

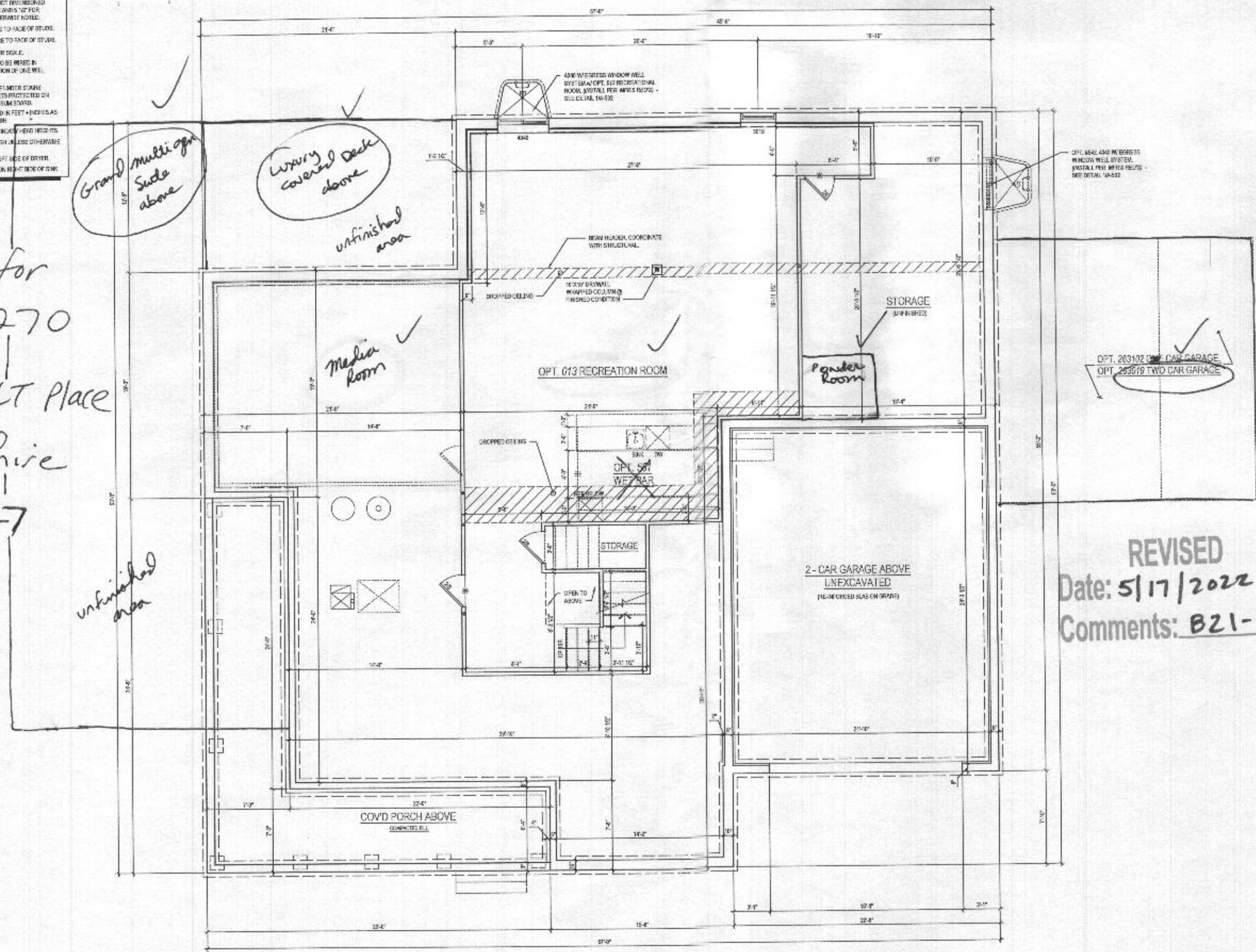
Health Dept

- GENERAL PLAN NOTES**
- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3/4" FOR INTERIOR AND 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
 - ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
 - ALL DIMENSIONS COVER OVER SICK.
 - ALL SMOKE DETECTORS ARE TO BE WIRE IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THE WHOLE.
 - INCLUDED ACCESSIBLE SPACE WITH STAIRS SHALL HAVE WALLS AND BUFFERS PROTECTED ON ENCLOSED SIDE WITH 1/2" OFFSHOOT BOARD.
 - ALL WINDOWS SHALL BE NOTED IN FEET + INCHES AS MEASURED FROM DASH TO DASH.
 - REFER TO ELEVATIONS FOR WINDOW HEAD INTO ITS.
 - ALL DOORS ARE TO BE 2" HIGH UNLESS OTHERWISE NOTED.
 - WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
 - DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

Grand Multi-ign Side above
 Luxury covered deck above
 unfinished area

revision for
 B21003270
 7004 Colt Place
 willowshire
 lot 27

unfinished area



REVISED
 Date: 5/17/2022
 Comments: B21-3270

1 PART. BASEMENT PLAN
 A-101 SCALE: 1/4" = 1'-0"
 13A 2022.05.17

W/ OPT. 013 - RECREATION ROOM
 see additional pages for "fairview" elev.
 Craftsmen elev shown

ARCHITECT:

8521 Lessard Pike
 Suite 700 | Vienna, VA 22182
 P: 71.830.1800 | F: 71.830.1801
 www.lessarddesign.com

OWNER:

TOLL BROTHERS
 10075 BELMONT EXECUTIVE PLAZA
 SUITE 200
 FARMERSBURG, VA 22147
 P: 571.291.6666
 F: 571.227.0786
 CONTACT: CHRISTINA LENLEY
 CLENLEY@tollbrothers.com

PROJECT NAME: KALORAMA

SHEET TITLE: FLOOR PLANS

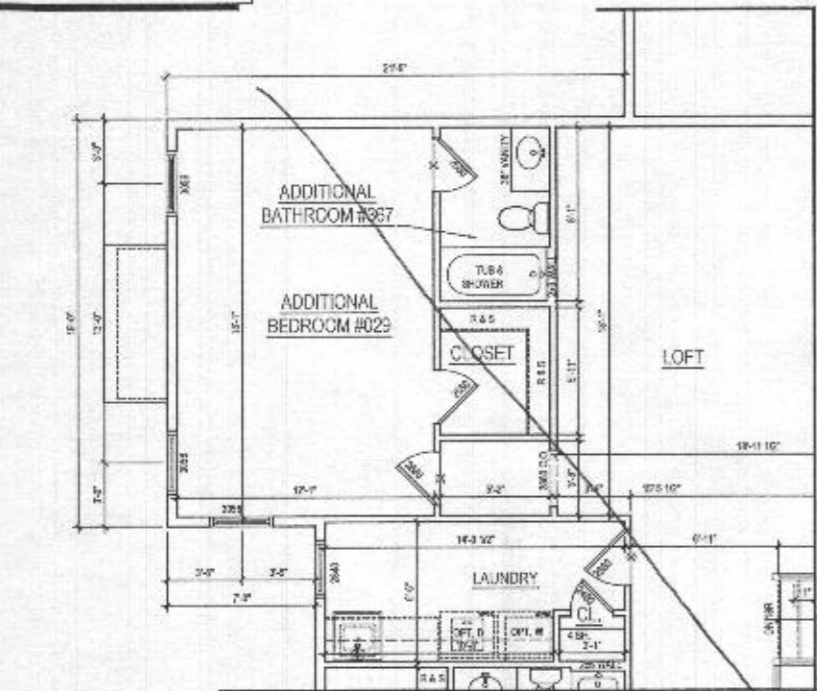
NO.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT	03.25.20
2	PERMITS	04.08.20
3	WILLOW CREEK PERMIT SET	12.05.20
4	LEDAH HILL PERMIT SET	12.05.20

PROJECT No: 19-0181
 DRAWN BY: AC & AM
 CHECKED BY: RM & AD
 PLOT DATE: Dec 10, 2022
 PLOT BY: TTB LUK AIGS 2022

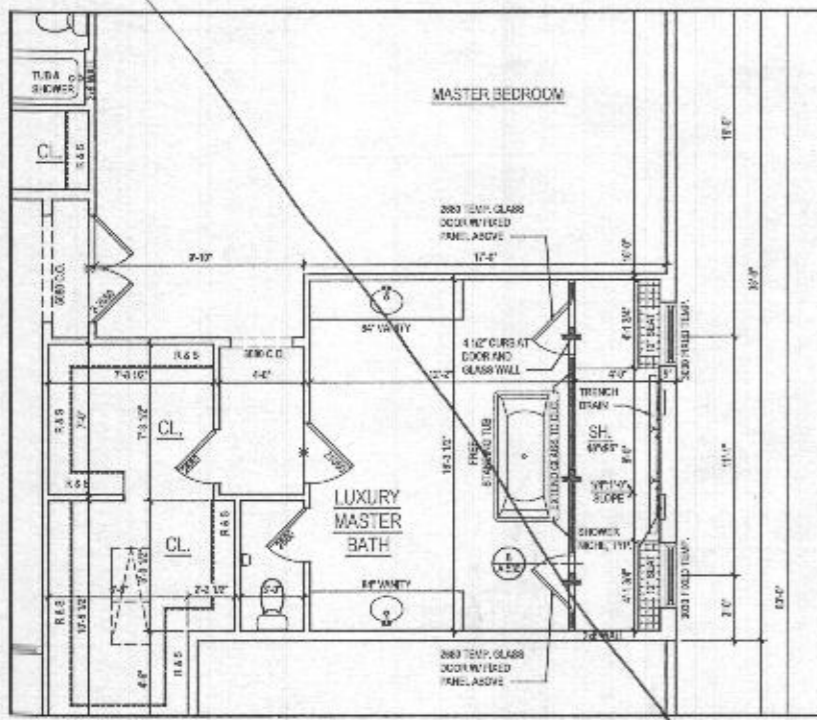
A-101

GENERAL PLAN NOTES

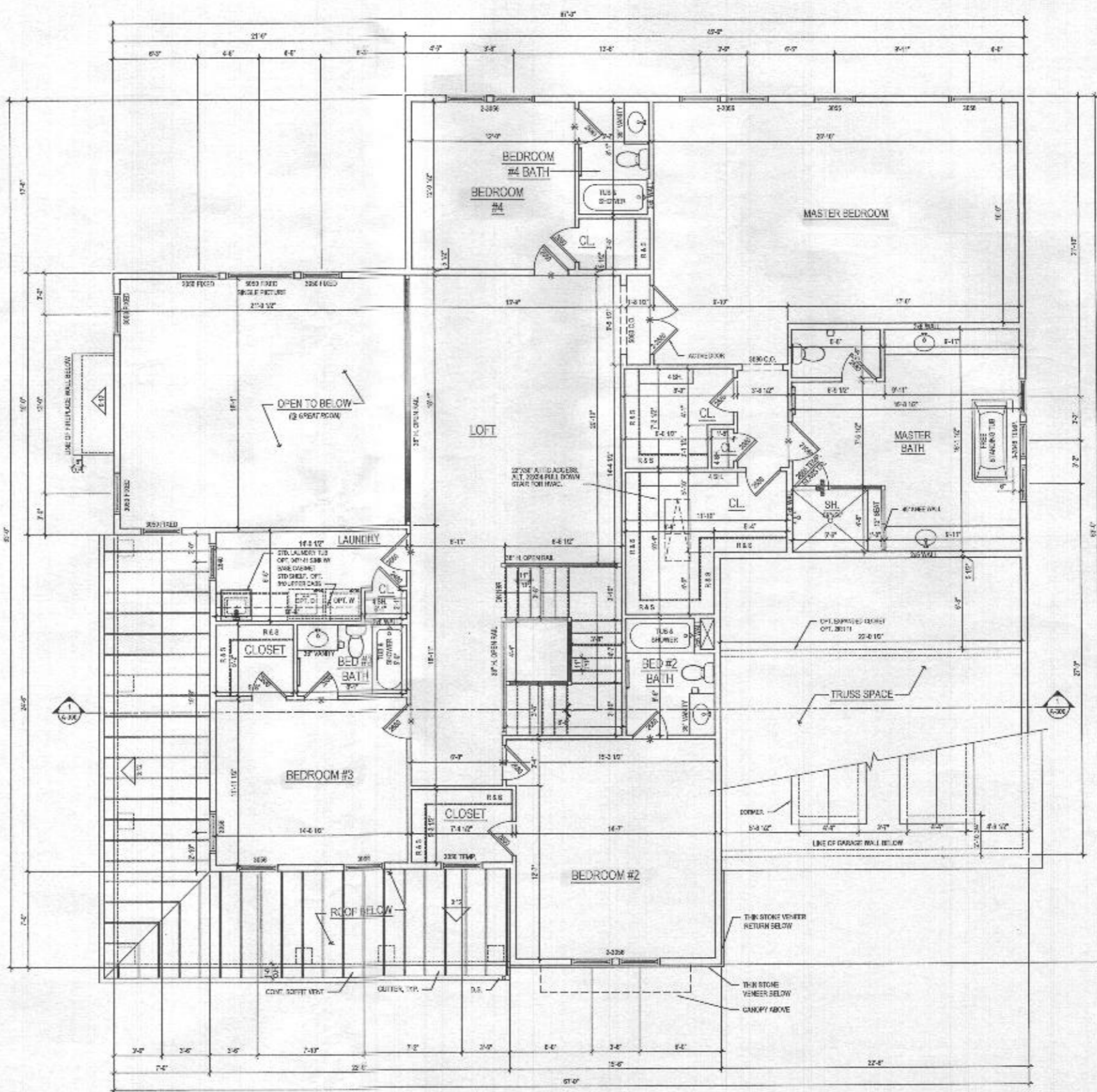
- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 16" FOR INTERIOR AND 8" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- D. ALL DIMENSIONS GOVERN OVER SCALE.
- E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- F. UNLESS ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND DOORFRAMES PROTECTED ON ONE-SIDE AND COVERED BY FURNISHINGS.
- G. ALL WINDOWS SIZE ARE IN FEET AND INCHES AS MEASURED FROM SASH TO SASH.
- H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- I. ALL DOORS ARE TO BE OPENED FROM INSIDE UNLESS OTHERWISE NOTED.
- J. WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
- K. DRYER ALWAYS TO BE ON RIGHT SIDE OF WASHER.



3 PART. 2ND FLOOR PLAN w/ OPT. ADDITIONAL BEDROOM #029
A-120 SCALE: 1/4"=1'-0"
DATE: 05/20/20




2 PART. SECOND FLOOR PLAN w/ OPT. 055 - LUXURY MASTER BATH
A-120 SCALE: 1/4"=1'-0"
DATE: 05/20/20



1 SECOND FLOOR PLAN
A-120 SCALE: 1/4"=1'-0"
DATE: 05/20/20

@ ELEV. 1 - CRAFTSMAN
2/28/2020



lessard
DESIGN

8571 Leebing Pike
Suite 700 | Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801
www.lessarddesign.com

SEALED & SIGNED

OWNER:

TOLL BROTHERS
10775 BELMONT EXECUTIVE PLAZA
SUITE 450
A/B BLDG. VA 22147
P: 571.281.8866
F: 703.227.2736
CONTACT: CHRISTINA LEMLEY
CLEVELY@tollbrothers.com

PROJECT NAME: **KALORAMA**

ISSUE / REVISION

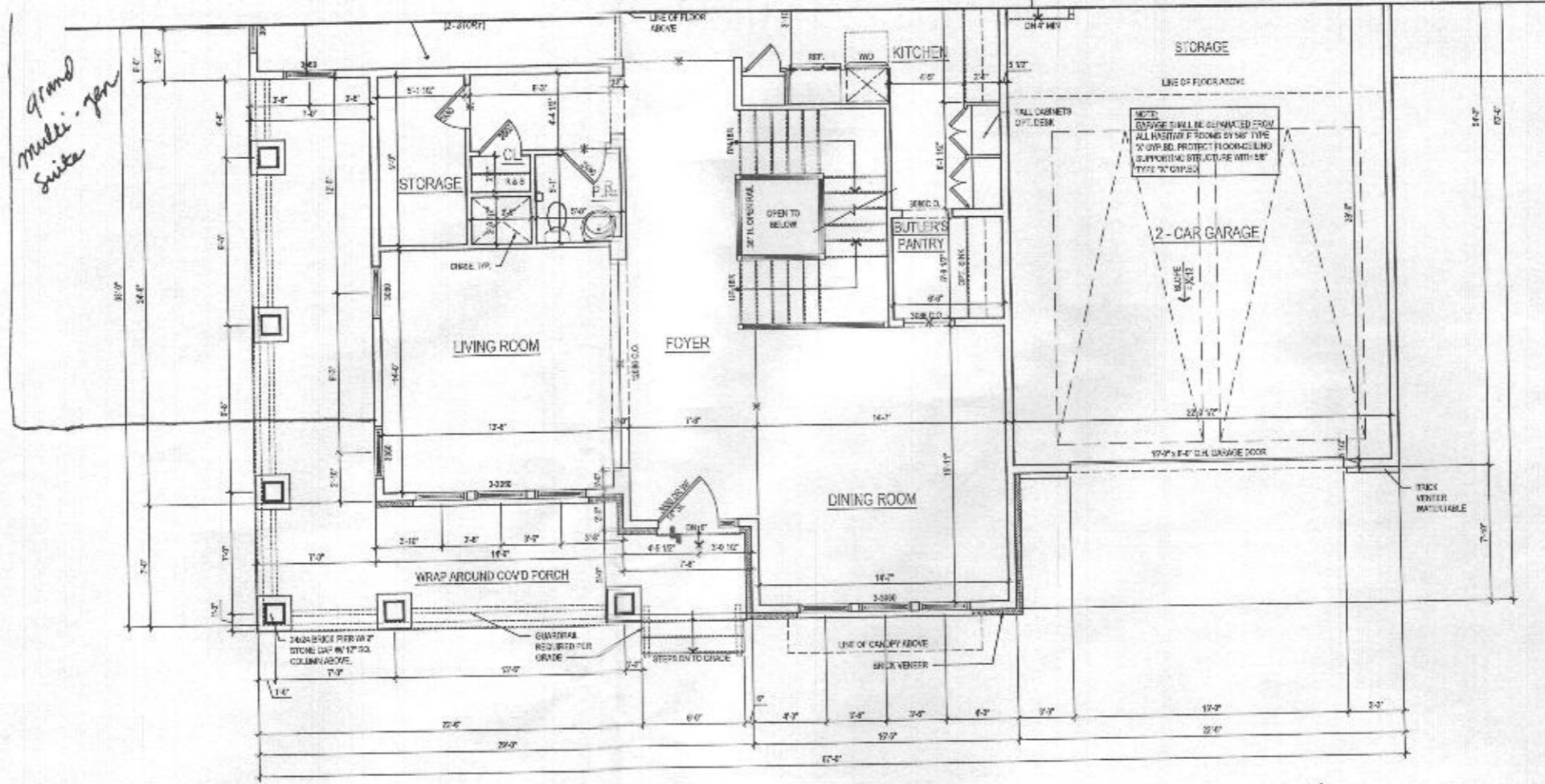
NO.	DESCRIPTION	DATE
01	DESIGN DEVELOPMENT	03.23.20
02	RED SET	04.30.20
03	WILLOW CREEK PRINT SET	12.22.20
04	LENNY HILL PRINT SET	12.22.20

PROJECT NO: 1912016
DRAWN BY: JH/BJP
CHECKED BY: JH/BJP
PLOT DATE: Dec. 14, 2020
FILE NAME: KALORAMA_A120.dwg

A-120

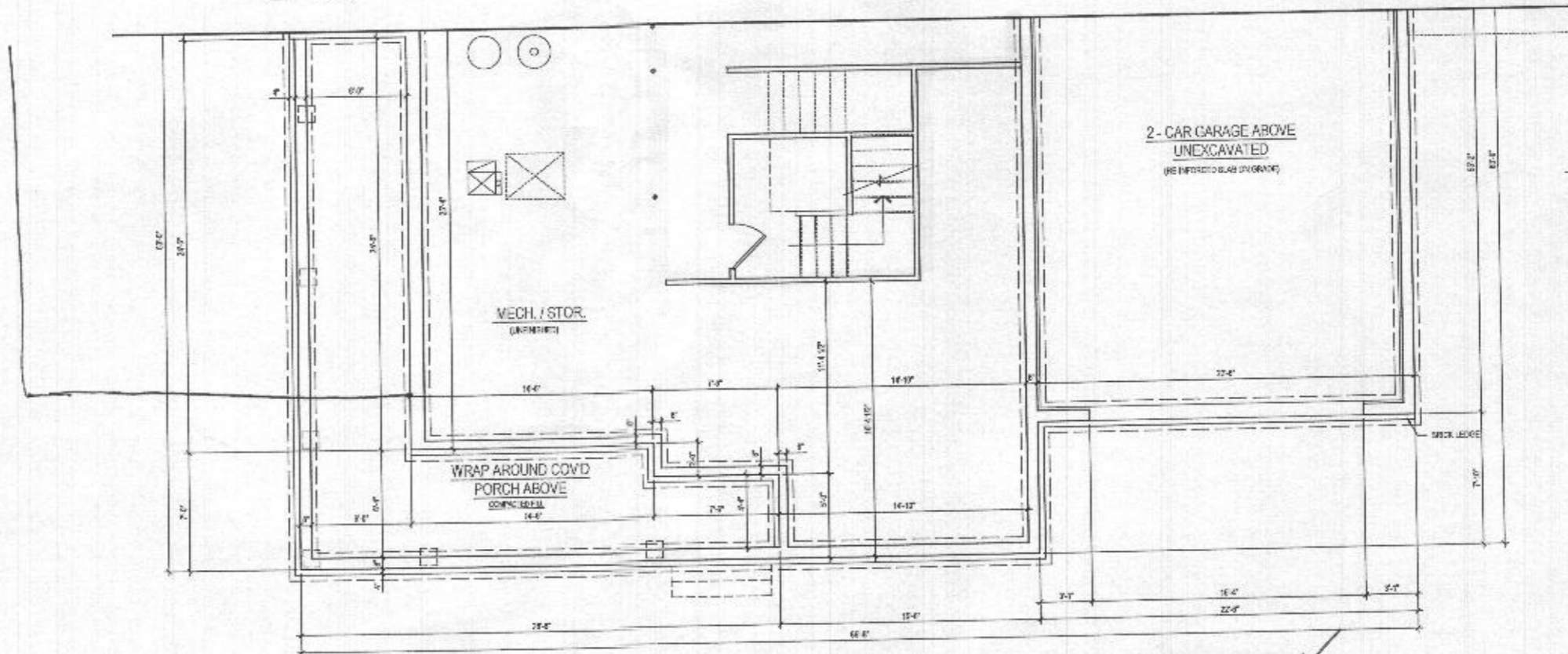
GENERAL PLAN NOTES

- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3/4" FOR INTERIOR AND 2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- D. ALL DIMENSIONS GOVERN OVER SCALE.
- E. ALL SMOKE DETECTORS ARE TO BE WERED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALKWAYS AND SUPPORT PROVIDED ON EACH SIDE WITH 4" OF OPEN SPACE.
- G. ALL WINDOWS SHALL BE NOTED IN FEET - INCHES AND MEASURED FROM FINISH TO FINISH.
- H. REFER TO SCHEDULES FOR WINDOW HEAD HEIGHTS.
- I. ALL DOORS ARE TO BE 80" HIGH UNLESS OTHERWISE NOTED.
- J. WASH TRAYS ALWAYS TO BE ON LEFT SIDE OF SINK.
- K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



2 PART. FIRST FLOOR PLAN
A-170 SCALE: 1/4" = 1'-0"

@ ELEV. 5 - FAIRVIEW
3,181.3 SQ. FT.



1 PART. BASEMENT FLOOR PLAN
A-170 SCALE: 1/4" = 1'-0"

@ ELEV. 5 - FAIRVIEW



lessard DESIGN

8521 Leesburg Pike
Suite 700 | Vienna, VA 22182
P: 703.830.1800 | F: 571.830.1801
www.lessarddesign.com

SCALE & SIGNATURE

TOLL BROTHERS
19775 BELMONT EXECUTIVE PLAZA
SUITE 250
ASHBURN, VA 20147
P: 571.291.0700
F: 703.527.1750
CONTACT: CHRISTINA LEMLEY
CLEMLEY2@tollbrothers.com

KALORAMA

FLOOR PLANS

PROJECT NAME: _____
SHEET TITLE: _____

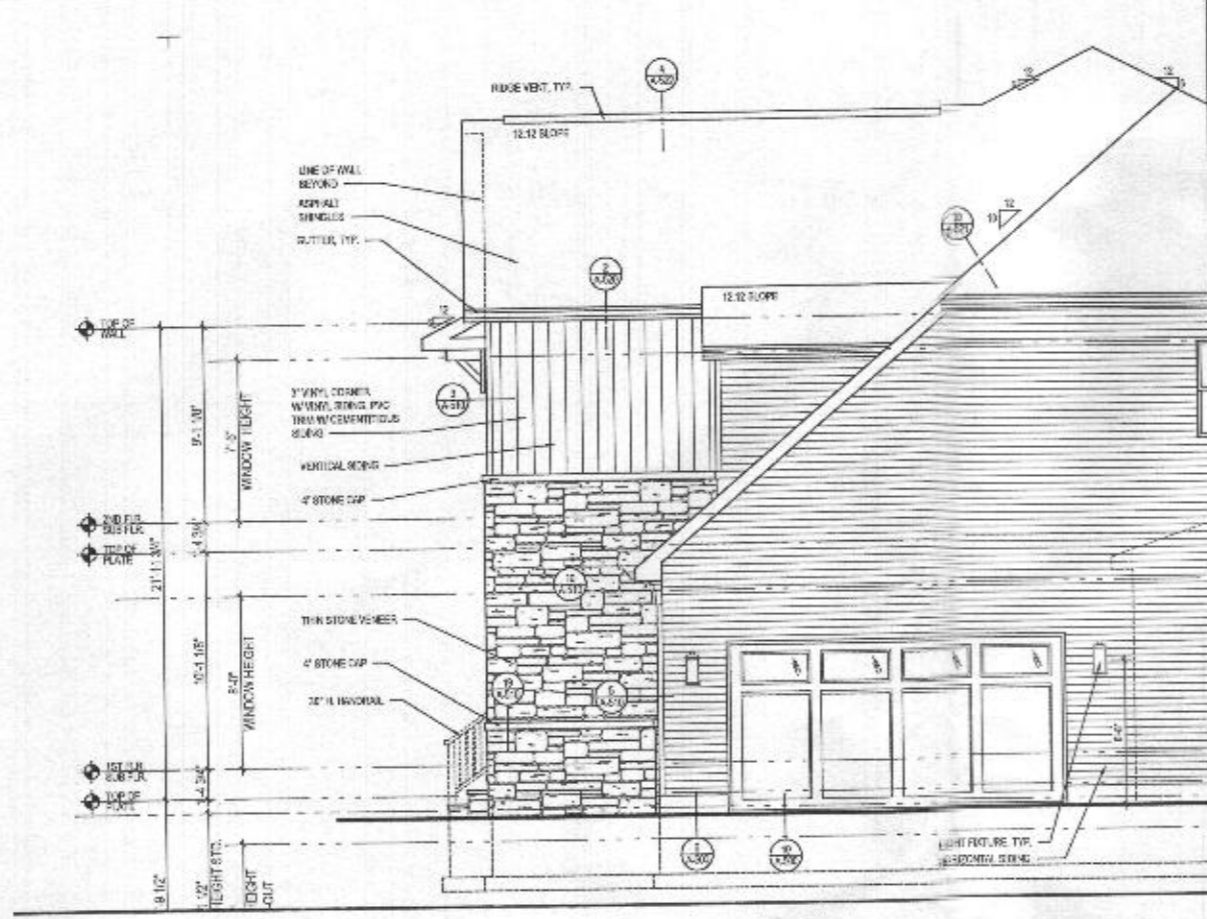
ISSUE / REVISION		
NO.	DESCRIPTION	DATE
1	ISSUE DEVELOPMENT	07.20.20
2	REV SET	06.30.20
3	MULLION CHECK PERMIT SET	12.22.20
4	FINAL WALL PERMIT SET	12.22.20

PROJECT NO: _____
DRAWN BY: AC & AB
CHECKED BY: KR & AP
PLotted DATE: Dec 16, 2022
FILE NAME: TOLLBROTH.ALT

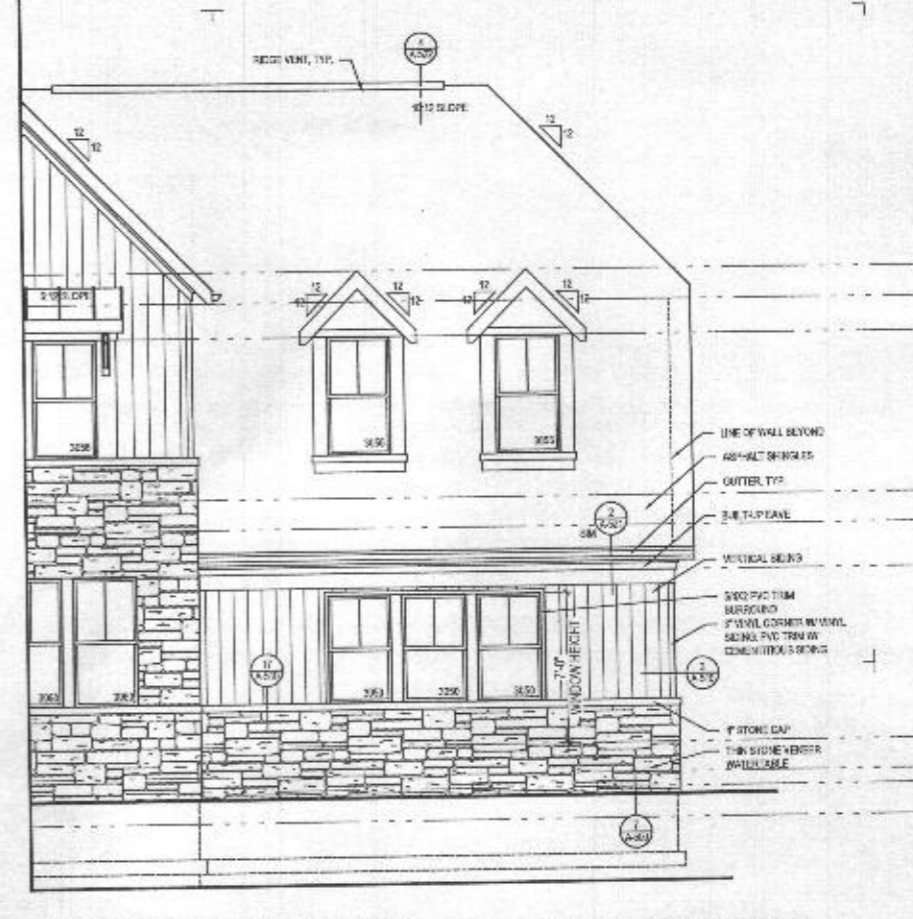
A-170

GENERAL PLAN NOTES

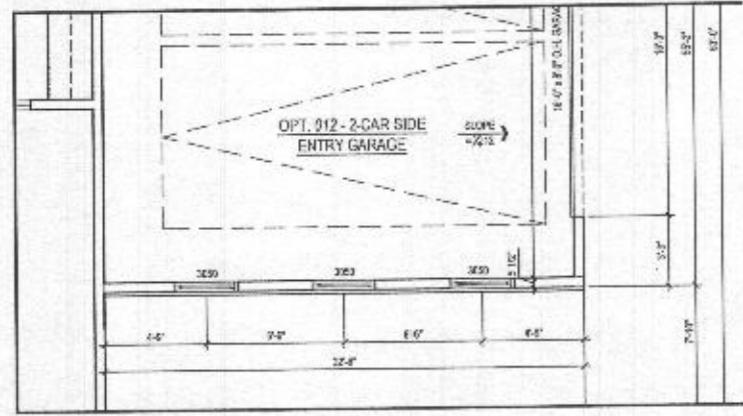
- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 2"X4" FOR INTERIOR AND 2"X6" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
- D. ALL DIMENSIONS GOVERN OVER SCALE.
- E. ALL DIMENSIONS DETECTORS ARE TO BE WISED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND CEILING PROTECTED ON ENCLOSED SIDE WITH 1/2" GYP. BOARD.
- G. ALL WINDOW SIZES ARE NOTED IN FEET + INCHES AS MEASURED FROM SASH TO SASH.
- H. REFER TO SCHEDULES FOR WINDOW AND DOOR SIZES.
- I. ALL DOORWAYS TO BE 80" HIGH UNLESS OTHERWISE NOTED.
- J. WALKWAYS TO BE ON LEFT SIDE OF DOOR.
- K. CORNER STAIRWAYS TO BE ON RIGHT SIDE OF STAIR.



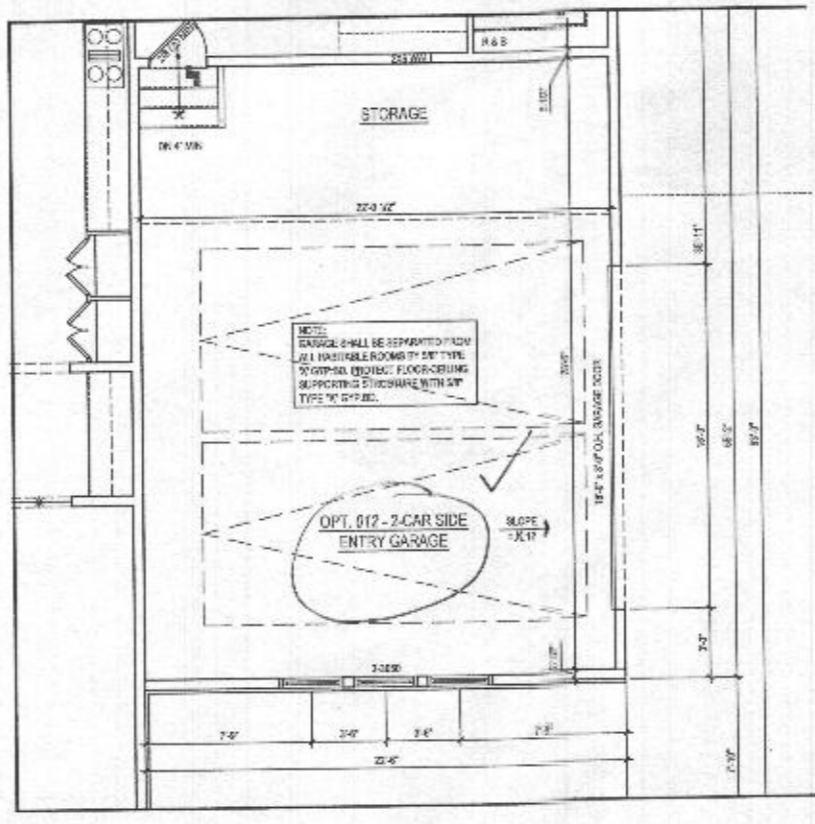
4 PART. RIGHT SIDE ELEVATION w/ OPT. 012 - TWO CAR SIDE ENTRY GARAGE
 SCALE: 1/4"=1'-0"
 DATE: 05/17/2024



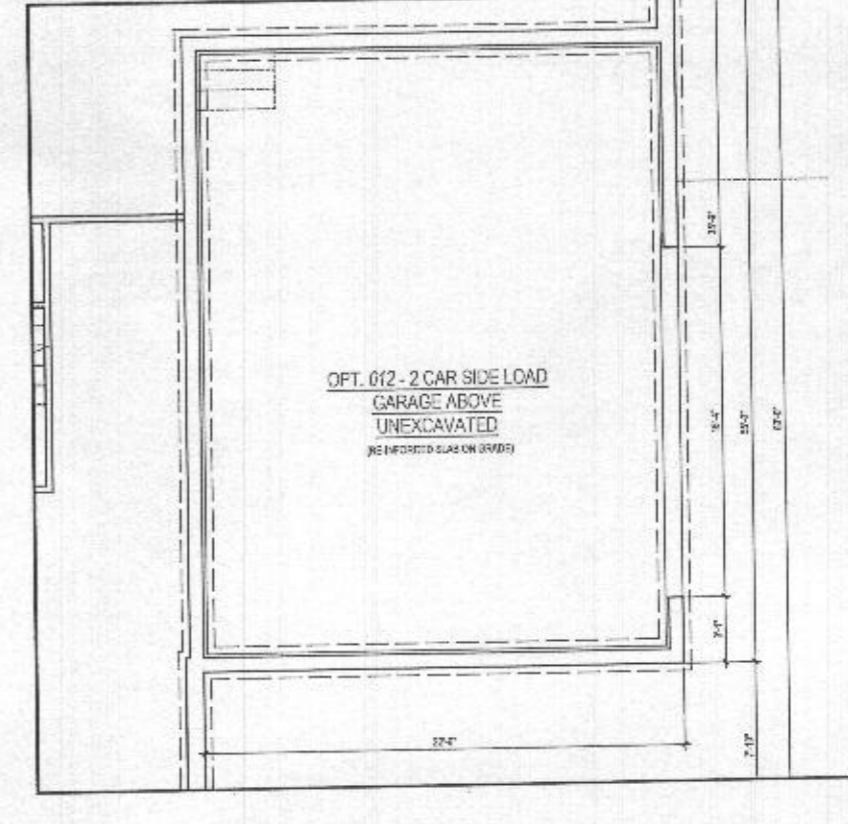
3 PART. FRONT ELEVATION w/ OPT. 012 - TWO CAR SIDE ENTRY GARAGE
 SCALE: 1/4"=1'-0"
 DATE: 05/17/2024



2a PART. FIRST FLOOR PLAN w/ OPT. 012 - TWO CAR SIDE ENTRY GARAGE
 SCALE: 1/4"=1'-0"
 DATE: 05/17/2024



2 PART. FIRST FLOOR PLAN w/ OPT. 012 - TWO CAR SIDE ENTRY GARAGE
 SCALE: 1/4"=1'-0"
 DATE: 05/17/2024



1 PART. BASEMENT FLOOR PLAN w/ OPT. 012 - TWO CAR SIDE ENTRY GARAGE
 SCALE: 1/4"=1'-0"
 DATE: 05/17/2024

lessard DESIGN
 8321 Leesburg Pike
 Suite 700 | Vienna, VA 22182
 P: 571.830.1800 | F: 571.830.1801
 www.lessarddesign.com

TOLL BROTHERS
 19775 WILMONT EXECUTIVE PLAZA
 SUITE 250
 ASHBURN, VA 20147
 P: 571.221.8058
 F: 703.227.1758
 CONTACT: CHRISTINA LENTLEY
 CLPL@tollbrothers.com

KALORAMA
 PROJECT NAME: #012 - TWO CAR SIDE ENTRY GARAGE ILO STANDARD GARAGE

NO.	DESCRIPTION	DATE
1	CONCEPT DEVELOPMENT	05.24.24
2	RED SET	06.20.24
3	WILLIAM CREEK PERMIT SET	12.22.24
4	LENNHILL PERMIT SET	12.22.24

A-400

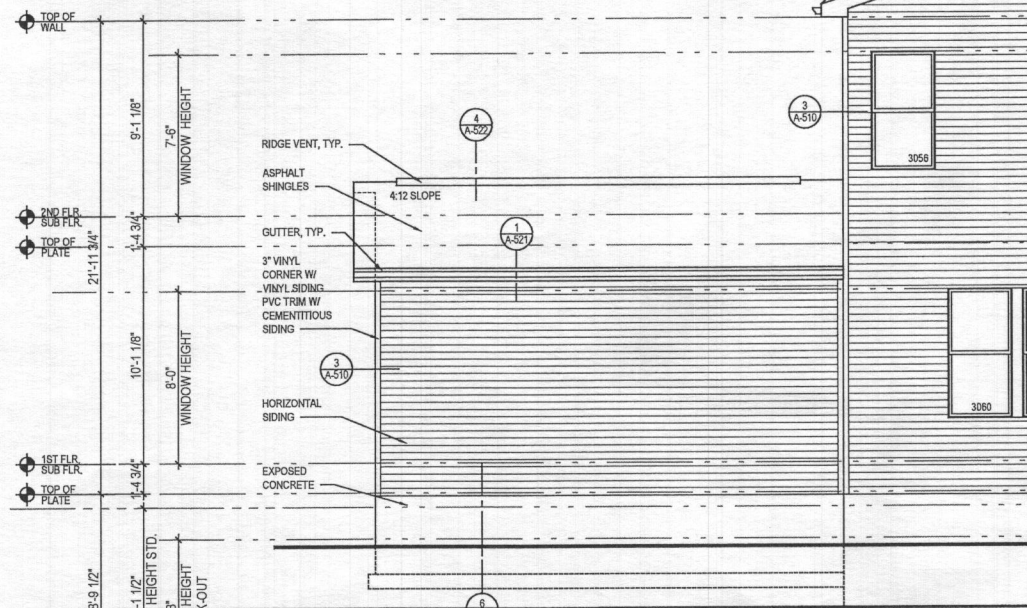
GENERAL PLAN NOTES

- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- D. ALL DIMENSIONS GOVERN OVER SCALE.
- E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- G. ALL WINDOWS SIZE ARE NOTED IN FEET + INCHES AS MEASURED FROM SASH TO SASH.
- H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- I. ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
- J. WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
- K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

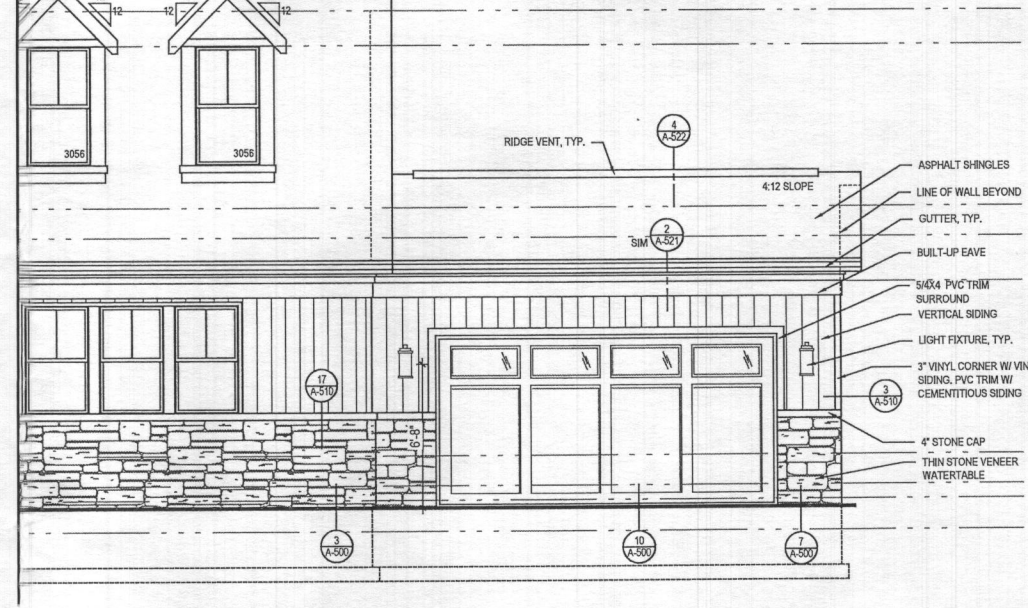
ROOF VENTILATION CALCULATIONS - ADDITIONAL TWO CAR GARAGE

ROOF AREA	=	484.00 SQ. FT.
/ 300	=	1.61 SQ. FT.
x 12 x 12	=	232.32 SQ. IN.
SOFFIT VENT - REQUIRED (INTAKE @ 9 SQ. IN. / FT.)	=	25.81 FT.
SOFFIT VENT - PROVIDED	=	46.00 FT.

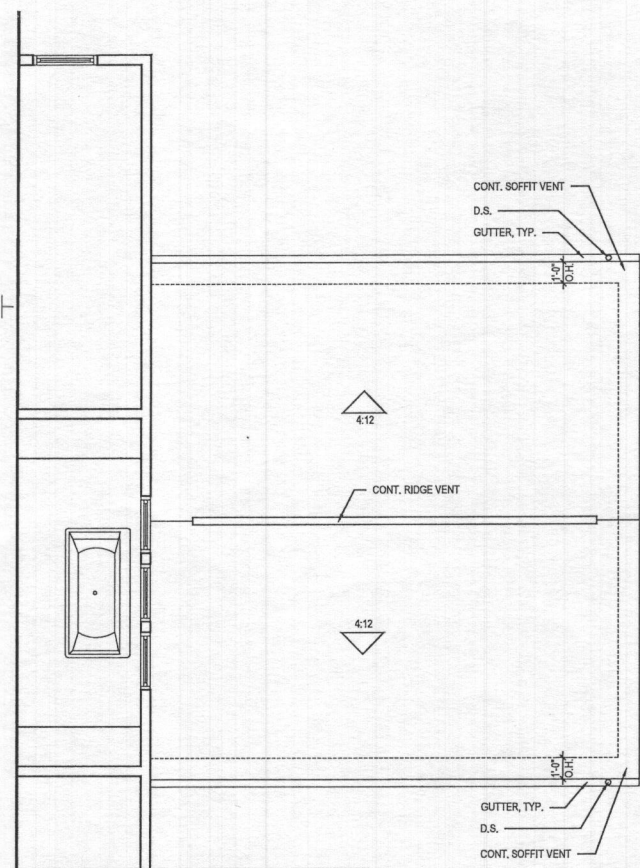
REFER TO A-401 FOR SIDE ELEVATION. SAME AS ONE CAR GARAGE



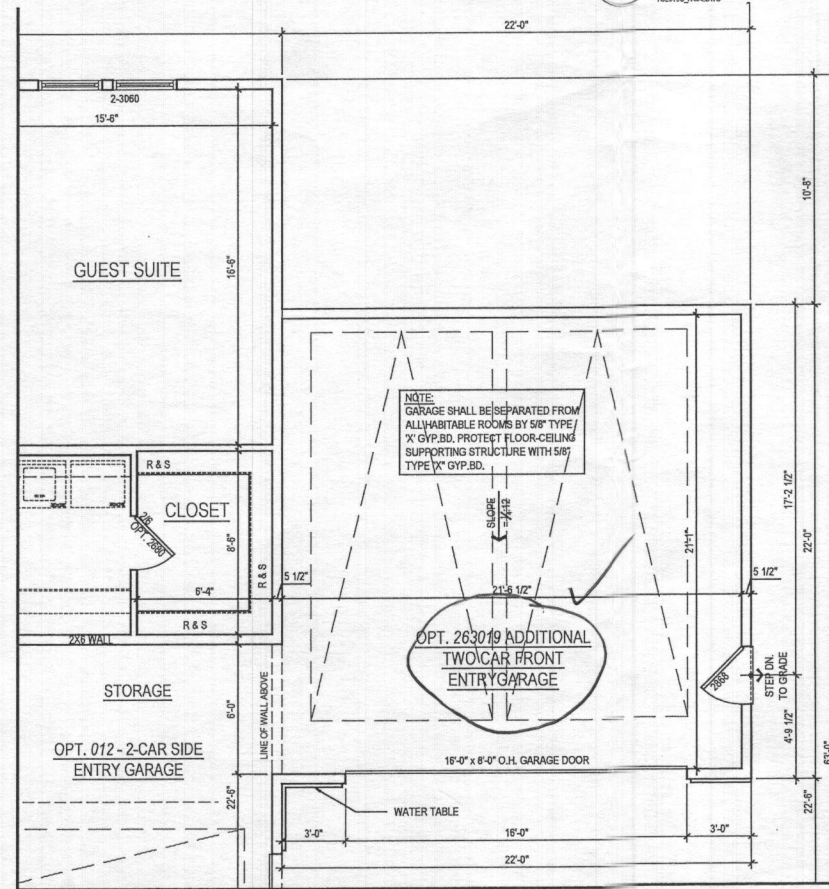
5 PART. REAR ELEVATION w/ OPT. 263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE
 SCALE: 1/4"=1'-0"
 TOL019C_A404.DWG



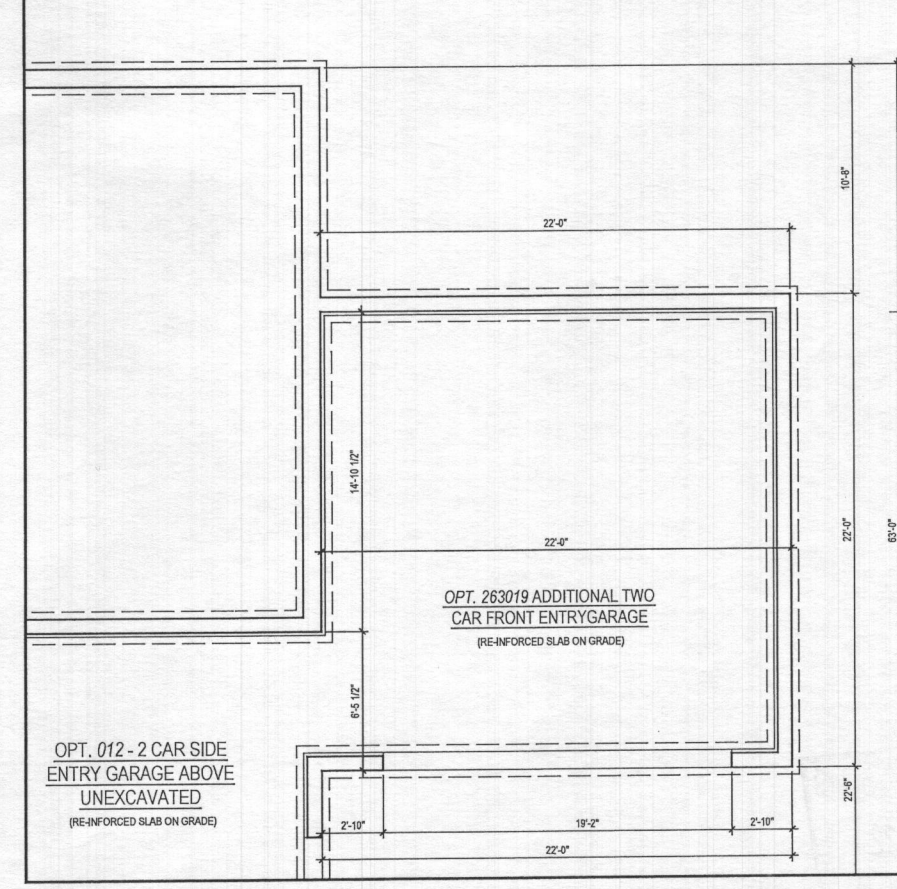
4 PART. FRONT ELEVATION w/ OPT. 263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE
 SCALE: 1/4"=1'-0"
 TOL019C_A404.DWG



3 P. SECOND FLOOR w/ OPT. 263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE
 SCALE: 1/4"=1'-0"
 TOL019C_A404.DWG



2 PART. FIRST FLOOR PLAN w/ OPT. 263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE
 SCALE: 1/4"=1'-0"
 TOL019C_A404.DWG



1 PART. BASEMENT FLOOR PLAN w/ OPT. 263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE
 SCALE: 1/4"=1'-0"
 TOL019C_A404.DWG

ARCHITECT:

 8521 Leesburg Pike
 Suite 700 | Vienna, VA 22182
 P: 571.830.1800 | F: 571.830.1801
 www.lessarddesign.com

SEAL & SIGNATURE:
 OWNER:
TOLL BROTHERS
 19775 BELMONT EXECUTIVE PLAZA
 SUITE 250
 ASHBURN, VA 20147
 P: 571.291.8068
 F: 703.327.1736
 CONTACT: CHRISTINA LEMLEY
 CLEMLEY@tollbrothers.com

PROJECT NAME:
KALORAMA
 SHEET TITLE:
#263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE

NO.	ISSUE / REVISION	DATE
DESIGN DEVELOPMENT		03.23.20
BID SET		09.30.20
WILLOW CREEK PERMIT SET		12.22.20
LENAH MILL PERMIT SET		12.22.20

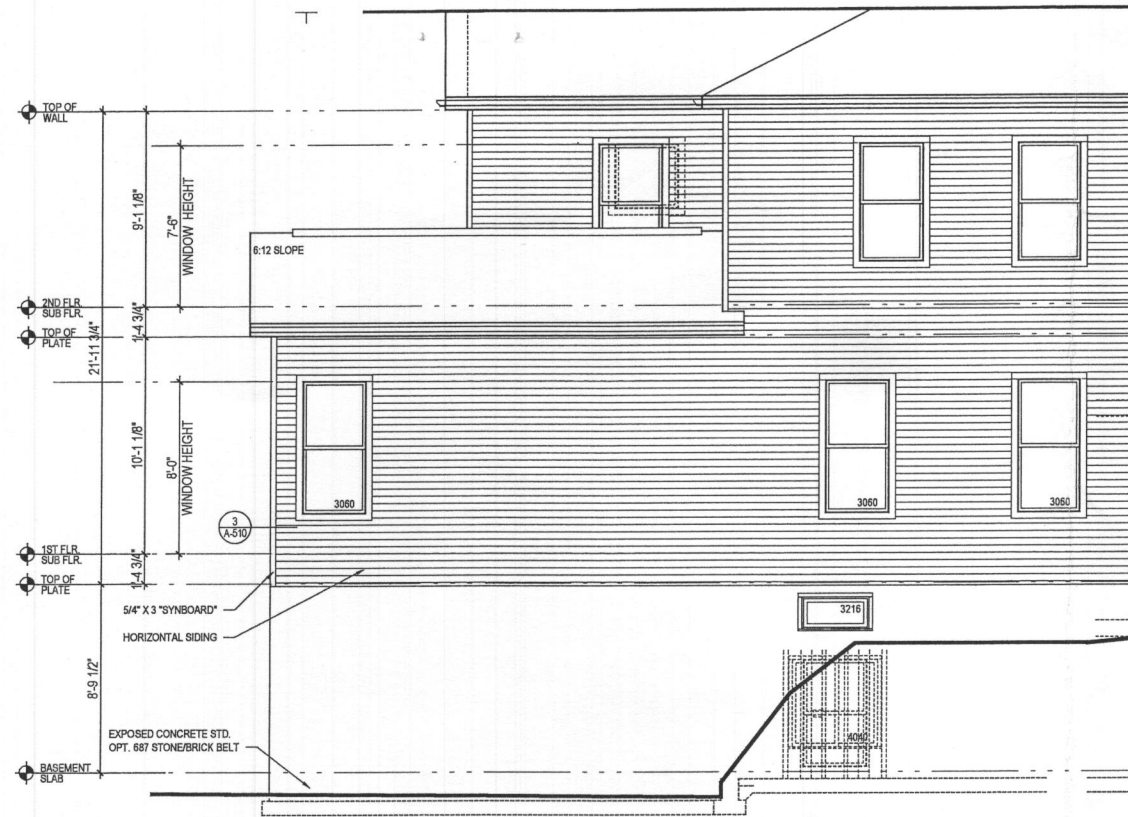
PROJECT No: TOL019C
 DRAWN BY: AC & AN
 CHECKED BY: RN & AP
 PLOT DATE: Dec. 16, 2020
 FILE NAME: TOL019C_A404.dwg

A-404

2020 LESSARD DESIGN INC. EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED OR COPIED BY ANY THIRD PARTY WITHOUT WRITTEN PERMISSION FROM LESSARD DESIGN INC.

GENERAL PLAN NOTES

- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- D. ALL DIMENSIONS GIVEN OVER SCALE.
- E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
- G. ALL WINDOWS SIZE ARE NOTED IN FEET + INCHES AS MEASURED FROM FINISH TO FINISH.
- H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- I. ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
- J. WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
- K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



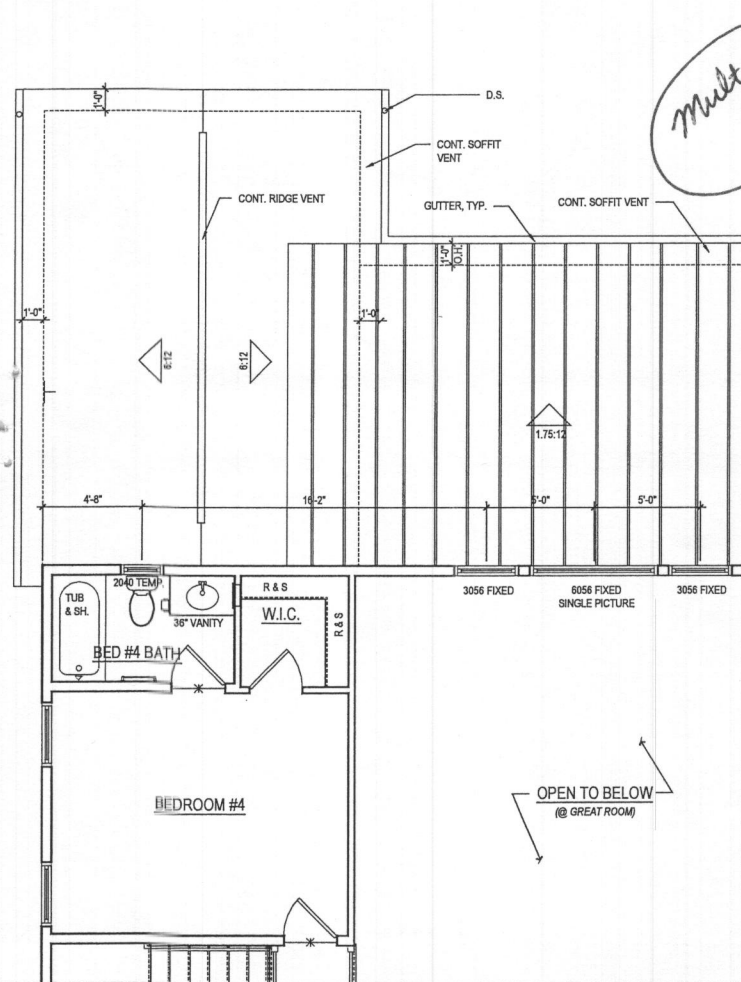
5 PART. LEFT ELEV.
A-407 SCALE: 1/4"=1'-0"
TOLUBIA_A407.DWG

w/ OPT. 263073 MULTI-GEN. SUITE
w/ COVID OUTDOOR LIVING @ WALKOUT CONDITION



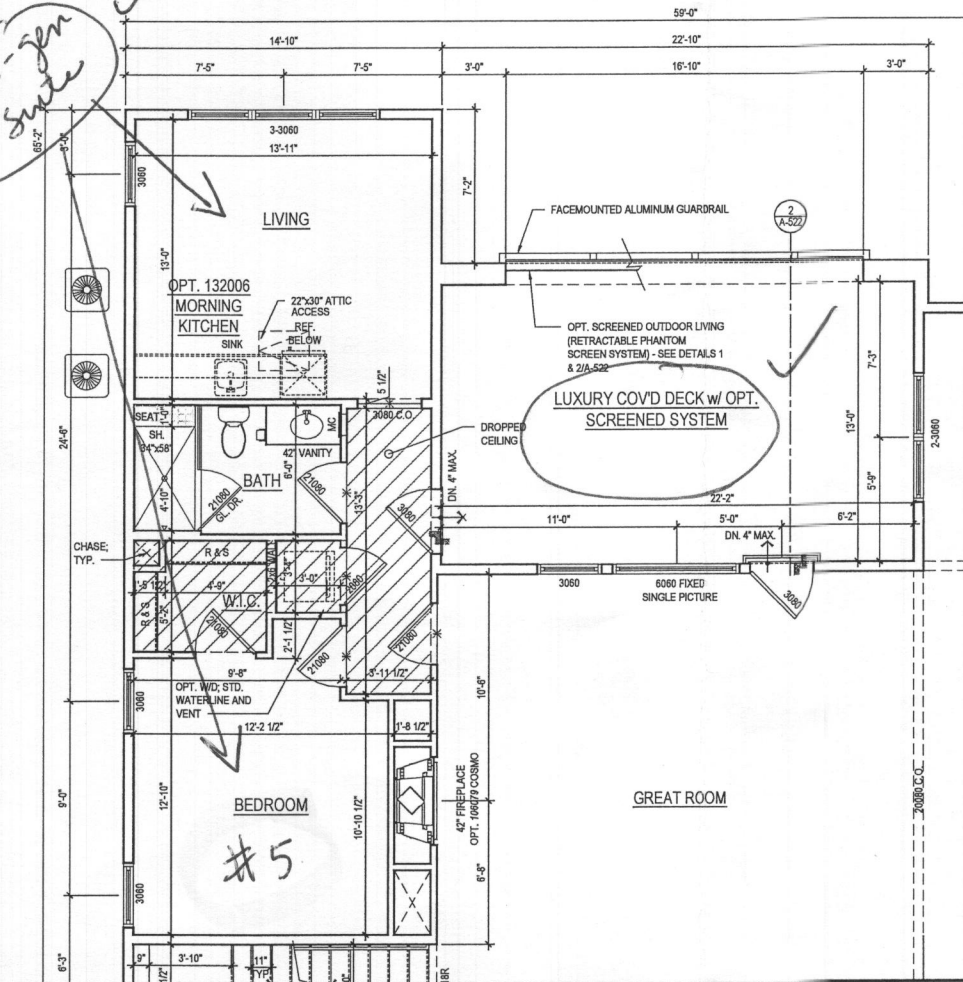
4 REAR ELEVATION
A-407 SCALE: 1/4"=1'-0"
TOLUBIA_A407.DWG

w/ OPT. 263073 MULTI-GEN. SUITE
w/ COVID OUTDOOR LIVING @ WALKOUT CONDITION



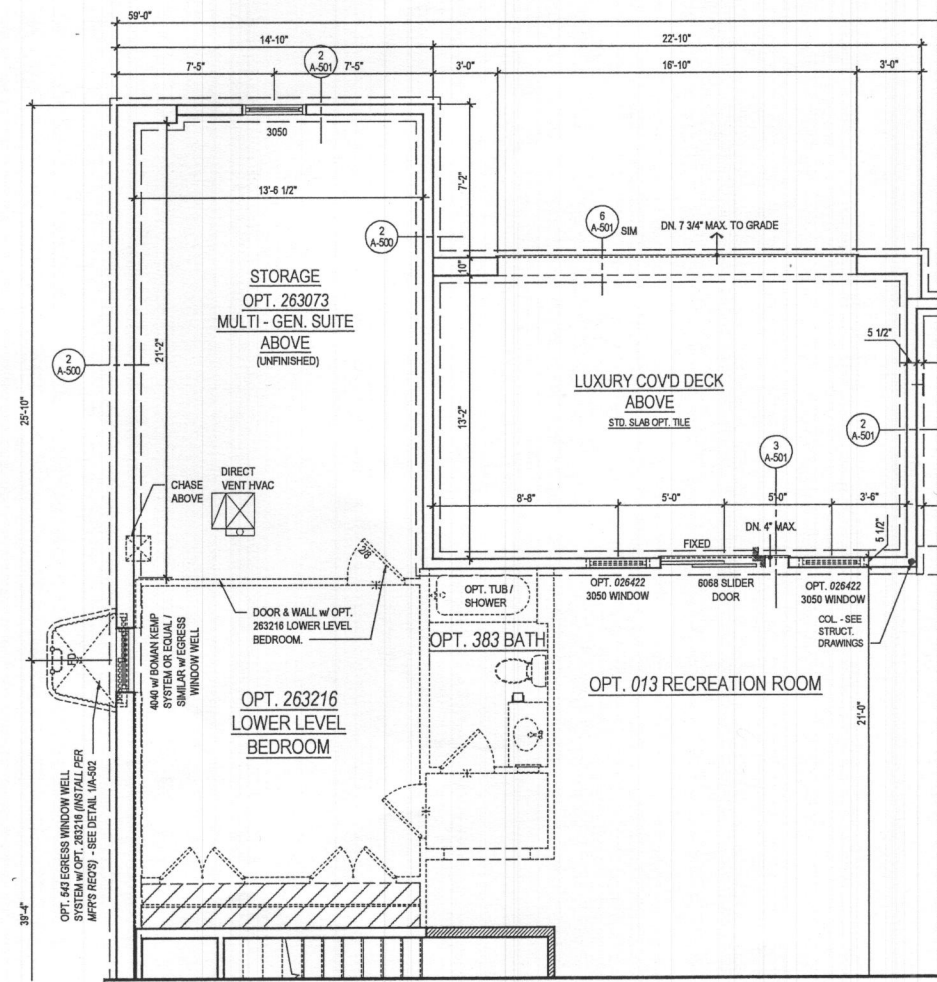
3 PART. SECOND FLOOR PLAN
A-407 SCALE: 1/4"=1'-0"
TOLUBIA_A407.DWG

w/ OPT. 263073 MULTI-GEN. SUITE
w/ COVID OUTDOOR LIVING @ WALKOUT CONDITION



2 PART. FIRST FLOOR PLAN
A-407 SCALE: 1/4"=1'-0"
TOLUBIA_A407.DWG

w/ OPT. 263073 MULTI-GEN. SUITE
w/ COVID OUTDOOR LIVING @ WALKOUT CONDITION



1 PART. BASEMENT PLAN
A-407 SCALE: 1/4"=1'-0"
TOLUBIA_A407.DWG

w/ OPT. 263073 MULTI-GEN. SUITE
w/ COVID OUTDOOR LIVING @ WALKOUT CONDITION

ARCHITECT:
lessard DESIGN
8521 Leesburg Pike
Suite 700 | Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801
www.lessarddesign.com

SEAL & SIGNATURE:

OWNER:
TOLL BROTHERS
19775 BELMONT EXECUTIVE PLAZA
ASHBURN, VA 20147
P: 571.291.8068
CONTACT: CHRISTINA LEMLEY
clemley@tollbrothers.com

PROJECT NAME:
MARYLAND PARKHURST OPTIONS

SHEET TITLE:
A-407

NO.	ISSUE / REVISION	DATE
1	BID SET	05.29.19
2	PERMIT SET	06.19.19
3	MD NEW STANDARDS	09.16.19
4	MR #220241	12.11.20

PROJECT No: TOL081a
DRAWN BY: AC/BN
CHECKED BY: AP
PLOT DATE: Jan. 20, 2021
FILE NAME: TOL081a_A407.dwg

File No: TOL081a_A407.dwg
Plot By: amalk

© 2021 LESSARD DESIGN, INC. EXPRESSLY RESERVES ITS COPYRIGHT AND OTHER PROPRIETARY RIGHTS IN THESE PLANS. THESE PLANS ARE NOT TO BE REPRODUCED, COPIED OR OTHERWISE TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF LESSARD DESIGN, INC.