

PERMIT NUMBER: B 22001580

DATE ACCEPTED:



## RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4  
www.howardcountymd.gov

**BUILDING SITE ADDRESS REQUIRED**

Street Address: 10509 Pudding Lane		Unit:
City: Ellicott City	State: MD	Zip Code: 21042
Subdivision/Village/Complex Name: King's Forrest		SDP/WP/BA #:
Lot: 34	Tax Map:	Parcel:
		Grading Permit #:

**DESCRIPTION OF WORK REQUIRED**

Existing Use: vacant lot	Proposed Use: SFD	Estimated Cost: \$ 300,000
Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVACR) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> None		
New 2 story "Kalorama" craftsman blv with 2 car side load garage, 2 car side attached garage, grand multi-gen suite, multi-gen suite, luxury covered deck, and finished lower level (Rec Room, Powder RM, Bedroom, media RM, wet bar and finished area under grand multi-gen space)		

**PROPERTY OWNER INFORMATION REQUIRED**

Owner(s) Name(s) (As it appears on tax records): Toll Mid Atlantic Lp. Co. Inc. Contact: Summer Riley		Primary Residence: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Owner's Street Address: 250 Gibraltar Road		
City: Horsham	State: PA	Zip Code: 19044
Phone: 410-872-9105	Email: sriley1@tollbrothers.com	

**APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION**

Business Name: Decatur Building Services		Contact Name: Jim Kerwin
Street Address: PO Box 552		
City: Woodbine	State: MD	Zip Code: 21797
Phone: 443-309-7792	Email: jim@decaturbuildingservices.com	

**CONTRACTOR INFORMATION REQUIRED**

Business Name: Toll Brothers		Contact: Summer Riley
Licensee's Name: Toll Mid Atlantic Lp. Co. Inc.		License #: 8220
Street Address: 6731 Columbia Gateway Drive, Suite 120		
City: Columbia	State: MD	Zip Code: 21046
Phone: 410-872-9105	Email: sriley1@tollbrothers.com	

**ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE**

Business Name:	Name:
Street Address:	
City:	State:
Phone:	Email:

**BUILDING CHARACTERISTICS REQUIRED**

Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)	Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input checked="" type="checkbox"/> Gas   Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)	Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)
Heating System: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane <input type="checkbox"/> Other:	Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input checked="" type="checkbox"/> NFPA 13D <input type="checkbox"/> None	Fire Alarm System: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Voice Evac

**ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)**

Model Name & Options: "Kalorama" craftsman blv, 2 car + 2 car garages, grand multi and multi gen suites, luxury covered deck, f.				
# of Bedrooms (SF): 7	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):
# Rooms: 14	# Full Baths: 6	# Half Baths: 2	# Fireplaces: 1	
Garage/Carport Info: <input checked="" type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None				
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input checked="" type="checkbox"/> Finished Basement: <input checked="" type="checkbox"/> Full or <input type="checkbox"/> Partial				
1st Fl Width: 104	1st Fl Depth: 81	2nd Fl Width: 67	2nd Fl Depth: 81	Bsmt Width: 82   Bsmt Depth: 81
Energy Method: <input type="checkbox"/> Prescriptive <input checked="" type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area: <del>10,220</del> 11,290 sq ft   Occupiable Area: 10,694 sq ft		

**AGREEMENT/ DISCALIMER REQUIRED**

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: Jim Kerwin      DATE SIGNED: 4/19/2022

**FOR OFFICE USE ONLY**

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

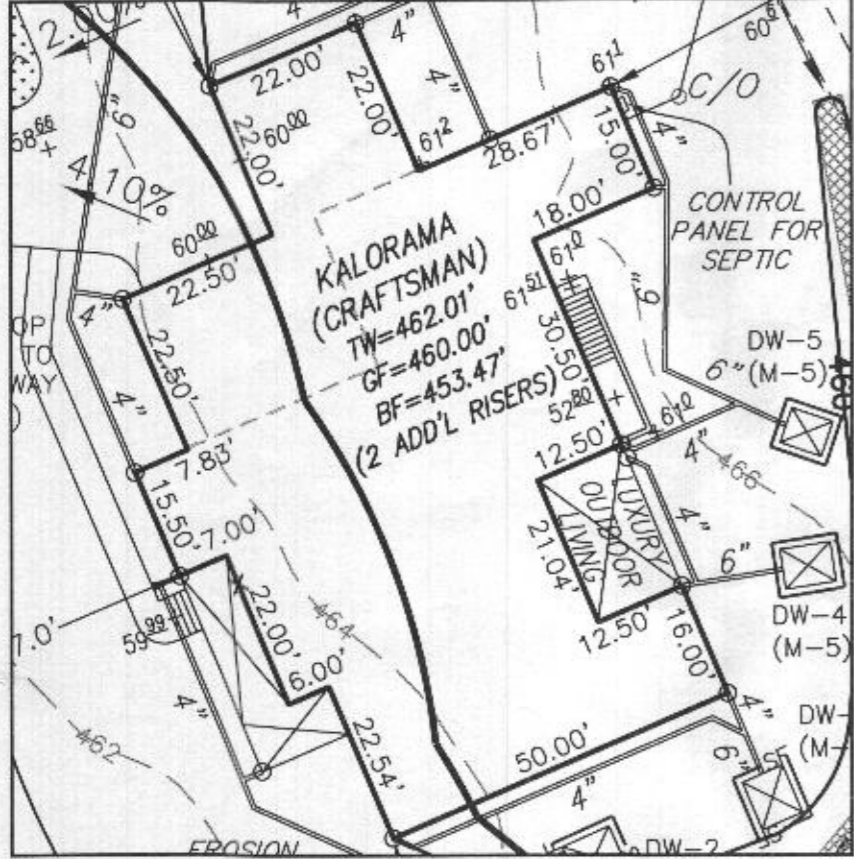
AGENCIES REQUIRED/APPROVALS:				
<input checked="" type="checkbox"/> PR	<input checked="" type="checkbox"/> DPZ	<input checked="" type="checkbox"/> DED	<input checked="" type="checkbox"/> Health <u>DBurard</u>	<input type="checkbox"/> SHA
SUBMITTAL FEES: \$ 150.00		PAYMENT: Toll # 00125303		ACCEPTED BY: <u>JAH</u>

B22001586

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A FULLY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/23.

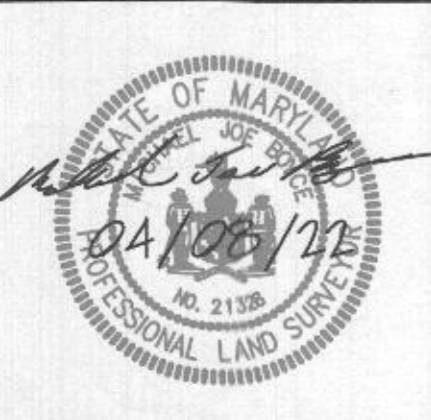
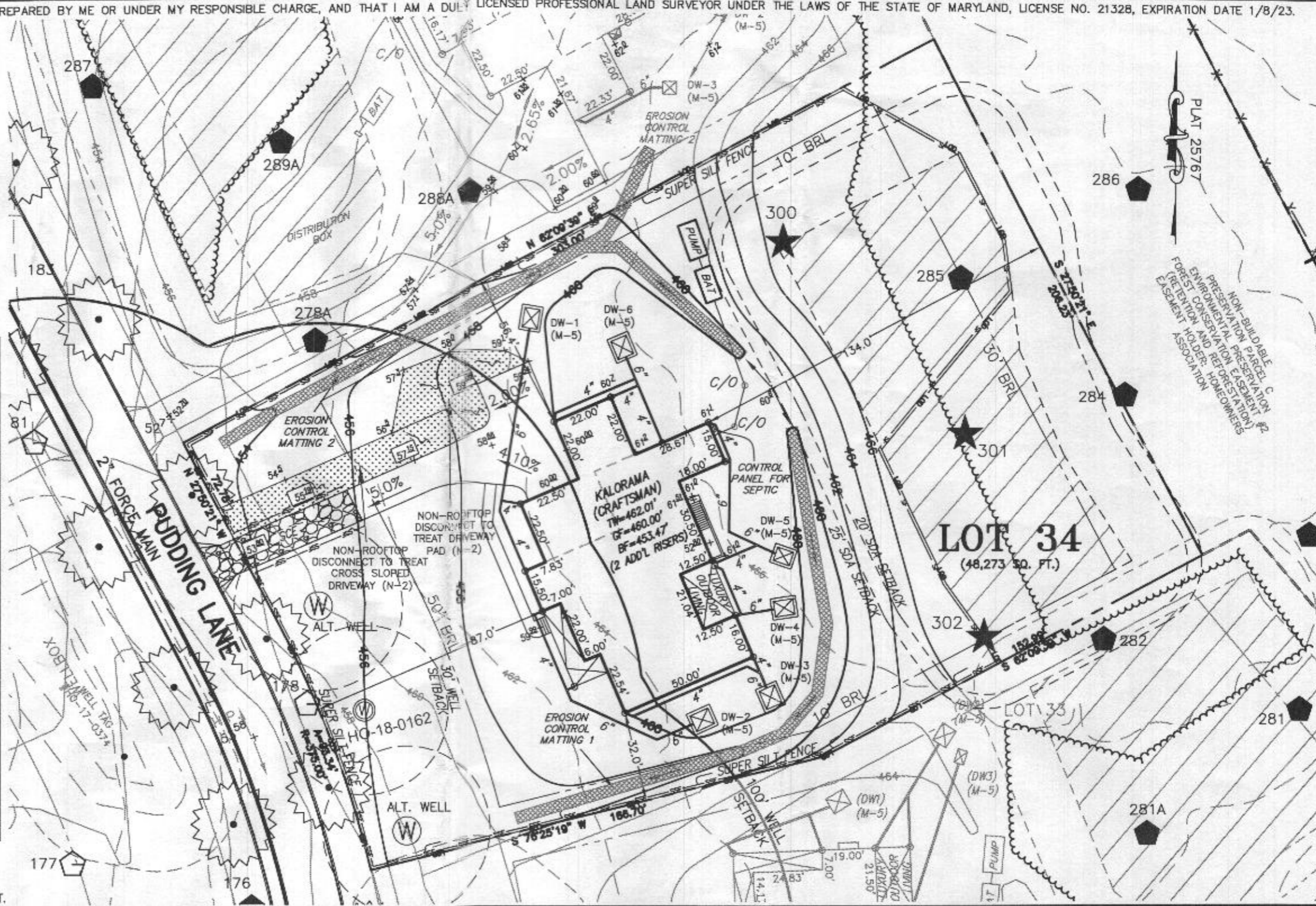
- LEGEND:**
- BRL BUILDING RESTRICTION LINE
  - W WELL LOCATION
  - T.W. TOP OF WALL
  - G.F. GARAGE FLOOR
  - B.F. BASEMENT FLOOR
  - PASSED PERC LOCATION
  - FAILED PERC LOCATION
  - SEWAGE DISPOSAL AREA
  - WELL BOX AREA
  - SILT FENCE
  - SUPER SILT FENCE
  - LIMITS OF DISTURBANCE
  - PROPOSED TREE
  - SCE STONE CONSTRUCTION ENTRANCE

NOTE:  
TOTAL LIMITS OF DISTURBANCE (LOD) = 49,832 SQ. FT.



HOUSE ENLARGEMENT  
NOT TO SCALE

BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN  
SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.



HOUSE TYPE: KALORAMA (CRAFTSMAN)

TWO CAR SIDE ENTRY GARAGE  
FINISHED LOWER LEVEL  
DAYLIGHT BASEMENT  
ADDITIONAL TWO CAR FRONT ENTRY GARAGE  
POWDER ROOM  
MULTI-GENERATIONAL SUITE ADDITION  
GRAND MULTI-GENERATIONAL SUITE ADDITION  
BEDROOM  
WET BAR  
MEDIA ROOM  
LUXURY OUTDOOR LIVING  
OUTDOOR INTEGRATED SPACE  
DOUBLE WIDE DRIVEWAY TAIL

WELL NUMBER: HO-18-0162

- OPTION No. 012
- OPTION No. 013
- OPTION No. 018
- OPTION No. 263019
- OPTION No. 263036
- OPTION No. 263073
- OPTION No. 263075
- OPTION No. 263216
- OPTION No. 561
- OPTION No. 562
- OPTION No. 263165
- OPTION No. 189053
- OPTION No. 851

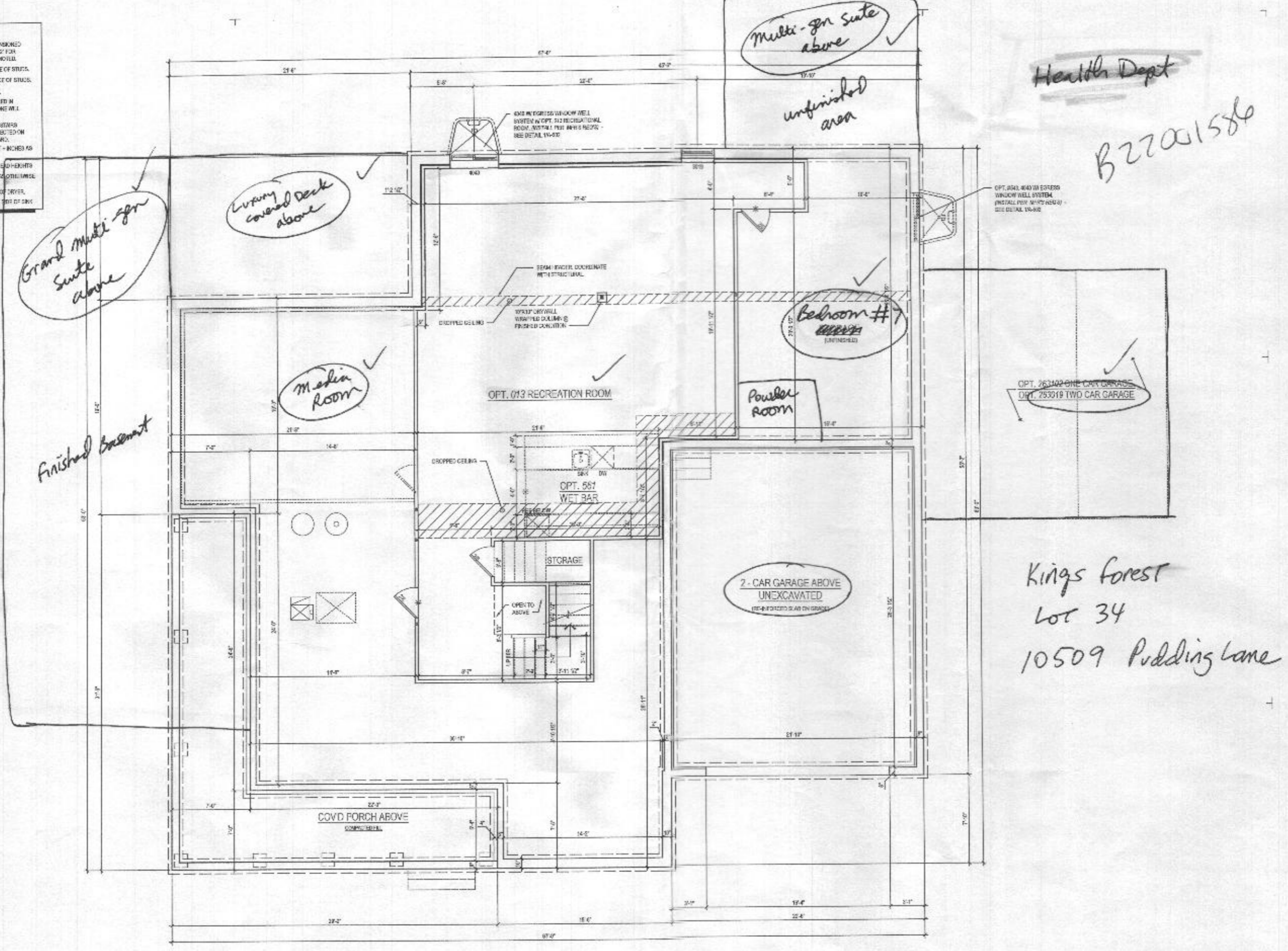
PERMIT PLOT PLAN  
LOT 34  
**KINGS FOREST**  
LIBER 11372, FOLIO 431  
PLAT NO. 25767  
ELECTION DISTRICT No. 4  
HOWARD COUNTY, MARYLAND

**ESE CONSULTANTS**  
ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.  
6731 Columbia Gateway Drive • Suite 120 • Columbia, MD 21046  
T: 410-872-9105

DATE: 02/22/2022    SCALE: 1" = 40'    FILE: PP LOT 34 - KALORAMA CRAFTS.  
CHK'D: M.J.B.    JOB NO: 3502    DRAWN: R.P.S.

- GENERAL PLAN NOTES**
- ALL WINDOW SIZES SHOWN ARE UNFINISHED AND TO BE 2" MIN. INTERIOR OR 3/4" MIN. EXTERIOR UNLESS OTHERWISE NOTED.
  - ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
  - ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
  - ALL DIMENSIONS GOVERN OVER SCALE.
  - ALL WINDOW SIZES ARE TO BE MEASURED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
  - ENCLOSED ACCESSORIES: SPACE UNDER STAIRS SHALL HAVE AN IN-SLIDE DOOR WITH PROTECTION ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
  - ALL WINDOWS SIZE ARE MEASURED IN FEET - INCHES AS MEASURED FROM FINISH TO FINISH.
  - REFER TO ELEVATIONS FOR WINDOW HEAD-HEIGHTS.
  - ALL DOORS ARE TO BE 90" HIGH UNLESS OTHERWISE NOTED.
  - WASHER ALWAYS TO BE ON LEFT SIDE OF DRYER.
  - DRY-WASHER ALWAYS TO BE ON RIGHT SIDE OF DRYER.



ARCHITECT

**lessard**  
DESIGN

8521 Leesburg Pike  
Suite 700 | Vienna, VA 22182  
P: 571.830.1800 | F: 571.830.1801  
www.lessardesign.com

DRG. & SIGNATURE

OWNER:

**TOLL BROTHERS**  
15775 BELMONT EXECUTIVE PLAZA  
SUITE 250  
ARLINGTON, VA 22204  
P: 571.291.2008  
F: 703.322.1736  
CONTACT: CHRISTINA LEWLEY  
CLEM.LEWLEY@tollbro.com

PROJECT NAME: **KALORAMA**

PROJECT TITLE: **FLOOR PLANS**

ISSUE / REVISION		
NO.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT	03.25.20
2	REV SET	05.29.20
3	WILLIAM CHAFF PERMIT SET	12.22.20
4	LENNY PILL PERMIT SET	12.23.20

PROJECT NO: \_\_\_\_\_ TO: JEN  
 DRAWN BY: AC & AH  
 CHECKED BY: AM & AP  
 PLOT DATE: 08.27.2020  
 FILE NAME: TO: JEN\_0827.dwg

**A-101**

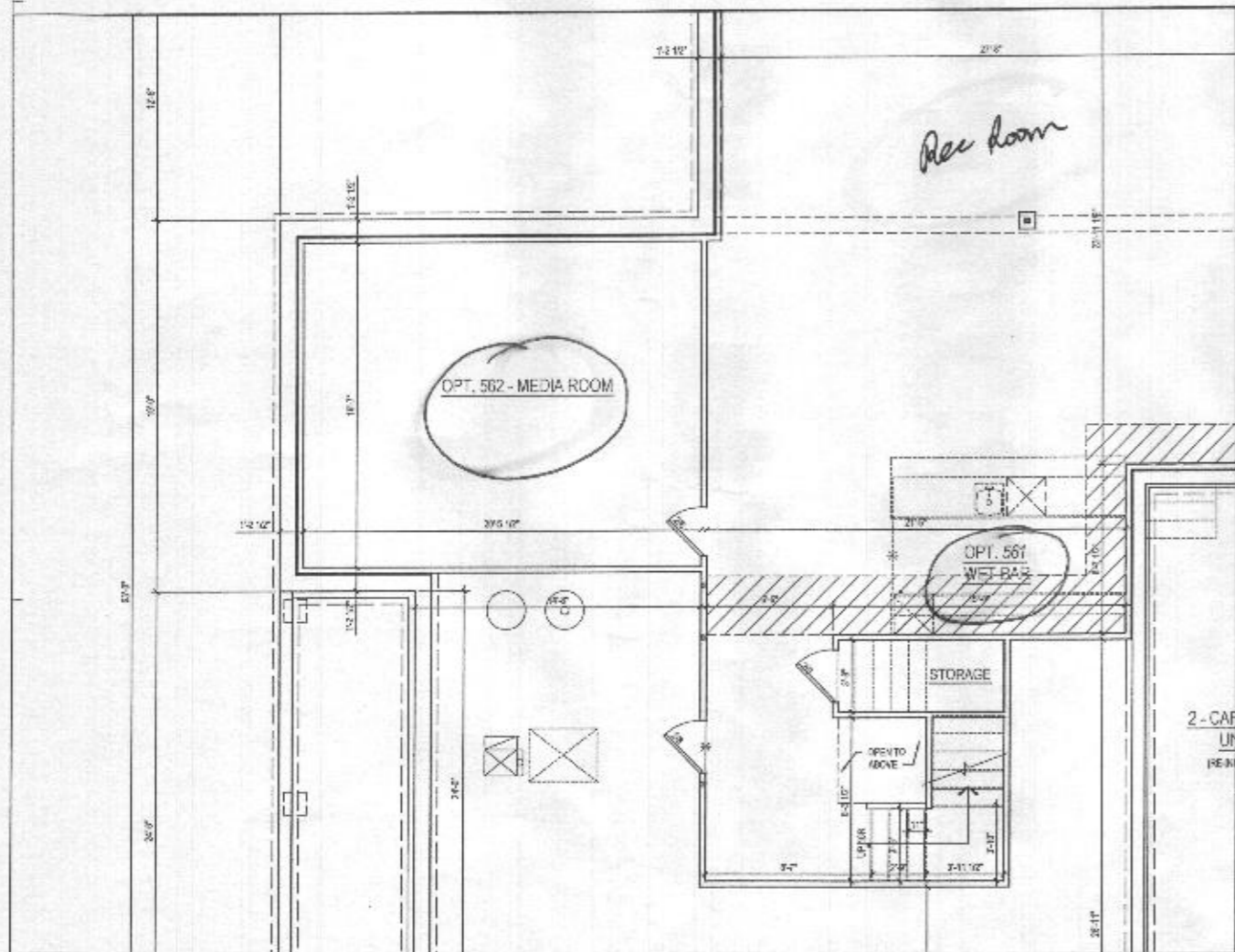
1 PART. BASEMENT PLAN  
 A-101 SCALE 1/4"=1'-0"  
 10/26/2020

W/ OPT. 013 - RECREATION ROOM

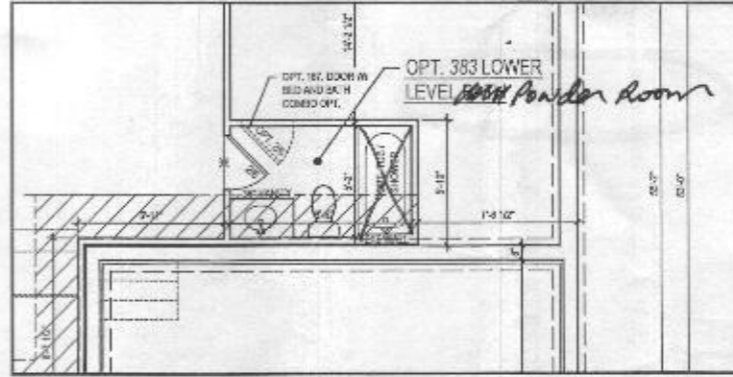
Kings forest  
 Lot 34  
 10509 Pudding Lane

**GENERAL PLAN NOTES**

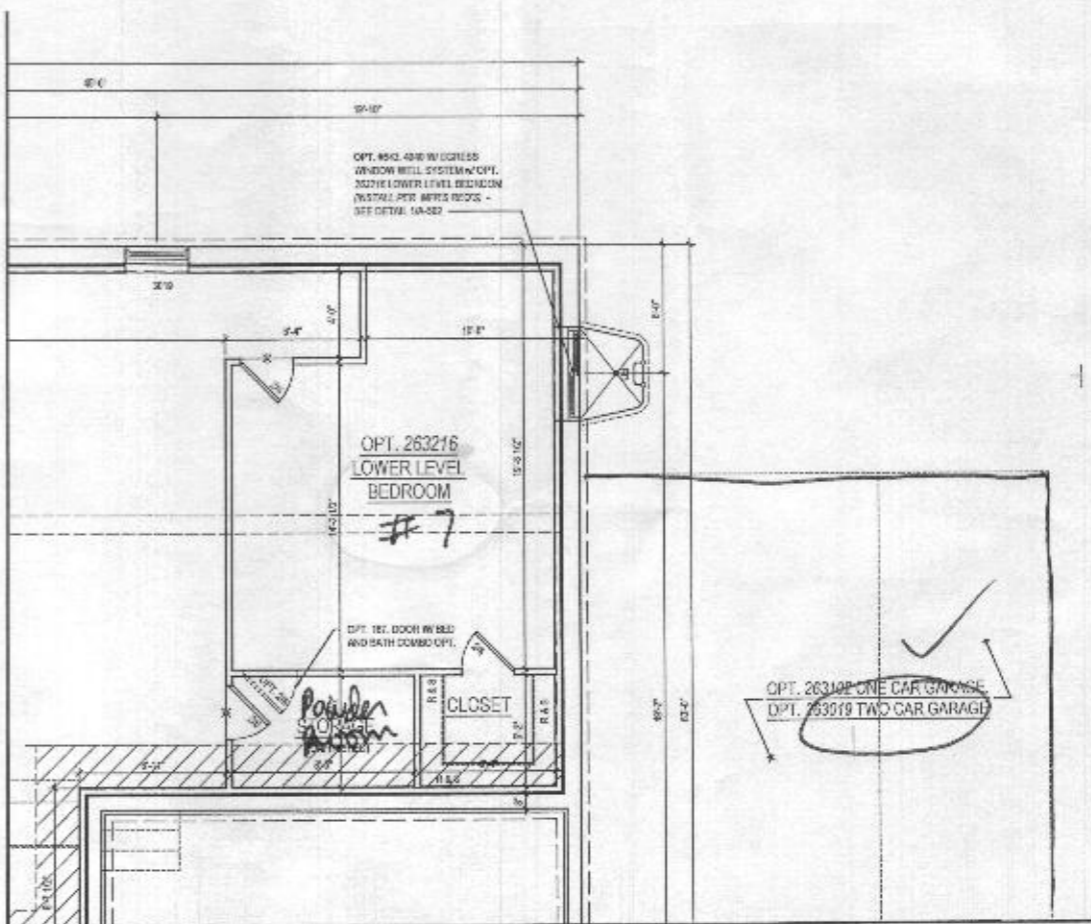
- A. ALL WOOD STUD PARTS AND NOT DIMENSIONED ARE TO BE 2" X 4" FOR INTERIOR AND 2" X 6" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- B. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- D. ALL EXTERIOR DIMENSIONS GOVERN OVER SCALE.
- E. ALL SMOKE DETECTORS ARE TO BE WIRE IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
- F. ENCLOSED ACCESSIBLE GRADE UNDER STAIRS SHALL HAVE WALLS AND DOOR THRESHOLD PROTECTED BY ENCLOSED SIDE WITH 1/2" OF PLYWOOD BOARD.
- G. ALL WINDOW SIPS ARE NOTED IN FEET - INCHES AS SHOWN FROM CORNER TO CORNER.
- H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- I. ALL DOORS ARE TO BE 3/4" HIGH UNLESS OTHERWISE NOTED.
- J. WASHER ALWAYS TO BE ON LEFT SIDE OF DOOR.
- K. DRYER ALWAYS TO BE ON RIGHT SIDE OF DOOR.



**3 PART. BASEMENT PLAN** WI OPT. 562 - MEDIA ROOM  
 A-103 SCALE 1/4"=1'-0"  
 12/10/2009



**2 PART. BASEMENT PLAN** WI OPT. 383 - LOWER LEVEL BATH  
 A-103 SCALE 1/4"=1'-0"  
 12/10/2009



**1 PART. BASEMENT PLAN** WI OPT. 263216 - LOWER LEVEL BEDROOM  
 A-103 SCALE 1/4"=1'-0"  
 12/10/2009

ARCHITECT

lessard  
DESIGN

6321 Lessard Pike  
 Suite 703 | Vienna, VA 22182  
 P: 571.830.1900 | F: 571.830.1901  
 www.lessarddesign.com

OWNER

TOLL BROTHERS  
 19775 BELMONT EXECUTIVE PLAZA  
 SUITE 250  
 ASHBURIE, VA 20147  
 P: 571.291.8858  
 F: 703.327.1735  
 CONTACT: CHRISTINA LEMLEY  
 CLEMLEY@tollbrothers.com

PROJECT NAME: KALORAMA

SHEET TITLE: FLOOR PLANS

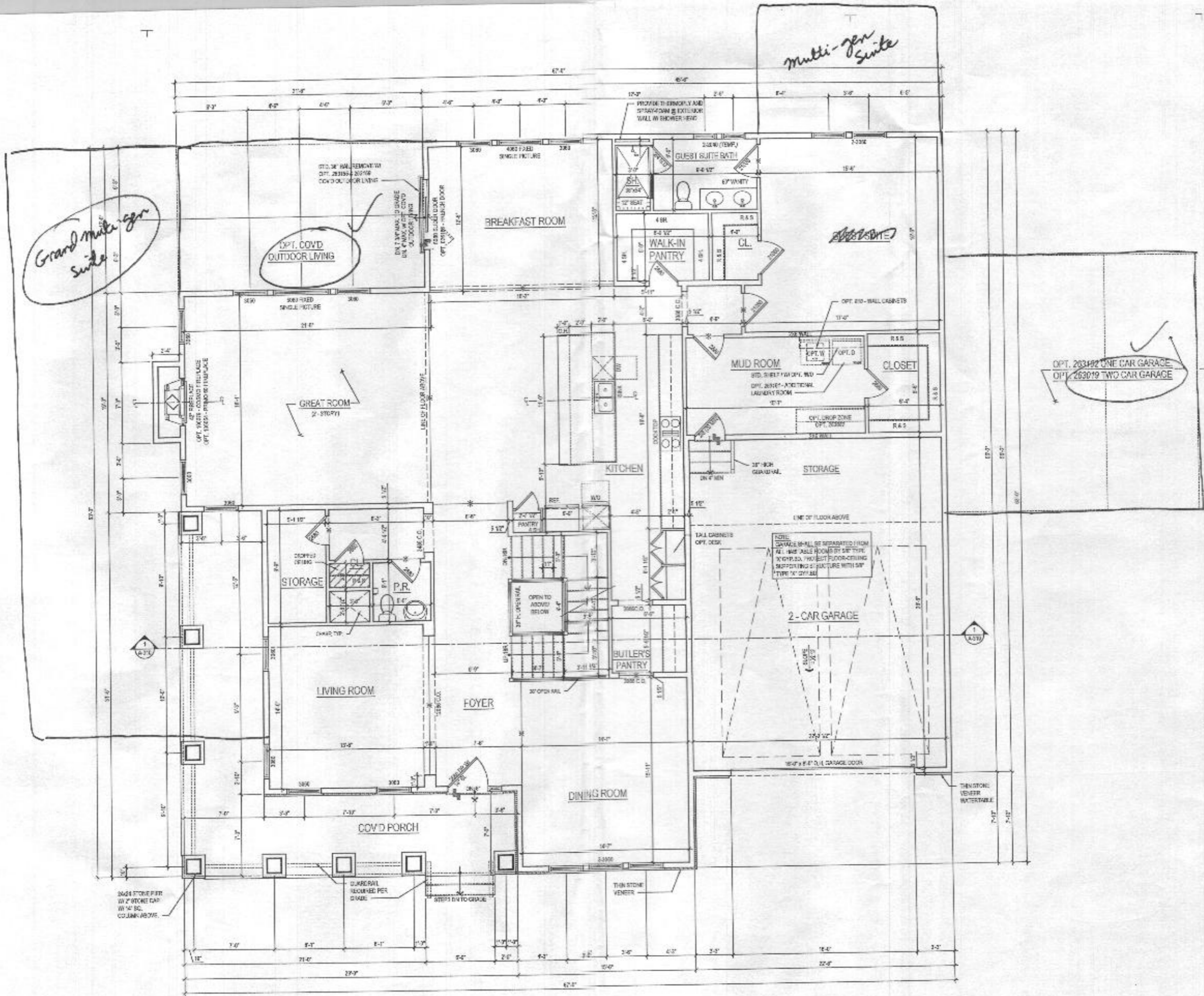
NO.	DESCRIPTION	DATE
DESIGN DEVELOPMENT	03.23.09	
BED SET	04.30.09	
MULTI-LINE PERMIT SET	12.23.09	
CONTRACT PERMIT SET	12.23.09	

PROJECT NO: TRK 004  
 DRAWN BY: AC & JN  
 CHECKED BY: BN & AP  
 PLOT DATE: Dec. 10, 2009  
 FILE NAME: KALORAMA.dwg

**A-103**

**GENERAL PLAN NOTES**

- A. ALL WORK SHOWN IS UNLESS OTHERWISE NOTED.
- B. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL ENERGY CONSERVATION CODE (IECC).
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- D. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- E. ALL DIMENSIONS GOVERN OVER SCALE.
- F. ALL DOOR DETECTORS ARE TO BE INSTALLED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THE OTHER.
- G. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE A MINIMUM CLEARANCE OF 66" TO THE CEILING AND SHALL BE PROTECTED BY AN ENCLOSED MEMBRANE OF CONCRETE OR GYP-SO-C.
- H. ALL WINDOW HEIGHTS ARE TO FACE OF STUDS AND SHALL BE MEASURED FROM FINISH FLOOR TO FINISH SILL.
- I. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
- J. ALL DOORS ARE TO BE 7' MINIMUM UNLESS OTHERWISE NOTED.
- K. WALKER ALWAYS TO BE ON LEFT SIDE OF DOOR.
- L. DOOR SWELLS ALWAYS TO BE ON RIGHT SIDE OF DOOR.



*Grand multi-gen suite*

*OPT. COVID OUTDOOR LIVING*

*multi-gen suite*

*OPT. 203482 ONE CAR GARAGE  
OPT. 203019 TWO CAR GARAGE*

**1** FIRST FLOOR PLAN  
SCALE: 1/4"=1'-0"  
DATE: 03/15/2024

@ ELEV. 1 - CRAFTSMAN  
2,982 SQ. FT.



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F: 703.327.1736  
CONTACT: CHRISTINA LEMLEY  
CL@tollbrothers.com

KALORAMA

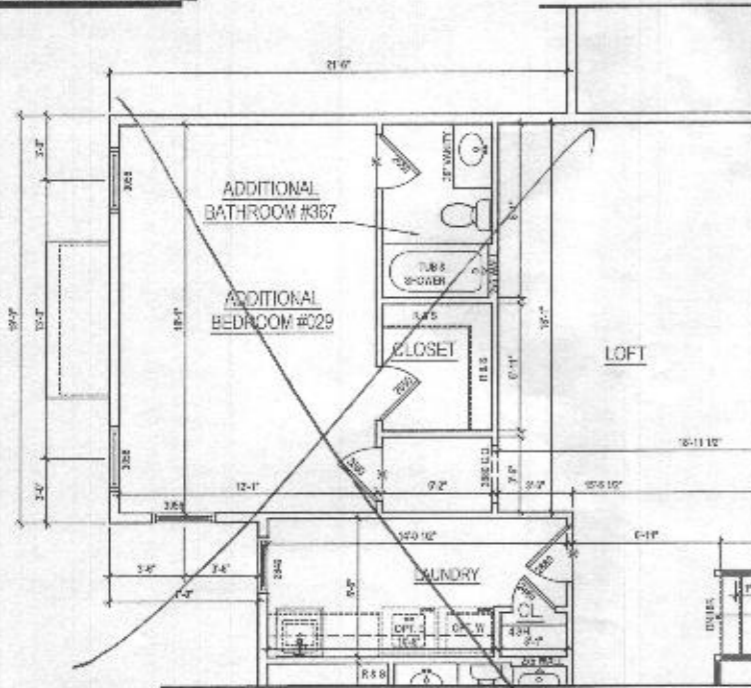
FLOOR PLANS

NO.	DESCRIPTION	DATE
01	CONCEPT DEVELOPMENT	03.21.20
02	PRELIMINARY DEVELOPMENT	05.20.20
03	FINAL DEVELOPMENT	03.22.24
04	FINAL DEVELOPMENT	03.22.24

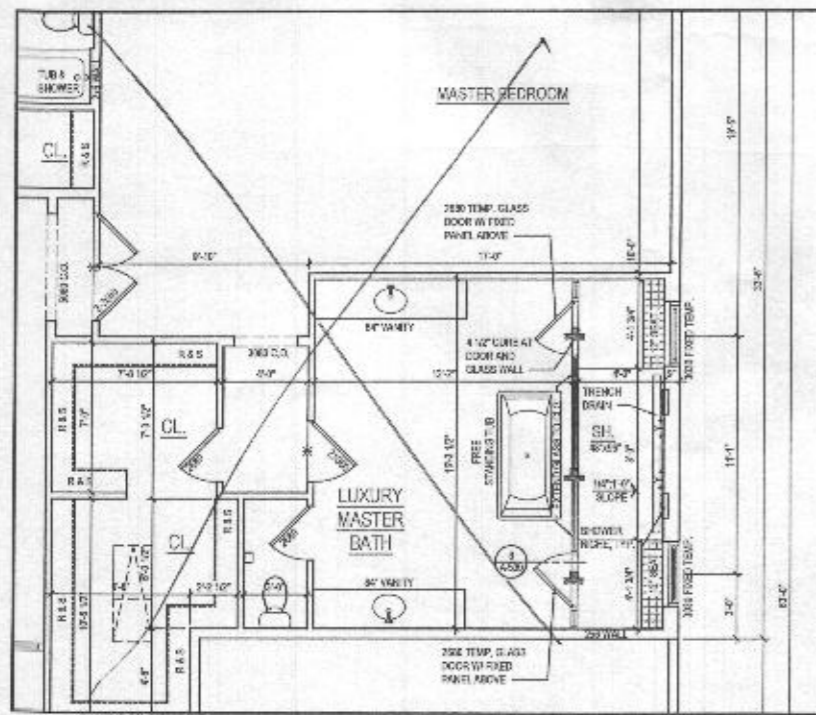
PROJECT NO: TOLLBRO  
DRAWN BY: AC & MN  
CHECKED BY: MN & AP  
DATE: 03/15/2024  
FILE NAME: TOLLBRO A110.dwg

**A-110**

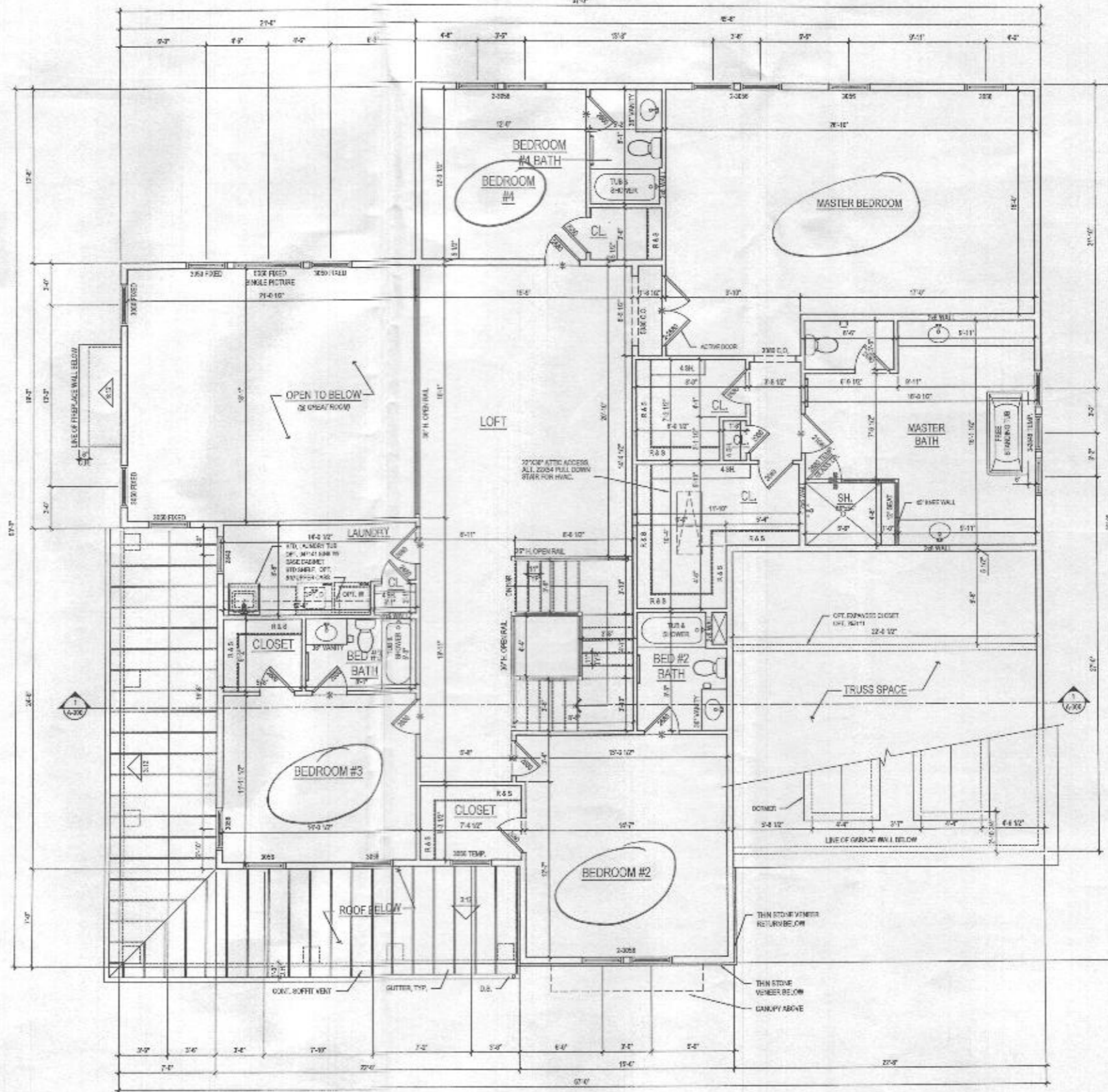
- GENERAL PLAN NOTES**
- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 12" FOR INTERIOR AND 2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
  - ALL APPROX DIMENSIONS ARE TO FACE OF STUDS.
  - ALL APPROX DIMENSIONS ARE TO FACE OF STUDS.
  - ALL DIMENSIONS CONTROL OVER SCALE.
  - ALL WINDOW SETTERS ARE TO BE MARKED IN SUCH A MANNER THAT INDICATION OF ONE WILL ACCURATE SHOW ALL.
  - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND CEILING PROTECTED ON EXPOSED SIDE WITH 1/2" GYP/5/8 BOARD.
  - ALL WINDOWS SET ARE NOTED IN SET - INCHES ARE MEASURED FROM SILL TO CASH.
  - REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
  - ALL DOORS ARE TO BE 3" MIN. UNLESS OTHERWISE NOTED.
  - WALLS ALWAYS TO BE ON LEFT SIDE OF DOOR.
  - DOOR SWICHES ALWAYS TO BE ON RIGHT SIDE OF DOOR.



**3 PART. 2ND FLOOR PLAN** w/ OPT. ADDITIONAL BEDROOM #029  
A-120 SCALE: 1/4"=1'-0"  
DATE: 12/14/2011



**2 PART. SECOND FLOOR PLAN** w/ OPT. 055 - LUXURY MASTER BATH  
A-120 SCALE: 1/4"=1'-0"  
DATE: 12/14/2011



**1 SECOND FLOOR PLAN**  
A-120 SCALE: 1/4"=1'-0"  
DATE: 12/14/2011

@ ELEV. 1 - CRAFTSMAN  
2488 P2, FT.

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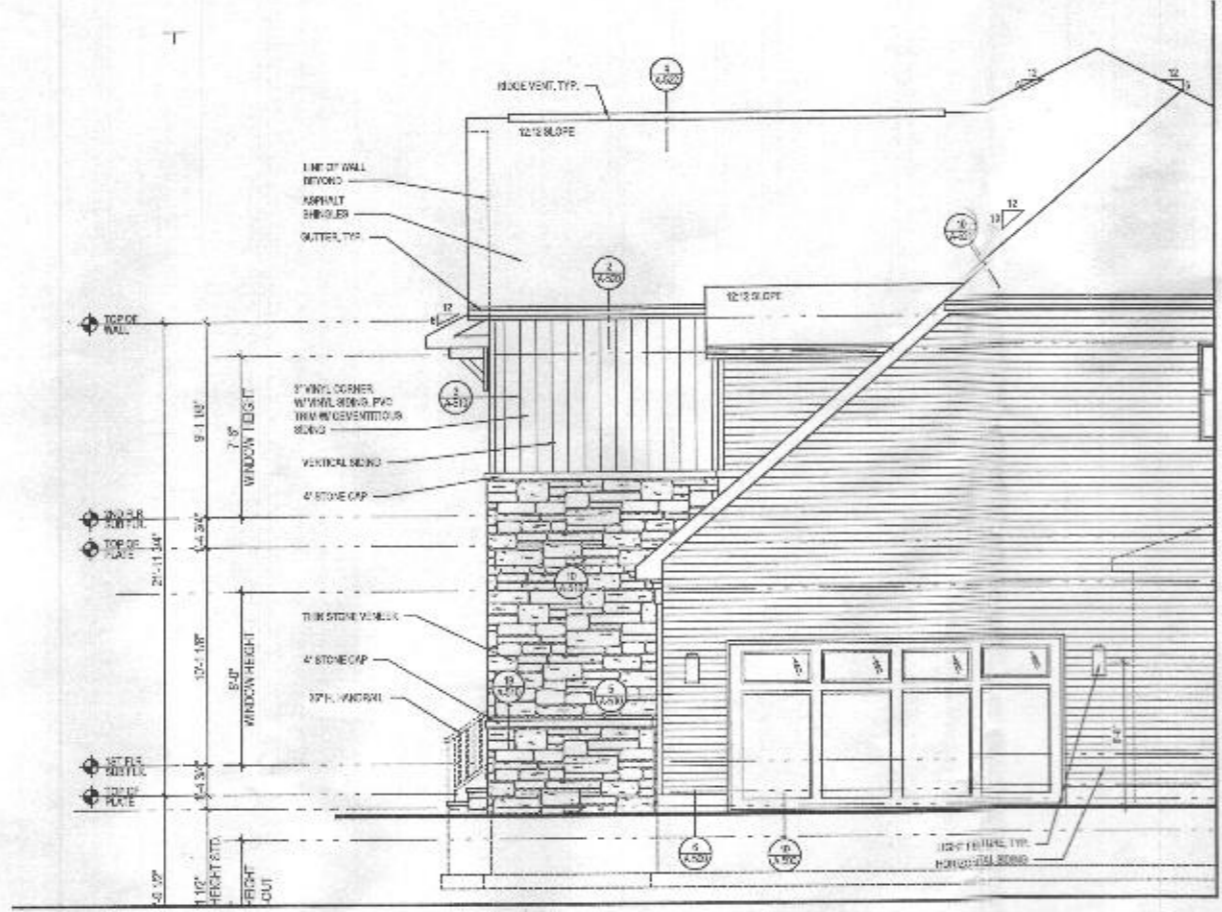
TOLL BROTHERS  
15075 BELMONT EXECUTIVE PLAZA  
SUITE 230  
ASHBURN, VA 20147  
P: 571.351.5068  
F: 703.531.2706  
CONTACT: CHARISMA LEMLEY  
CLEMLEY@tollbrothers.com

KALORAMA  
FLOOR PLANS

NO.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT	01.23.10
2	SD SET	09.30.10
3	YELLOW CROSS PERMIT SET	12.22.11
4	FINAL PERMIT SET	12.22.11

A-120

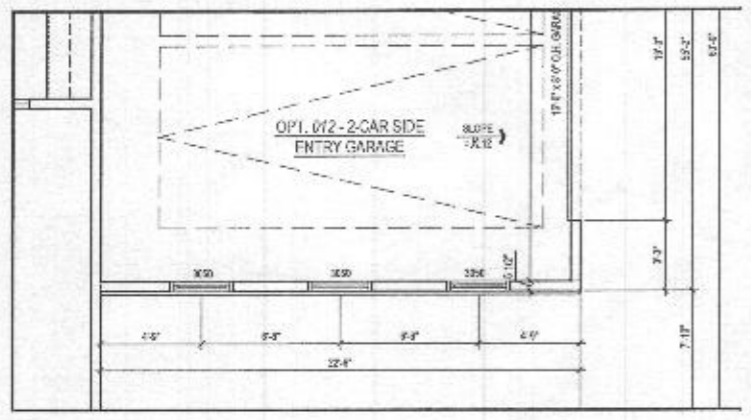
- GENERAL PLAN NOTES**
- ALL BRICK BUILD PARTITIONS NOT DESIGNATED ARE TO BE 1" FOR INTERIOR AND 1 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
  - ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
  - ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
  - ALL DIMENSIONS GIVEN OVER SOFFIT.
  - ALL BRICK DETECTORS ARE TO BE WREED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
  - EMBEDDED ACCESSIBLE SPACES UNDER STAIRS SHALL HAVE WALLS AND CORNERS PROTECTED ON EMBEDDED SIDE WITH 1/2" GYPSUM BOARD.
  - ALL WINDOWS ARE AS NOTED IN FIFTH - INCHES AS MEASURED FROM SASH TO SASH.
  - REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
  - ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
  - WASHER ALWAYS TO BE ON LEFT SIDE OF CLOSET.
  - DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF KITCHEN.



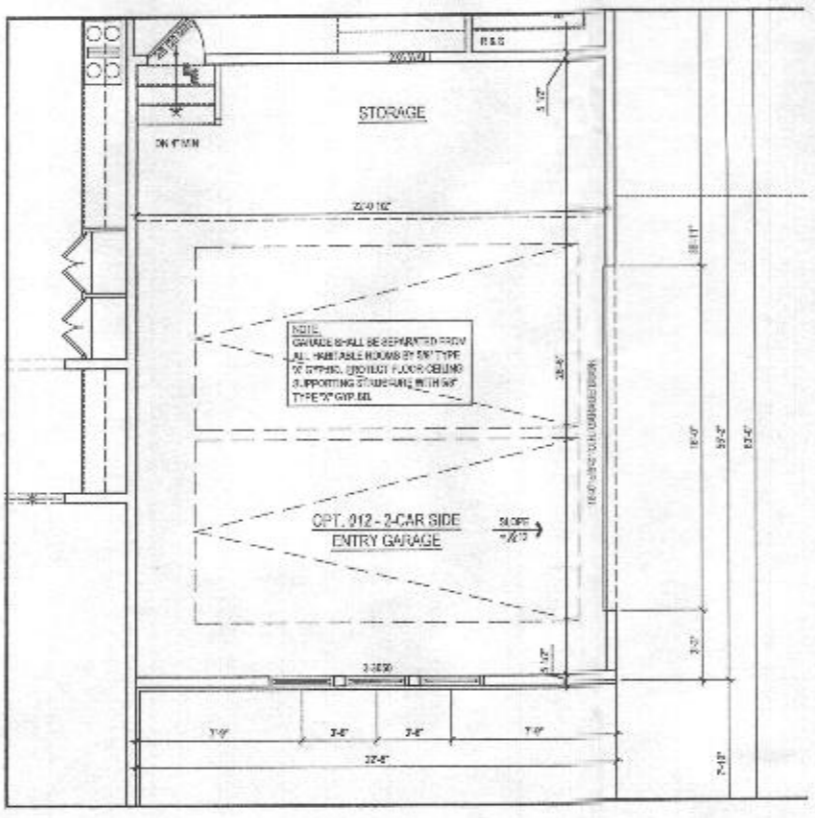
**4 PART. RIGHT SIDE ELEVATION** w/ OPT. 012 - TWO CAR SIDE ENTRY GARAGE  
 A-400 SCALE: 1/4"=1'-0"  
 DRAFTSMAN



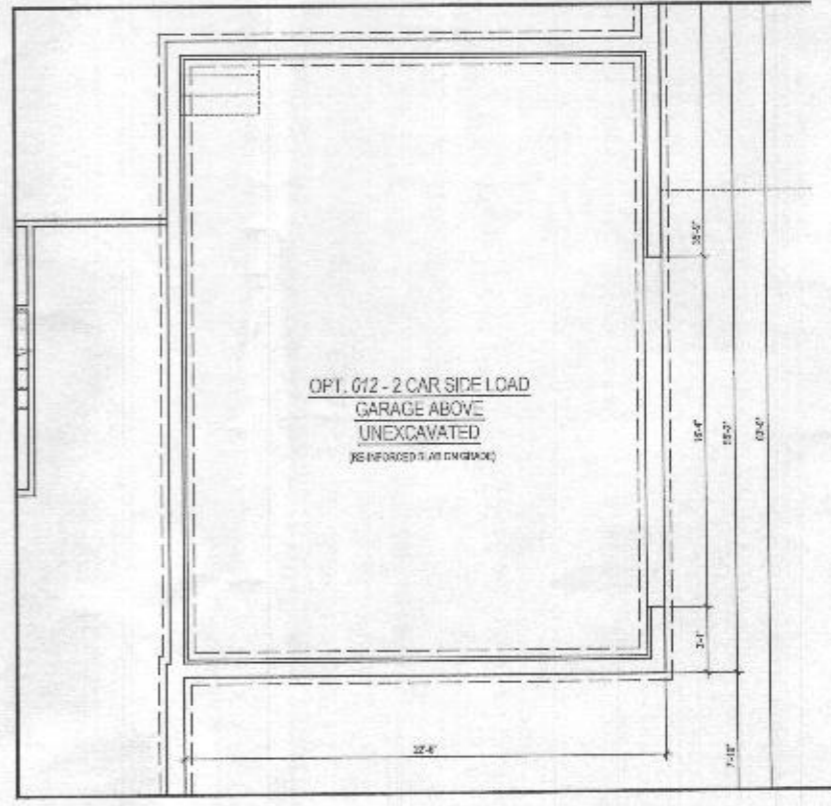
**3 PART. FRONT ELEVATION** w/ OPT. 012 - TWO CAR SIDE ENTRY GARAGE  
 A-400 SCALE: 1/4"=1'-0"  
 DRAFTSMAN



**2a PART. FIRST FLOOR PLAN** w/ OPT. 012 - TWO CAR SIDE ENTRY GARAGE  
 A-400 SCALE: 1/4"=1'-0"  
 MODERN FARM-CHALE, TRADITIONAL FARMHOUSE



**2 PART. FIRST FLOOR PLAN** w/ OPT. 012 - TWO CAR SIDE ENTRY GARAGE  
 A-400 SCALE: 1/4"=1'-0"  
 DRAFTSMAN



**1 PART. BASEMENT FLOOR PLAN** w/ OPT. 012 - TWO CAR SIDE ENTRY GARAGE  
 A-400 SCALE: 1/4"=1'-0"  
 DRAFTSMAN

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 Suite 700 | Vienna, VA 22182  
 P: 571.830.1800 | F: 571.830.1801  
 www.lessarddesign.com

SEAL & SIGNATURE

**TOLL BROTHERS**  
 19775 BELMONT DISCOVERY PLAZA  
 SUITE 250  
 ARLINGTON, VA 22207  
 P: 571.791.0000  
 F: 703.327.4735  
 CONTACT: CHRISTINA LEBLEY  
 CLEBLEY@tollbrothers.com

**KALORAMA**

PROJECT TITLE:  
**#012 - TWO CAR SIDE ENTRY GARAGE**  
 ILO STANDARD GARAGE

NO.	DESCRIPTION	DATE
1	ISSUE FOR DEVELOPMENT	03.22.20
2	RED NET	09.26.20
3	WILLIAM CREEK FARM SET	12.22.20
4	LENN HILL PERMIT SET	12.22.20

PROJ. ECT. BY: TRL/JS  
 DRAWN BY: JC & AP  
 CHECKED BY: HV & AP  
 PLOT ON: 11/16/2020  
 FILE NAME: 10.31.20\_A400.dwg

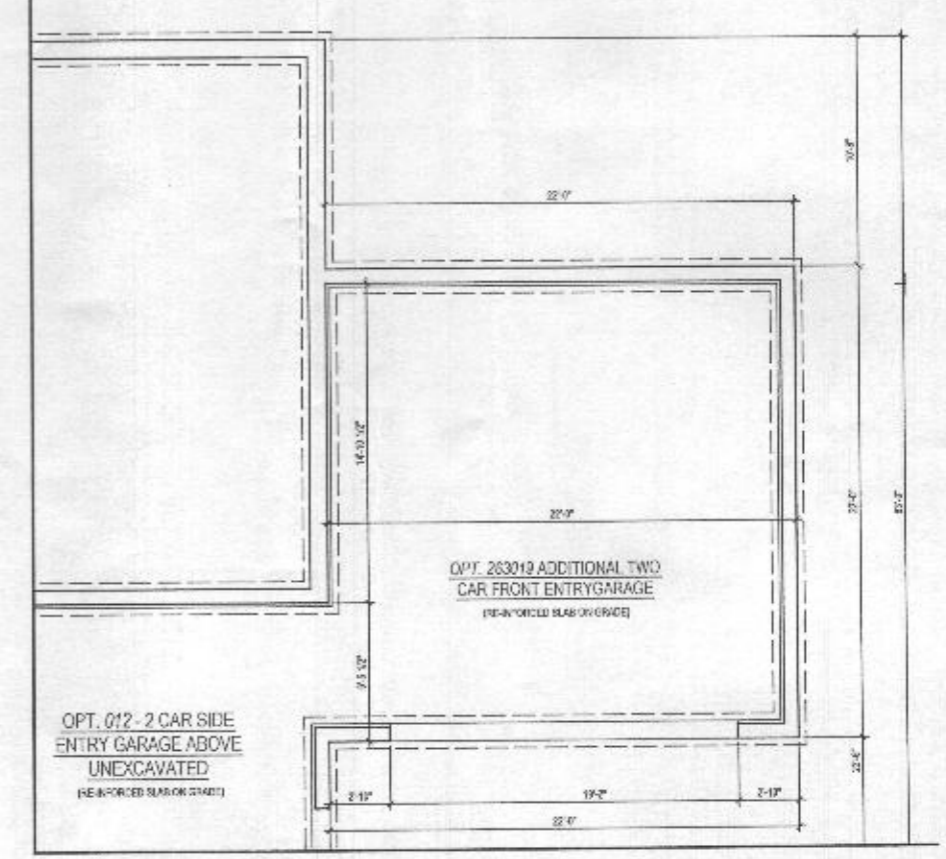
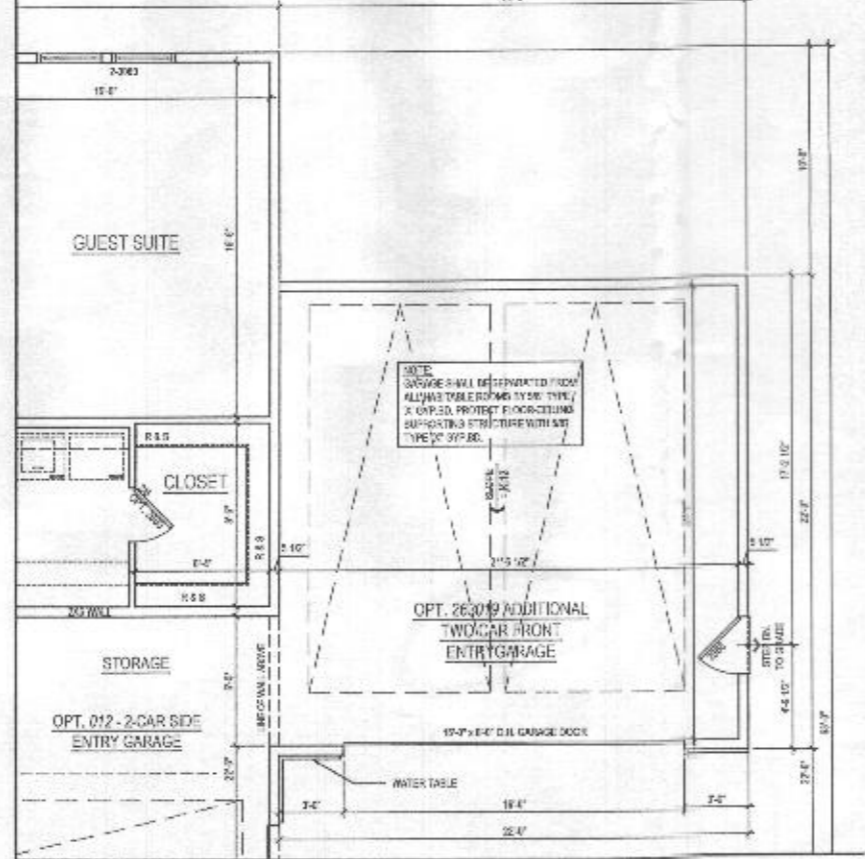
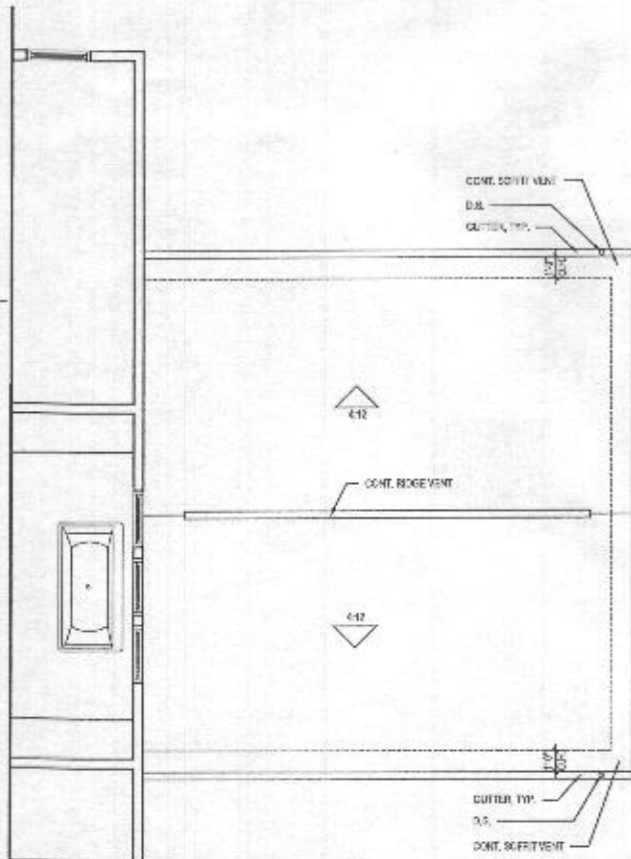
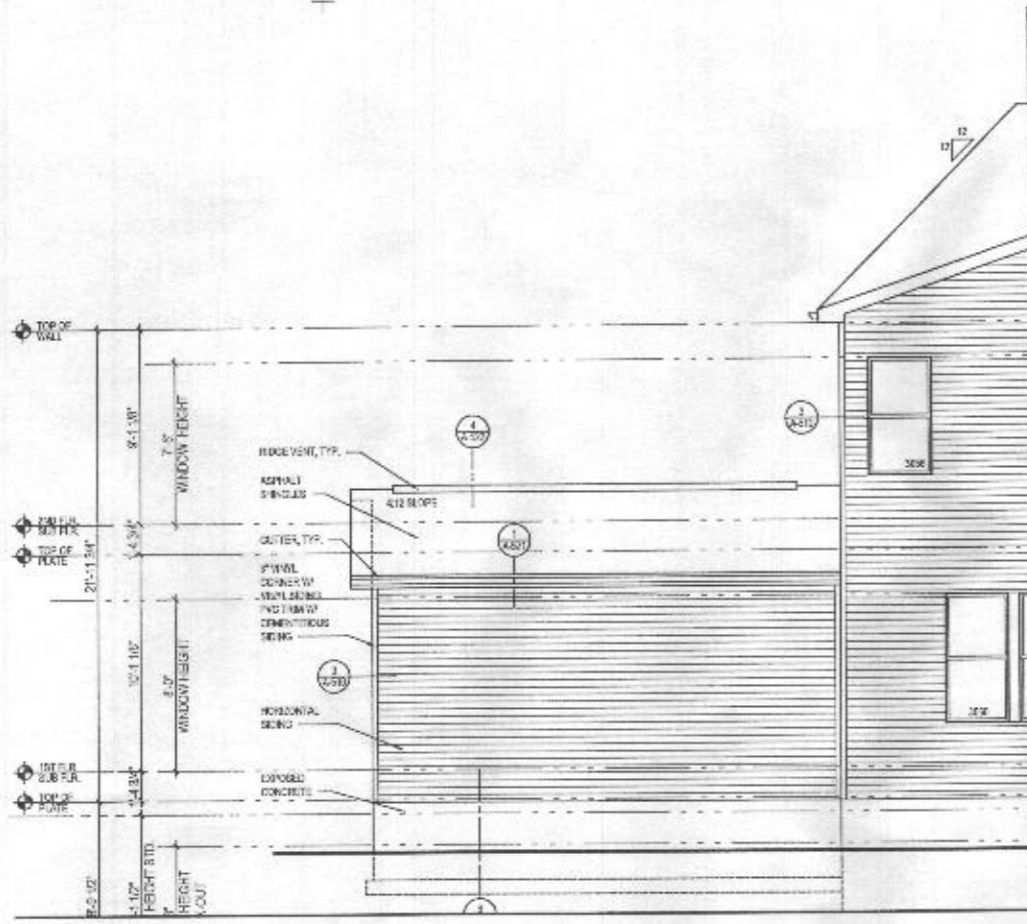
**A-400**

- GENERAL PLAN NOTES**
- ALL WORK SHOWN PARTITIONS NOT DIMENSIONED ARE TO BE 3/4" FOR INTERIOR AND 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
  - ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
  - ALL DIMENSIONS GIVEN OVER SCALE.
  - ALL DIMENSIONS GIVEN UNDER SCALE TO BE WIDEN IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
  - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND CEILING PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPHUM BOARD.
  - ALL WINDOWS SIZE ARE NOTED IN FEET - INCHES AS MEASURED FROM SILL TO SILL.
  - REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
  - ALL DOORS ARE TO BE 8'-0" HIGH UNLESS OTHERWISE NOTED.
  - WASHER ALWAYS TO BE ON LEFT SIDE OF SINK.
  - DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

**ROOF VENTILATION CALCULATIONS - ADDITIONAL TWO CAR GARAGE**

ROOF AREA	=	84.03 SQ. FT.
1300	=	1.61 SQ. FT.
12x12	=	232.00 SQ. IN.
SUFFICIENT - PROVIDED	=	25.00 FT.
SUFFICIENT - PROVIDED	=	9.00 FT.

REFER TO A-401 FOR SIDE ELEVATION. SAME AS ONE CAR GARAGE



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P: 571.291.0888  
F: 703.322.5730  
CONTACT: CHRISTINA LEMLEY  
C.LEMLEY@tollbrothers.com

**KALORAMA**  
PROJECT NAME:  
SHEET TITLE:  
**#263019 - ADDITIONAL TWO CAR FRONT ENTRY GARAGE**

NO.	DESCRIPTION	DATE
01	ISSUE FOR PERMIT	03.23.20
02	REVISED PERMIT SET	03.30.20
03	REVISED PERMIT SET	04.15.20
04	REVISED PERMIT SET	04.15.20

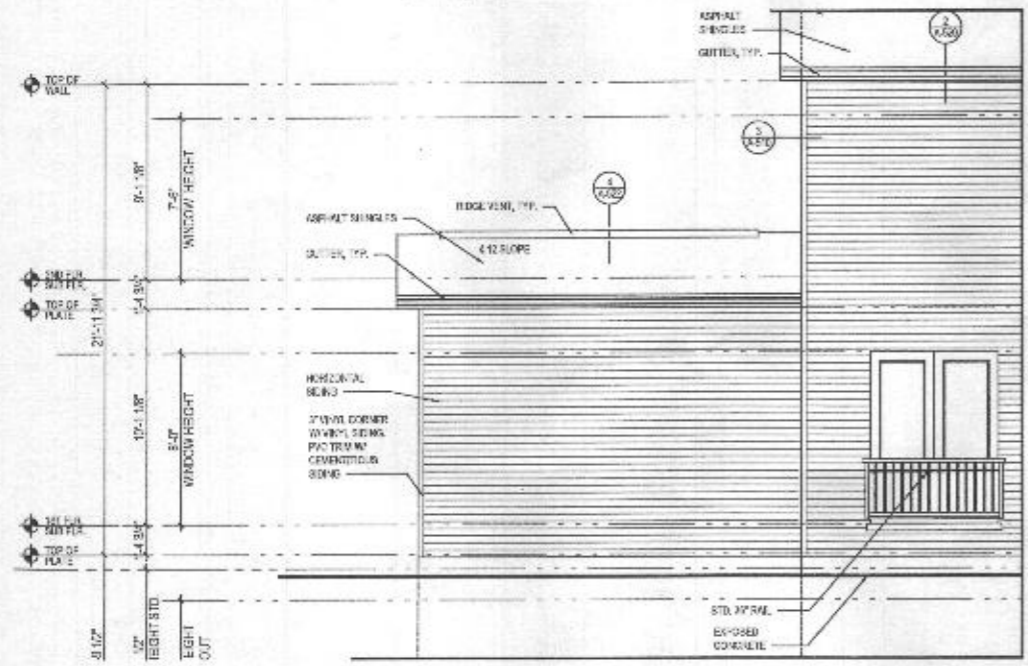
**A-404**



- GENERAL PLAN NOTES**
- ALL WINDOW PARTITIONS NOT DIMENSIONED ARE TO BE 2" MIN. INTERIOR AND 1/2" FOR EXTERIOR FINISHES UNLESS OTHERWISE NOTED.
  - ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
  - ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
  - ALL DIMENSIONS GIVEN IN FEET AND INCHES.
  - ALL WINDOW PARTITIONS ARE TO BE WITHIN 2" OF FINISH SURFACE UNLESS OTHERWISE NOTED.
  - UNEMPLOYED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND RAILINGS PROTECTED ON EMPLOYED SIDE WITH 1/2" OF FINISH BOARD.
  - ALL WINDOWS ARE TO BE 1/2" FROM FINISH SURFACE UNLESS OTHERWISE NOTED.
  - REFER TO SPECIFICATIONS FOR WINDOW HEAD HEIGHTS.
  - ALL DOORS ARE TO BE 4" FROM FINISH UNLESS OTHERWISE NOTED.
  - WASHER ALWAYS TO BE ON LEFT SIDE OF DOOR.
  - DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF DOOR.

**ROOF VENTILATION CALCULATIONS - MULTI-GEN SUITE**

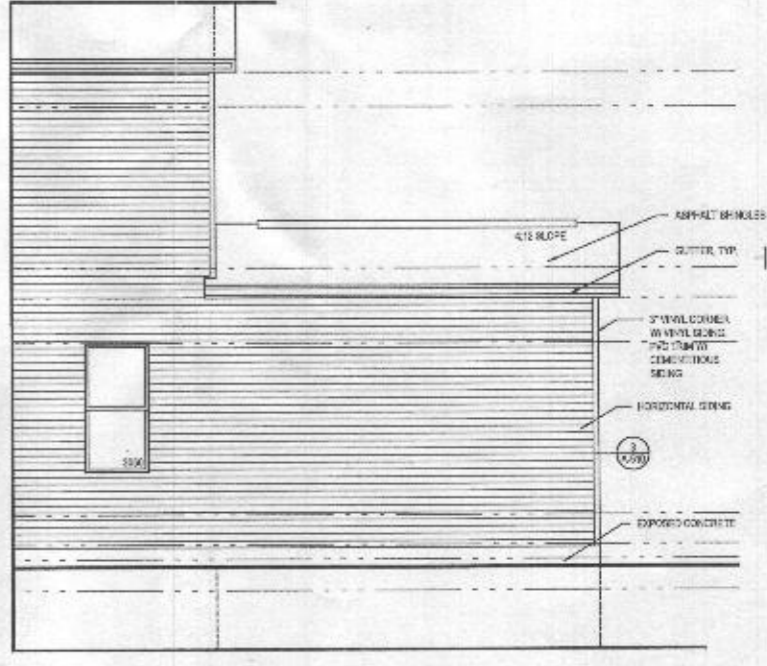
ROOF AREA	=	273.00 SQ. FT.
1.2X	=	327.60 SQ. FT.
4" TO 12"	=	126.83 SQ. FT.
SQ. INCHES	=	64.83 SQ. IN.
SUITE VENT REQUIRED (ENCL. @ 900 IN. FT.)	=	7.20 FT.
SUITE VENT PROVIDED	=	38.00 FT.
SQ. INCHES	=	56.83 SQ. IN.
ROOF VENT REQUIRED (ENCL. @ 11.00 IN. FT.)	=	4.00 FT.
ROOF VENT PROVIDED	=	15.00 FT.



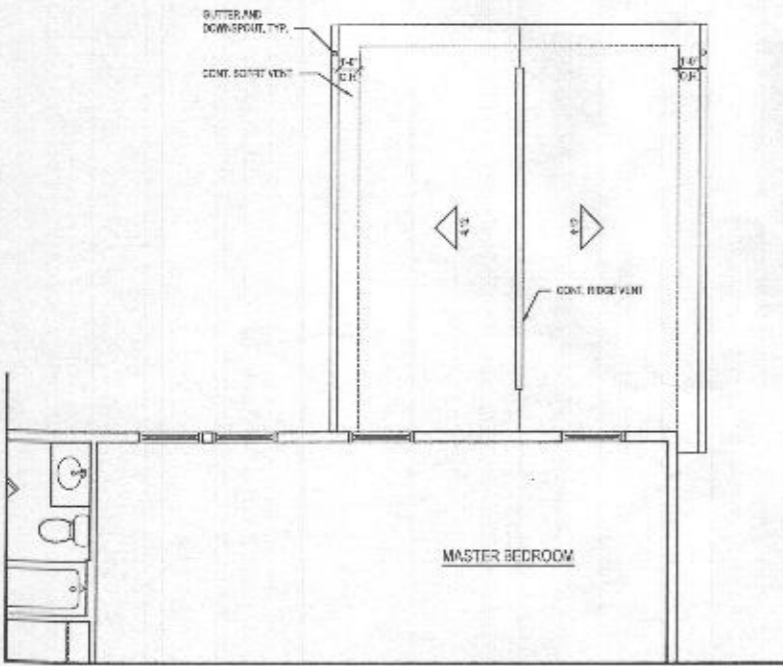
**6 PART. LEFT SIDE ELEV. w/ OPT. 263073 - MULTI-GEN SUITE ADDITIONAL**  
 A-406 SCALE: 1/4"=1'-0"  
 TOLERANCES



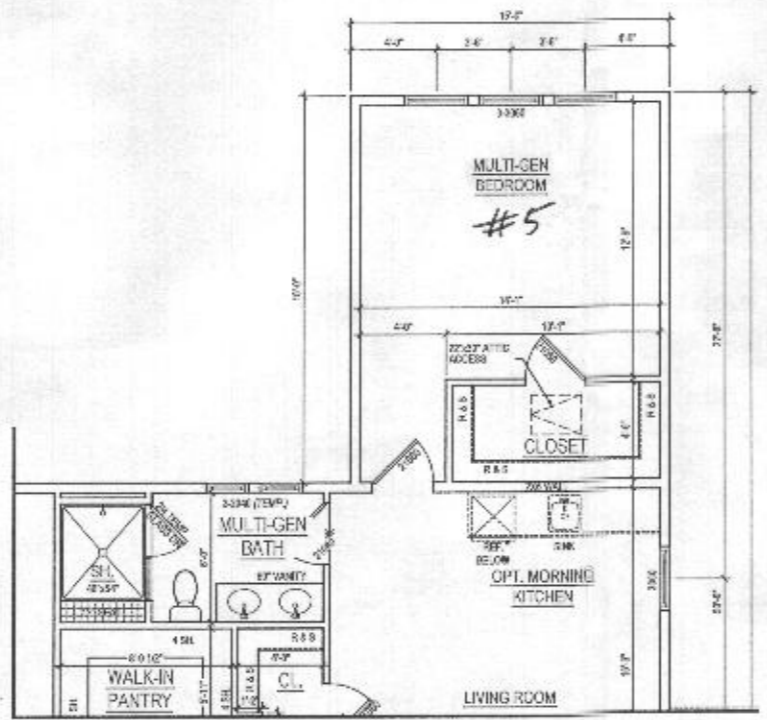
**5 PART. REAR ELEVATION w/ OPT. 263073 - MULTI-GEN SUITE ADDITIONAL**  
 A-406 SCALE: 1/4"=1'-0"  
 TOLERANCES



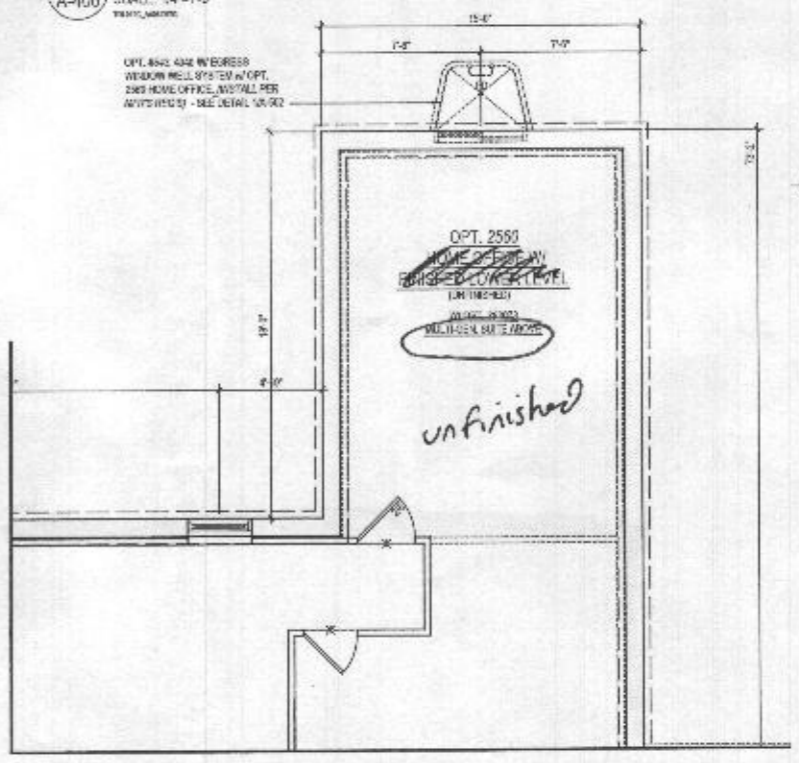
**4 PART. RIGHT SIDE ELEV. w/ OPT. 263073 - MULTI-GEN SUITE ADDITIONAL**  
 A-406 SCALE: 1/4"=1'-0"  
 TOLERANCES



**3 PART. 2ND FLOOR PLAN w/ OPT. 263073 - MULTI-GEN SUITE ADDITIONAL**  
 A-406 SCALE: 1/4"=1'-0"  
 TOLERANCES



**2 PART. 1ST FLOOR PLAN w/ OPT. 263073 - MULTI-GEN SUITE ADDITIONAL**  
 A-406 SCALE: 1/4"=1'-0"  
 TOLERANCES 270 SQ. FT.



**1 PART. BASEMENT FLOOR PLAN w/ OPT. 263073 - MULTI-GEN SUITE ADDITIONAL**  
 A-406 SCALE: 1/4"=1'-0"  
 TOLERANCES

ARCHITECT

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SEAL & SIGNATURE

OWNER

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 F: 703.277.1730  
 CONTACT: CHRISTINA LEMLEY  
 CLEMLEY@tollbrothers.com

PROJECT NAME: **KALORAMA**

SHEET TITLE: **#263073 - MULTI-GEN SUITE ADDITIONAL**

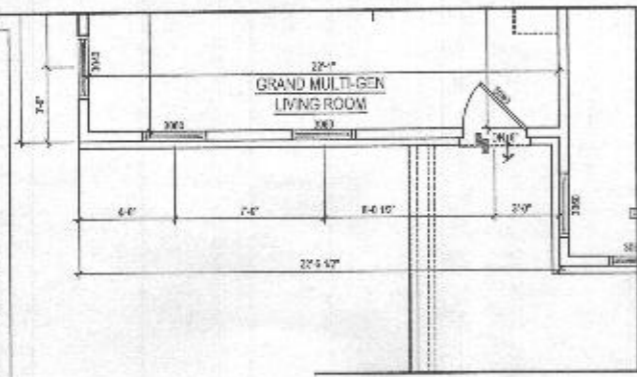
NO.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT	03.23.20
2	BUDGET	09.30.20
3	WILLIAM CARRY STREET SET	12.22.20
4	LENN HILL STREET SET	12.22.20

PROJECT NO: 263073  
 DRAWN BY: J.A.S.  
 CHECKED BY: J.A.S.  
 PLOT DATE: 06.15.2022  
 FILE NAME: TOLLBROTH.AIA

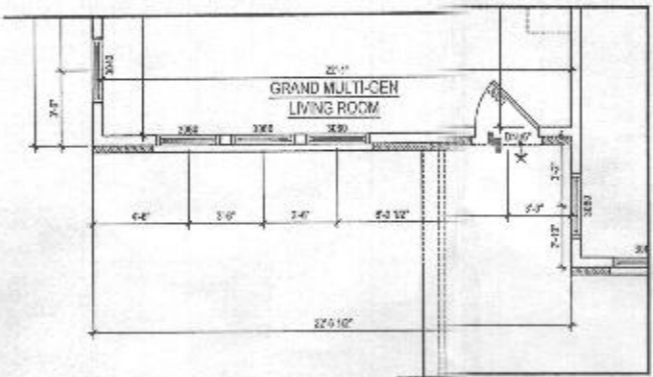
**A-406**

**GENERAL PLAN NOTES**

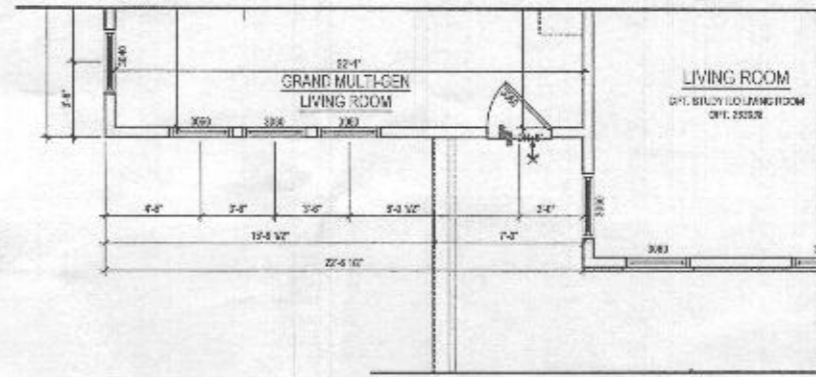
- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 2" X 4" FOR INTERIOR AND 2" X 6" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
- B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
- D. ALL DIMENSIONS GIVEN OVER SCALE.
- E. ALL DIMENSIONS GIVEN UNDER SCALE.
- F. ALL DIMENSIONS GIVEN TO FACE UNLESS OTHERWISE NOTED.
- G. ALL WINDOW SIZES ARE TO FACE UNLESS OTHERWISE NOTED.
- H. REFER TO SCHEDULES FOR WINDOW HEAD HEIGHTS.
- I. ALL DOORS ARE TO BE 7' 0" HIGH UNLESS OTHERWISE NOTED.
- J. WALKERWAYS TO BE ON LEFT SIDE OF DOOR.
- K. RINSEWATER ALWAYS TO BE ON RIGHT SIDE OF SINK.



**2c** PART. FIRST FLOOR PLAN w/ OPT. 263075 - GRAND MULTI-GEN SUITE ADD. SCALE: 1/4"=1'-0" FAIRVIEW 686.52 FT.



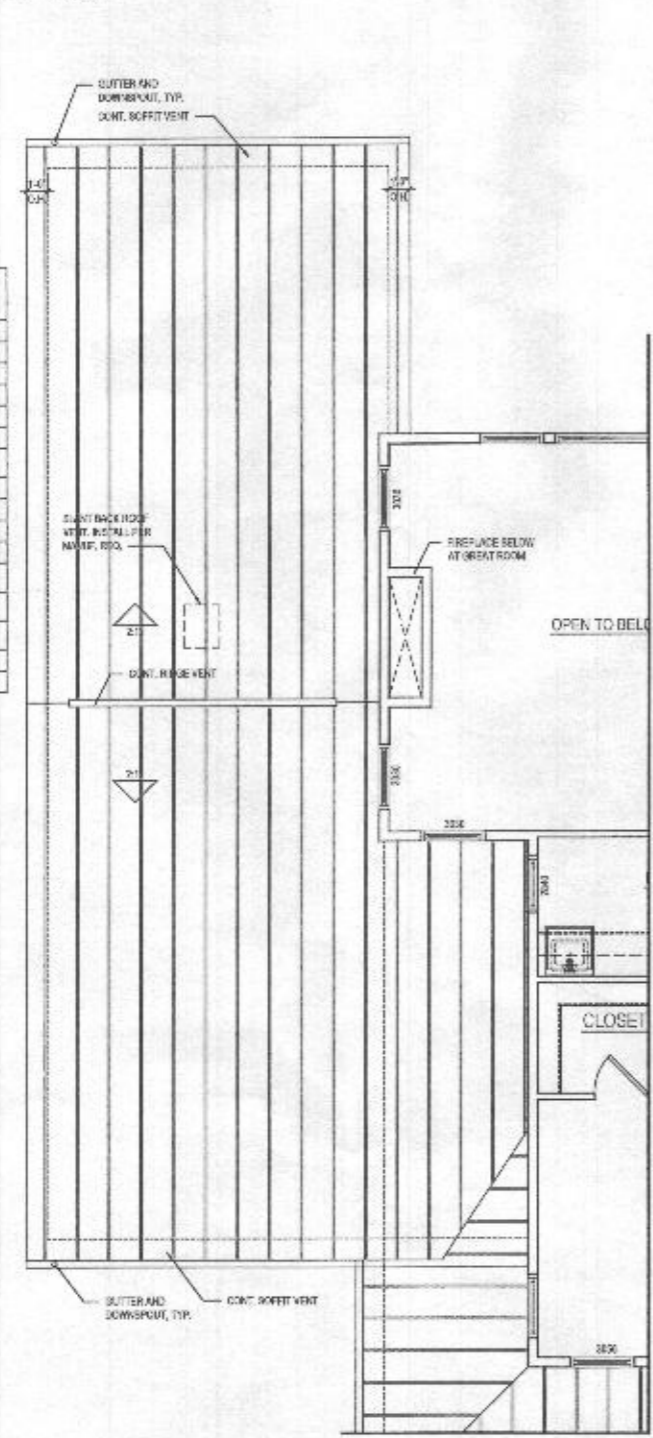
**2b** PART. FIRST FLOOR PLAN w/ OPT. 263075 - GRAND MULTI-GEN SUITE ADD. SCALE: 1/4"=1'-0" TRADITIONAL 786.52 FT.



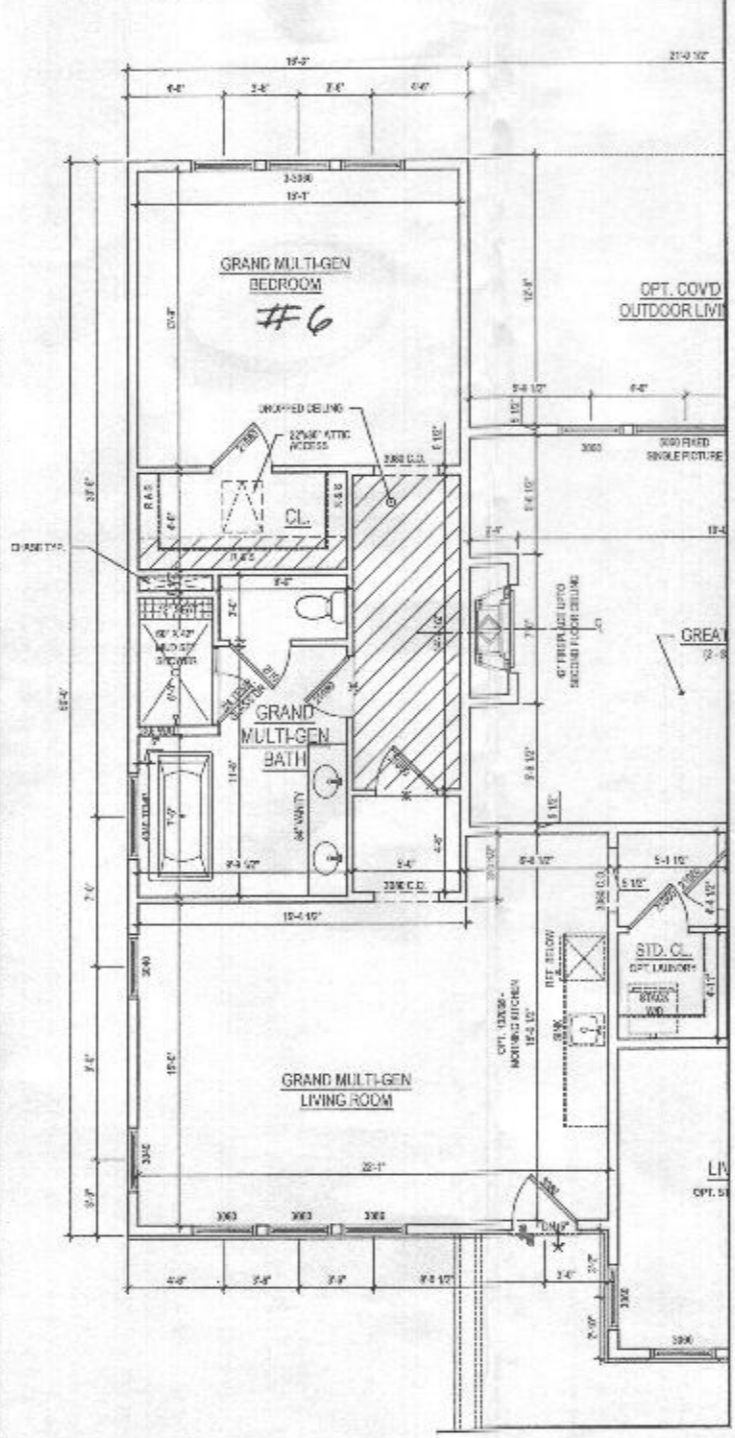
**2a** PART. FIRST FLOOR PLAN w/ OPT. 263075 - GRAND MULTI-GEN SUITE ADD. SCALE: 1/4"=1'-0" MODERN FARMHOUSE 886.52 FT.

**ROOF VENTILATION CALCULATIONS - MAIN ROOF**

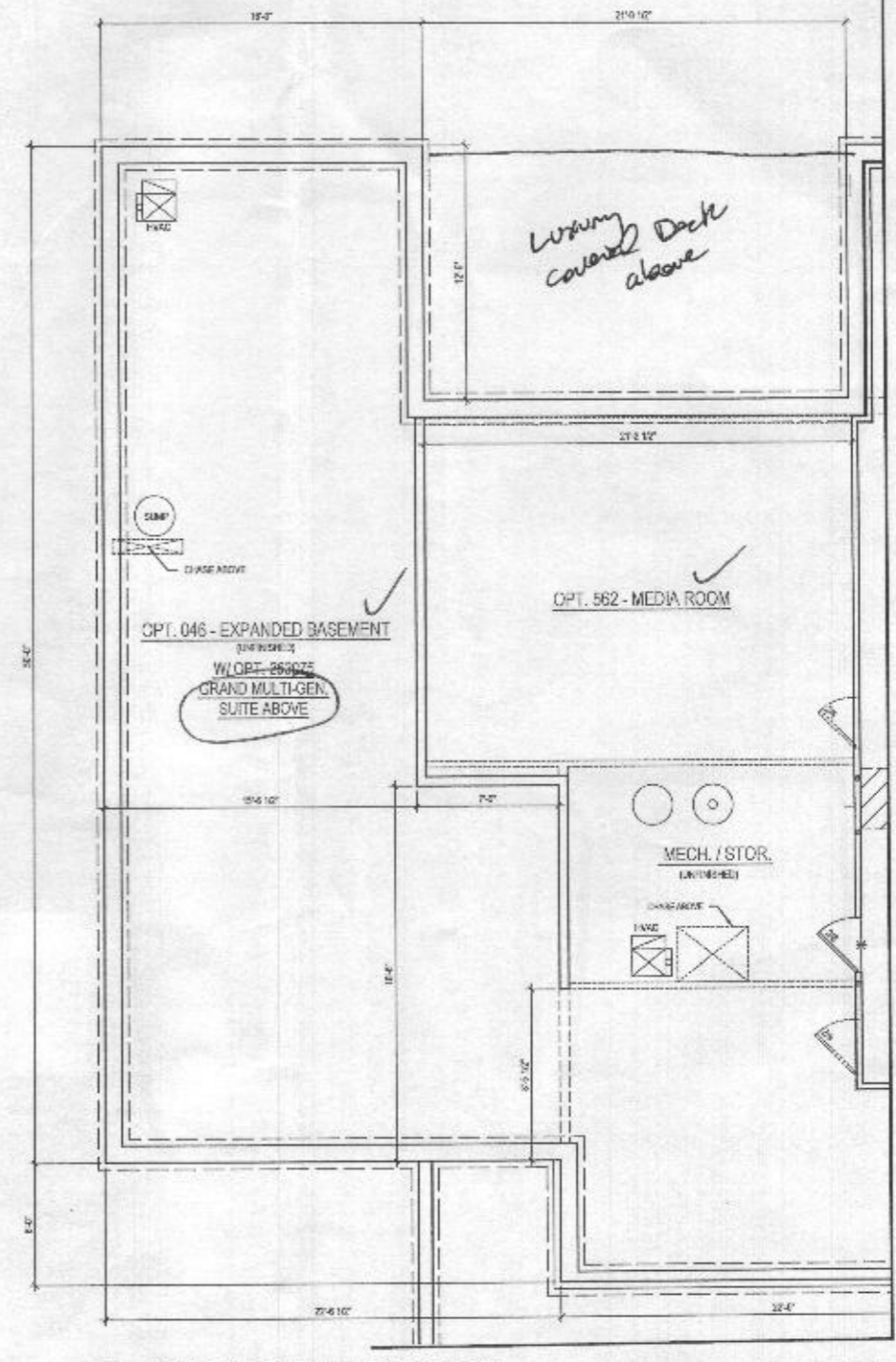
ROOF AREA	=	912.33 SQ. FT.
1" X 6"	=	5,04.90 FT.
2" X 12"	=	437.91 SQ. IN.
16% (MIN)	=	236.95 SQ. IN.
COFFER VENT - REQUIRED	=	24.23 FT.
COFFER VENT - PROVIDED	=	41.50 FT.
64% (OUTSIDE)	=	216.92 SQ. IN.
ROOF VENT - PROVIDED	=	12.53 FT.
6814 BOLS. FT.	=	170.25 FT.
ROOF VENT PROVIDED	=	1
488 BOLS. FT.	=	34.02 FT.
TOTAL OUTTAKE PROVIDED	=	224.24 FT.



**3** PART. SECOND FLOOR PLAN w/ OPT. 263075 - GRAND MULTI-GEN SUITE ADD. SCALE: 1/4"=1'-0" CRAFTSMAN 886.52 FT.



**2** PART. FIRST FLOOR PLAN w/ OPT. 263075 - GRAND MULTI-GEN SUITE ADD. SCALE: 1/4"=1'-0" CRAFTSMAN 886.52 FT.



**1** PART. BASEMENT FLOOR PLAN w/ OPT. 263075 - GRAND MULTI-GEN SUITE ADD. SCALE: 1/4"=1'-0" CRAFTSMAN 886.52 FT.

lessard  
DESIGN

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CONTACT: CRISTINA LEVLEY  
CLEVELY@tollbrothers.com

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PROJECT NAME: **KALORAMA**

SHEET TITLE: **#263075 - GRAND MULTI-GEN SUITE ADDITION**

NO.	DESCRIPTION	DATE
1	DESIGN DEVELOPMENT	03.22.20
2	REV. SET	09.30.20
3	W/1.0W CROWN PERMIT SET	12.22.20
4	FINAL W/1.0W PERMIT SET	12.22.20

PROJECT No: W/1.0W  
DRAWN BY: SK & JH  
CHECKED BY: SK & JH  
PLT. DATE: 04.18.2021  
FILE NAME: TOLBRO\_263075.dwg

A-407