

2920 NEW ROVER ROAD
WEST FRIENDSHIP, MD 21794

OWNER/CLIENT

ISSUED DRAWING LOG
NO. DATE DESCRIPTION
EP1 05.08.23 DECK PLAN

REVISION 1
REVISION 2

TITLE

PROPOSED DECK

SHEET NUMBER

A-1