

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B22003206	08/16/2022
Description of Work		
SFD//INSTALL (1) 1000 GAL UNDERGROUND PROPANE TANK		

[check spelling](#)

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
6013	BRICKER	RD	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-77.00116	39.22676
City	State	Zip Code	Primary
DAYTON	MD	21036	Yes

Approved 8/24/22
AM

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
11060759		0	0	0	0	RURAL
Legal Description						

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
18	4	605101	5				
Plan Area	State Tax Id	Subdivision Name					
		Willowshire					
Section	Area	Tax Map					
		27					
Grid	Zoning District	ADC Map					
27-18	RR-DEO	4932-K4					
SDP No.	Final Plan No.	WP File No.					
	ECP-16-025						
Record Plat No.	WS Contract No.	FDP No.	Primary				
25500-2550			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-01	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner * (This section is required.)

Search Reset Clear

Name *

TOLL MID ATLANTIC LP COMPANY INC

Address Line 1

250 GIBRALTAR RD

Address Line 2

Address Line 3

Mail City

HORSHAM

Phone

301-725-3232

E-mail

Mail State

MD

Mail Zip Code

19044

Primary

Yes

Cell Number Fax Number

Professionals (This section is not required.)

Search Reset Clear

License # *	Business Name		
68408	HJ POIST		
License Type *	First Name	Middle Name	Last Name
Propane Gs	JEFF		WISEMAN
Primary	Address Line 1		
Yes	360 MAIN ST		
	Address Line 2		
	City	State	ZIP Code
	LAUREN	MD	20707
	Phone 1	Phone 2	Fax
	3017253232		
	E-mail		
	JEFF@HJPOIST.COM		

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type *	First Name	MI	Last Name
Applicant	MICHELLE		CLANCY
Relationship	Full Name		
Applicant	MICHELLE CLANCY		
Primary	Organization Name		
Yes	APPLIED & APPROVED PERMITS LLC		
	Street Address		
	P.O. BOX 310		
	Address Line 2		
	City	State	Zip Code
	PERRY HALL	MD	21128
	Phone	Cell	Fax
	443-340-1229		
	E-mail *		
	MICHELLE@APPLIEDANDAPPROVED.COM		

Addtl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
2000	0	0	No
Construction Type			
434 - Additions, Alterations and Conversions - Residential			

TANK INFORMATION

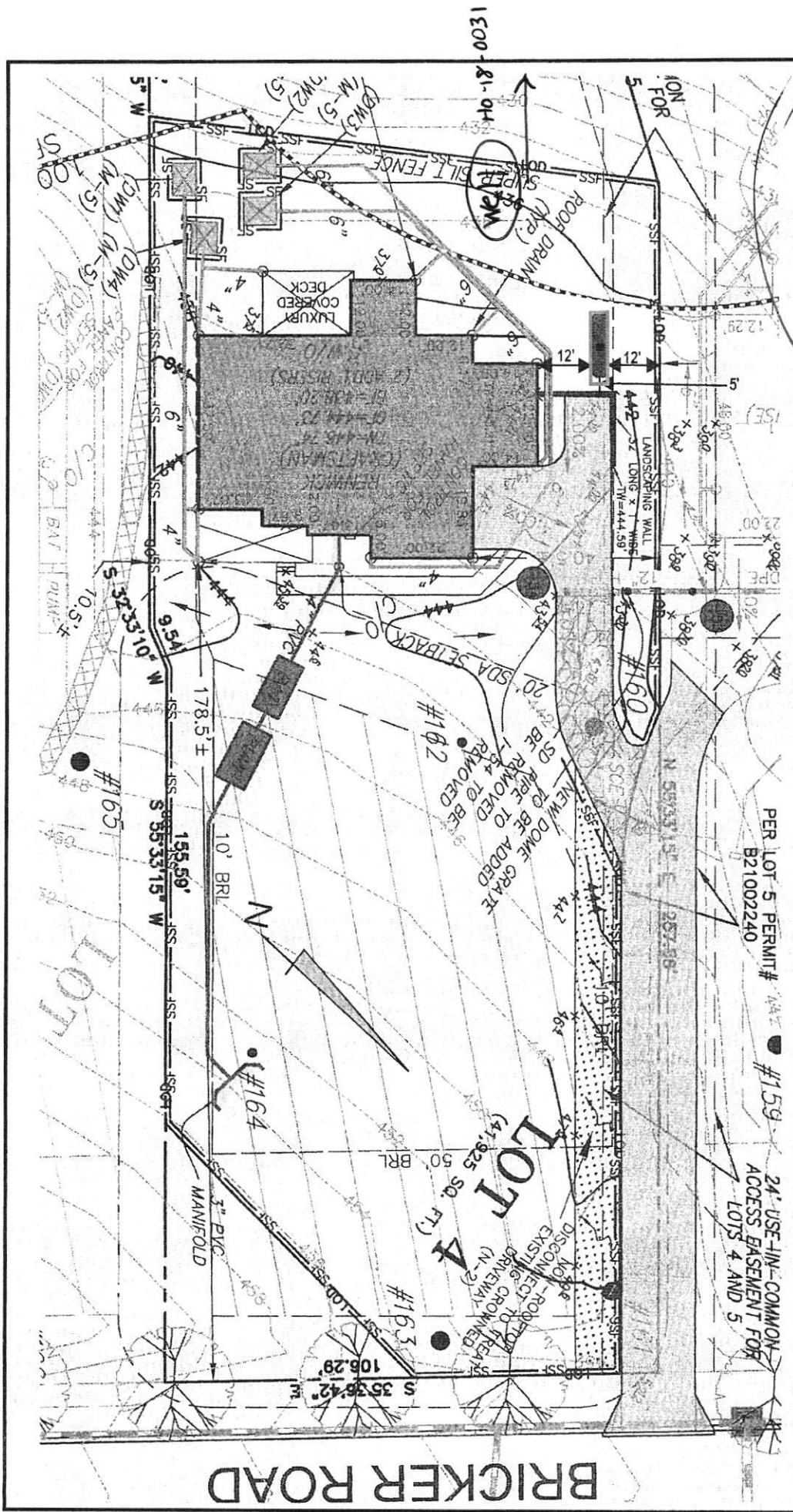
RESIDENTIAL TANK INFORMATION

Capital Project-No Fee *	Capital Project Number	Fee Exempt *	Roadside Tree Project Permit *	Roadside Tree Permit #
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Existing Use *	Number of Tanks Installed *	Number of Tanks Removed *		
SFD	1	0		
Water Supply	Sewage Disposal	Expiration Date	Relocate Existing Tank *	
Private	Private	2/20/2023	0	

PAYMENT INFORMATION

Check 1	Payee 1	Check 2	Payee 2	SAP Doc No	SAP Entered

Submit Cancel



BRICKER ROAD

Approved for LP tank
 B22003206
 8/24/22

PROPOSED UNDERGROUND 1,000-GALLON PROPANE STORAGE TANK LOCATION
WILLOWSHIRE LOT 4 - 6013 BRICKER RD, DAYTON, MD 21036
 SCALE 1" = 30'



THE H.J. POIST GAS COMPANY, INC., 360 MAIN STREET, LAUREL, MD 20707 ~ 301-725-3232 ~ www.poistgas.com

PER LOT 5 PERMIT # B21002240
 #159
 24' USE-IN-COMMON ACCESS EASEMENT FOR LOTS 4 AND 5

NEW DOME GRAVE TO BE ADDED
 SD PIPE TO BE REMOVED
 1" SD PIPE TO BE REMOVED
 1" SD PIPE TO BE REMOVED

LOT 4
 (41,925 SQ. FT.)
 DISCONNECT TO BE REMOVED
 EXISTING DRIVEWAY TO BE REMOVED
 (N-2)

LOT 7

LOT 6

LOT 5

PERMIT NUMBER: B 2200402

DATE ACCEPTED:



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 6013 Backer Rd		Unit:
City: Dayton	State: MD	Zip Code: 21036
Subdivision/Village/Complex Name: Willowshire		SDP/WP/BA #:
Lot: 4	Tax Map:	Parcel:
		Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: vacant lot	Proposed Use: SFD	Estimated Cost: \$ 300,000
Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVACR) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> None		
Now 3 story "Renaissance" craftsman c/w, 2 car garage, 1 car side attached garage, luxury covered deck and finished lower level (see room, kitchen and bathroom)		

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Tall Mid Atlantic Lp/Inc	Primary Residence: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Owner's Street Address: 250 Gibraltar Rd.	Contact: Summer Kiley
City: Harsham	State: PA
Phone: 410-872-9105	Email: skiley1@tallbrothers.com
	Zip Code: 19044

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Decorator Building Services	Contact Name: Tim Kerwin
Street Address: PO Box 552	
City: Woodbine	State: MD
Phone: 443-309-7772	Email: vmarden@decoratorbuilding.com
	Zip Code: 21797

CONTRACTOR INFORMATION REQUIRED

Business Name: Tall Brothers	Contact: Summer Kiley
Licensee's Name: Tall Mid Atlantic Lp/Inc	License #: 8320
Street Address: 6731 Columbia Gateway Dr, Ste 100	
City: Columbia	State: MD
Phone: 410-872-9105	Email: skiley1@tallbrothers.com
	Zip Code: 21046

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:	Name:
Street Address:	
City:	State:
Phone:	Email:
	Zip Code:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: <input type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)	Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities: <input type="checkbox"/> Electric <input checked="" type="checkbox"/> Gas	Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)
Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane <input type="checkbox"/> Other:	Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input type="checkbox"/> None	Fire Alarm System: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: "Renaissance" c/w craftsman 2 car + 1 car garage, covered deck and full				
# of Bedrooms (SF): 5	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):
# Rooms: 11	# Full Baths: 5	# Half Baths: 1	# Fireplaces: 1	
Garage/Carport Info: <input checked="" type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None				
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input checked="" type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial				
1st Fl Width: 73	1st Fl Depth: 60	2nd Fl Width: 59	2nd Fl Depth: 43	Bsmt Width: 59
				Bsmt Depth: 60
Energy Method: <input type="checkbox"/> Prescriptive <input checked="" type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area: 7514 sq ft		Occupiable Area: 7073 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: *[Signature]* DATE SIGNED: 2/19/2022

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:				
<input checked="" type="checkbox"/> PR	<input type="checkbox"/> DPZ	<input type="checkbox"/> DED	<input checked="" type="checkbox"/> Health <i>[Signature]</i>	<input type="checkbox"/> SHA <input type="checkbox"/> CID
SUBMITTAL FEES: 150.00	PAYMENT: <i>[Signature]</i> # 01596348	ACCEPTED BY: <i>[Signature]</i>		

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 5/12/2022

To: DILP ROBERT BRICKER, HEALTH DEPT
(Person's Name and Division)

From: Jim Karwin For Toll Brothers (443) 309-7792
(Your Name, Company Name and Telephone Number)

Subject: Project name Willow Creek Lot 4
Project site address 6013 Bricker Road
Permit # B22000462 SDP # _____
Other information pertinent to this project _____

- Please check the attachments below that you are submitting with this transmittal:
- Letter of response to address plan review comment letter
 - Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
 - Letter Summarizing Changes
 - Energy conservation calculations
 - Copies of revised Plot Plan (be specific). *** SEPTIC TANK
LOCATION CHANGE**
 - Health Department Request DPZ/ DED Request Applicant's Request
 - Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
 - Other _____

Contact Person Information: (Required)

Jim Karwin
Please Print Name

Telephone No: 443-309-7792
E-Mail Address: Jim@DecaturBuildingServices.com

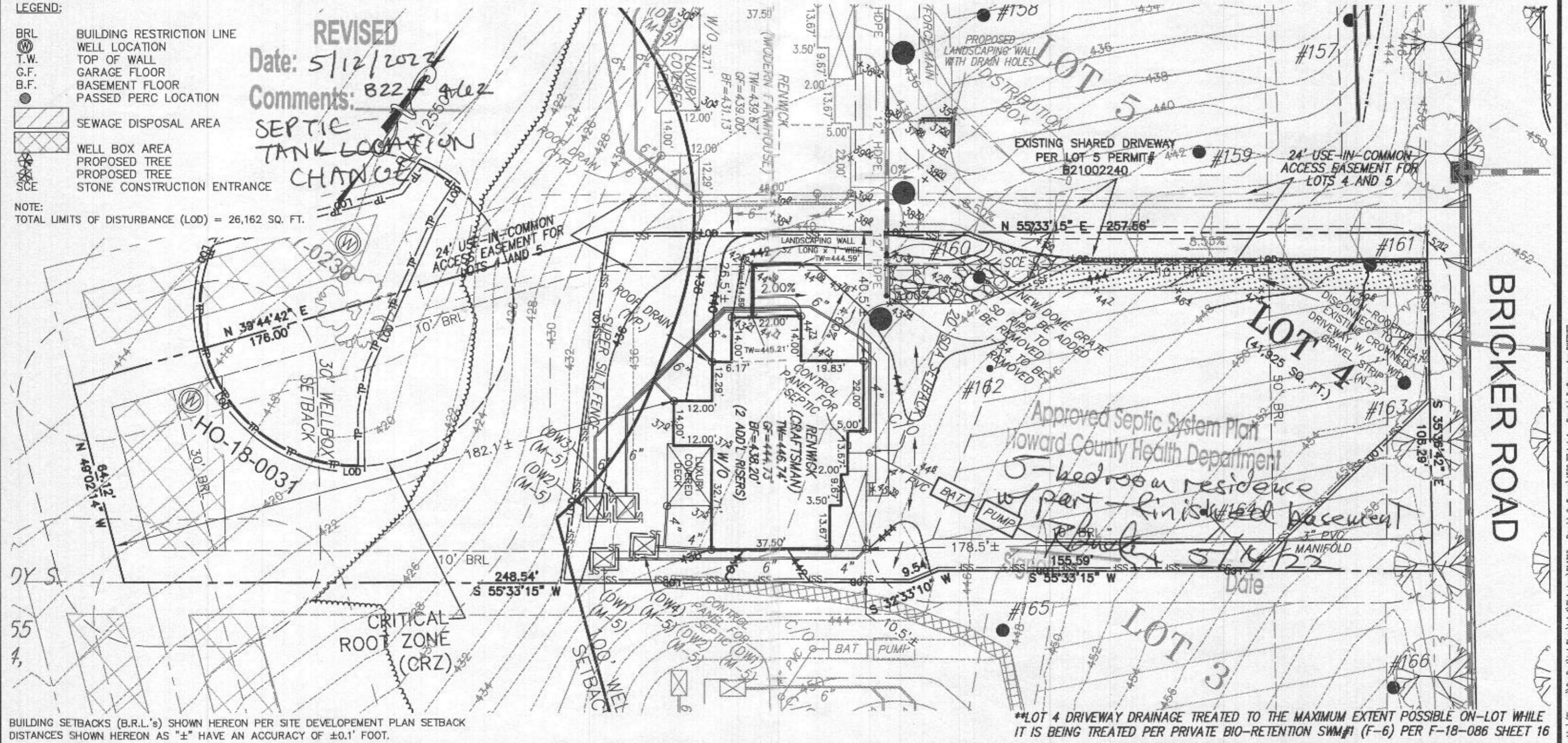
PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by AKH **PER HEALTH DEPT** DILP 2022 MAY 12 PM 2:31

LEGEND:

- BRL BUILDING RESTRICTION LINE
- WELL LOCATION
- T.W. TOP OF WALL
- G.F. GARAGE FLOOR
- B.F. BASEMENT FLOOR
- PASSED PERC LOCATION
- SEWAGE DISPOSAL AREA
- WELL BOX AREA
- PROPOSED TREE
- PROPOSED TREE
- SCE STONE CONSTRUCTION ENTRANCE

NOTE:
TOTAL LIMITS OF DISTURBANCE (LOD) = 26,162 SQ. FT.



BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.

**LOT 4 DRIVEWAY DRAINAGE TREATED TO THE MAXIMUM EXTENT POSSIBLE ON-LOT WHILE IT IS BEING TREATED PER PRIVATE BIO-RETENTION SWM#1 (F-6) PER F-18-086 SHEET 16



HOUSE TYPE: RENWICK (CRAFTSMAN)

TWO CAR SIDE ENTRY GARAGE ILO STANDARD GARAGE	OPTION No. 012
FINISHED LOWER LEVEL	OPTION No. 013
WALK-OUT BASEMENT	OPTION No. 017
ADDITIONAL ONE CAR FRONT ENTRY GARAGE - 14'	OPTION No. 263102
WALK-OUT LUXURY COVERED DECK	OPTION No. 263169
ADDITIONAL BEDROOM - FINISHED BASEMENT	OPTION No. 263216
ADDITIONAL BATH	OPTION No. 367
ADDITIONAL BATH - FINISHED BASEMENT	OPTION No. 383

WELL NUMBER: HO-18-0031
ADDRESS: 6013 BRICKER ROAD DAYTON, MD 21036

PLOT PLAN
LOT 4
WILLOWSHIRE
LIBER 18479, FOLIO 296
PLAT NO. 25502
5th ELECTION DISTRICT
HOWARD COUNTY, MARYLAND

ESE CONSULTANTS
ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.
6731 Columbia Gateway Drive • Suite 120 • Columbia, MD 21046
T: 410-872-9105

DATE: 02/02/2022 SCALE: 1" = 30' FILE: PP LOT 4-RENWICK CRAFTSMAN_rev1
CHK'D: M.J.B. JOB NO: 4520 DRAWN: V.X.P./R.C.K.

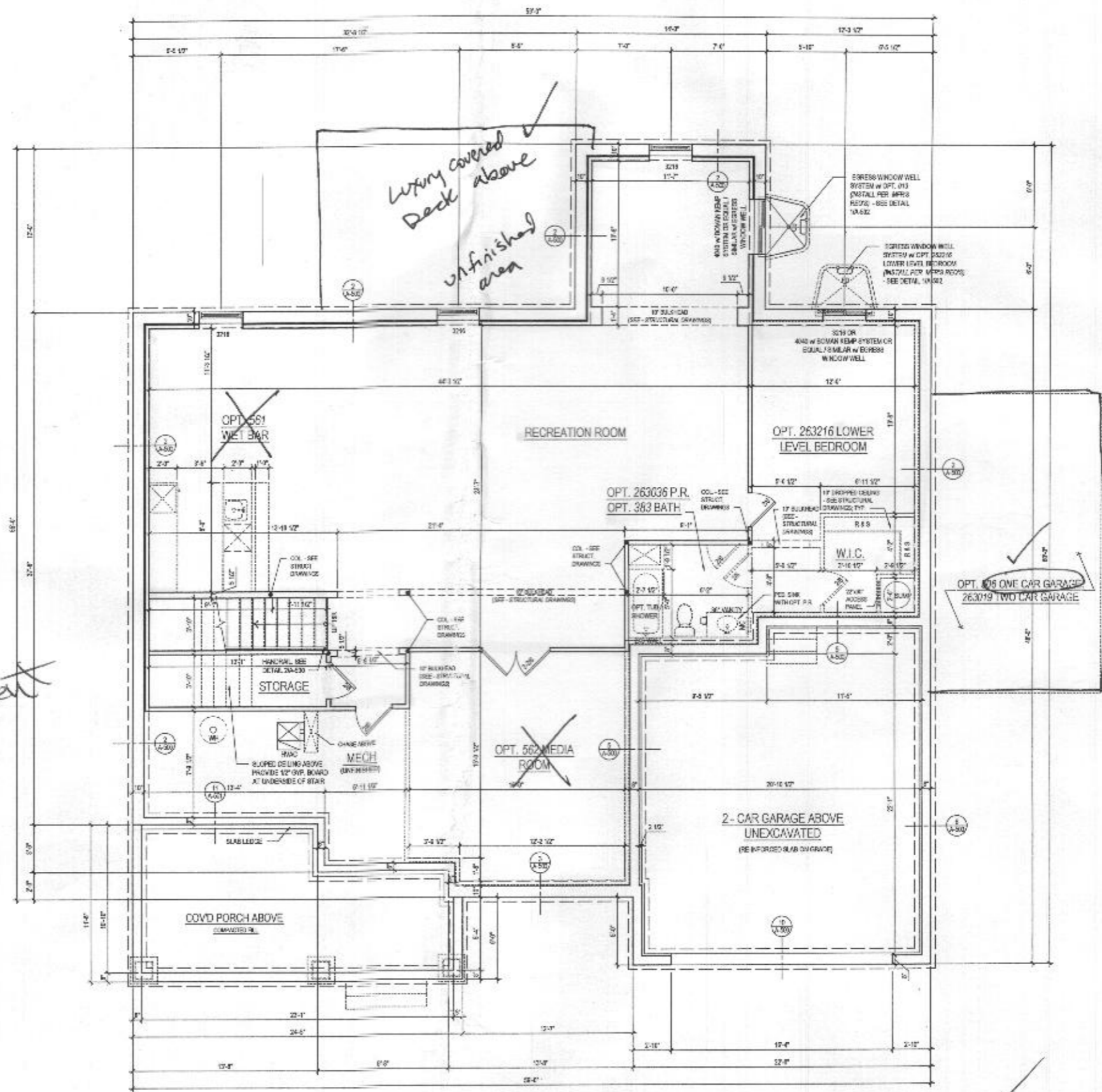
Health Dept.

- GENERAL PLAN NOTES**
- A. ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 2 1/2" FOR INTERIOR AND 3 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
 - C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
 - D. ALL DIMENSIONS GOVERN OVER SCALE.
 - E. ALL SMOKE DETECTORS ARE TO BE WIRING IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
 - F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SKIRTS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
 - G. ALL WINDOWS ARE TO BE NOTED IN FEET + INCHES AS MEASURED FROM GASH TO GASH.
 - H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
 - I. ALL DOORS ARE TO BE 9" HIGH IN SETS OR SWINGS NOTED.
 - J. WASH-BR ALLWAYS TO BE ON LEFT SIDE OF DRYER.
 - K. DRYER WASHES ALWAYS TO BE ON RIGHT SIDE OF RINK.

6013 Bricker Road
 Lot 4
 Willow Creek
 (willowshire)

5-bedroom residence
 w/ part-finished basement

'OK' RB
 5/12/2022



1 BASEMENT FLOOR PLAN
 A-100a SCALE: 1/4"=1'-0"

W/ OPT. 013 RECREATION ROOM @ ELEV. 1 - CRAFTSMAN
 @ FINISHED CONDITION

ARCHITECT:

 6521 Leesburg Pike
 Suite 200 | Vienna, VA 22182
 P: 571.830.1600 | F: 571.830.1801
 www.lessarddesign.com

OWNER:
 TOLL BROTHERS
 7104 COLUMBIA GATEWAY DRIVE
 COLUMBIA, MD 21046
 P: 410.872.9933
 CONTACT: MARK MCSAL
 mcsal@tollbrothers.com

PROJECT NAME:
 WILLOW CREEK
 HOWARD COUNTY, MD

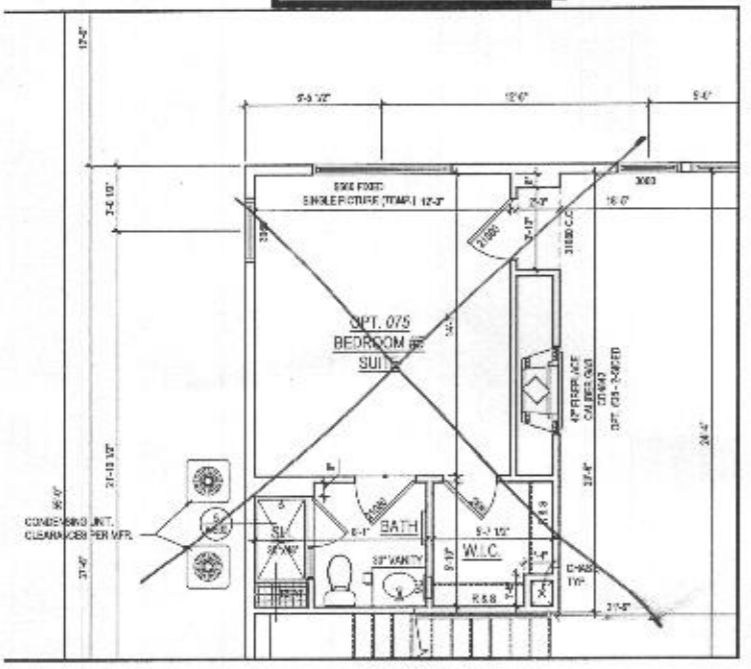
SHEET TITLE:
 RENWICK
 FLOOR PLANS

NO.	DATE / REVISION	DESCRIPTION	DATE
1	06.10.19	ISSUED SET	06.10.19
2	09.16.19	PERMIT SET	09.16.19

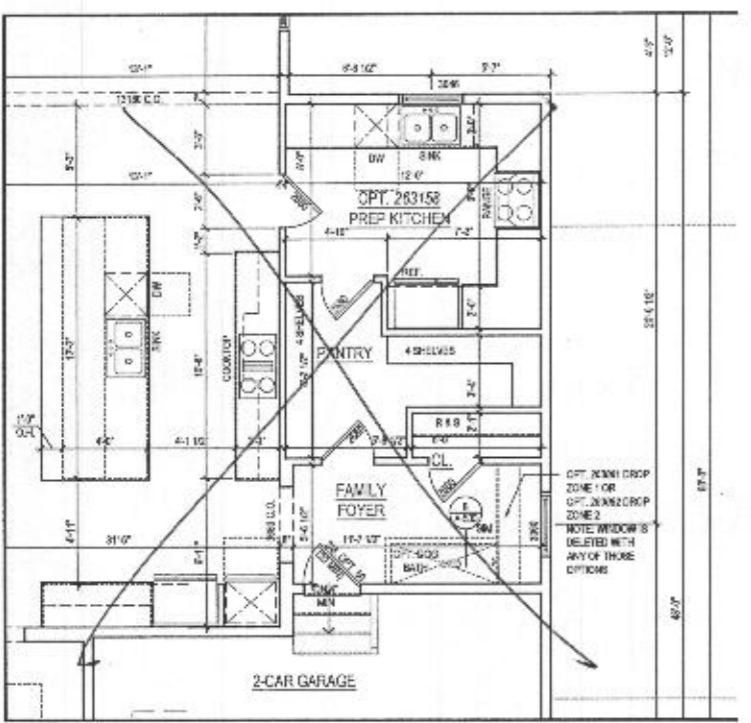
PROJECT No: TOL-2014
 DRAWN BY: ACB
 CHECKED BY: JF
 PLOT DATE: Sep 13 2019
 FILE NAME: TOL14-1116.dwg

A-100a

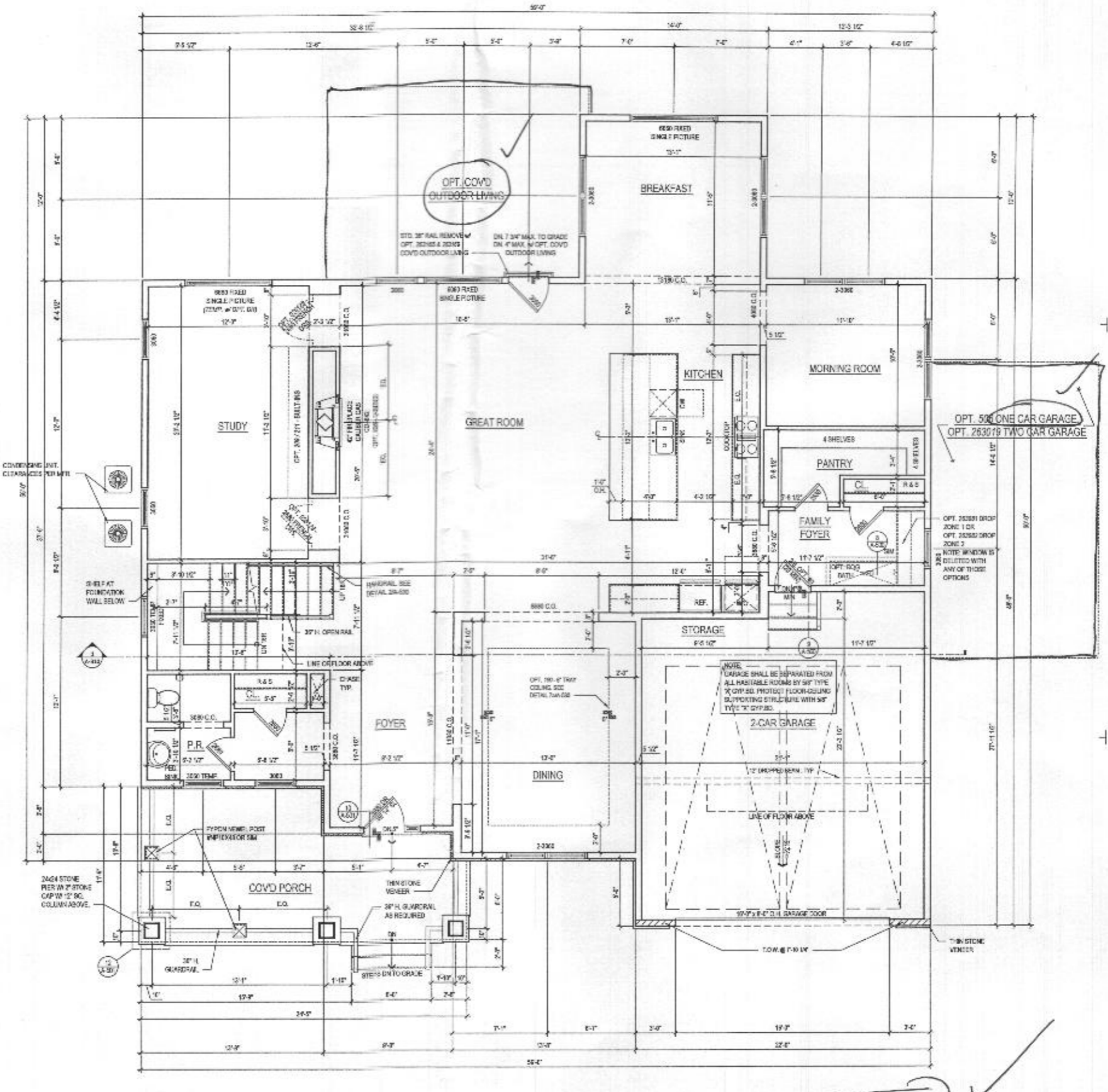
- GENERAL PLAN NOTES**
- A. ALL WOOD STUD PARTITIONS NOT OTHERWISE NOTED ARE TO BE 3/4" FOR INTERIOR AND 2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - B. ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - C. ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - D. ALL DIMENSIONS GOVERN OVER SCALE.
 - E. ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
 - F. ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND BUFFERS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
 - G. ALL WINDOWS ARE ANNOTATED IN FEET + NUMBER AS MEASURED FROM SASH TO SASH.
 - H. REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
 - I. ALL DOORS ARE TO BE 4" MIN UNLESS OTHERWISE NOTED.
 - J. WASH TRAYS ALWAYS TO BE ON LEFT SIDE OF SINK.
 - K. DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



3 PART. FIRST FLOOR PLAN w/ OPT. 075 BEDROOM #5 SUITE
A-110 SCALE: 1/4"=1'-0"
TERRAZZO



2 PART. FIRST FLOOR PLAN w/ OPT. 263158 PREP KITCHEN
A-110 SCALE: 1/4"=1'-0"
TERRAZZO



1 FIRST FLOOR PLAN
A-110 SCALE: 1/4"=1'-0"
TERRAZZO

@ ELEV. 1 - CRAFTSMAN



OWNER:
TOLL BROTHERS
7164 COLUMBIA GATEWAY DRIVE
DUBLIN, VA 22046
919.416.8728 ext 907
CONTACT: MARK MOSAL
mmosal@tollbrothers.com

PROJECT NAME:
WILLOW CREEK
HOWARD COUNTY, MD

SHEET TITLE:
RENWICK FLOOR PLANS

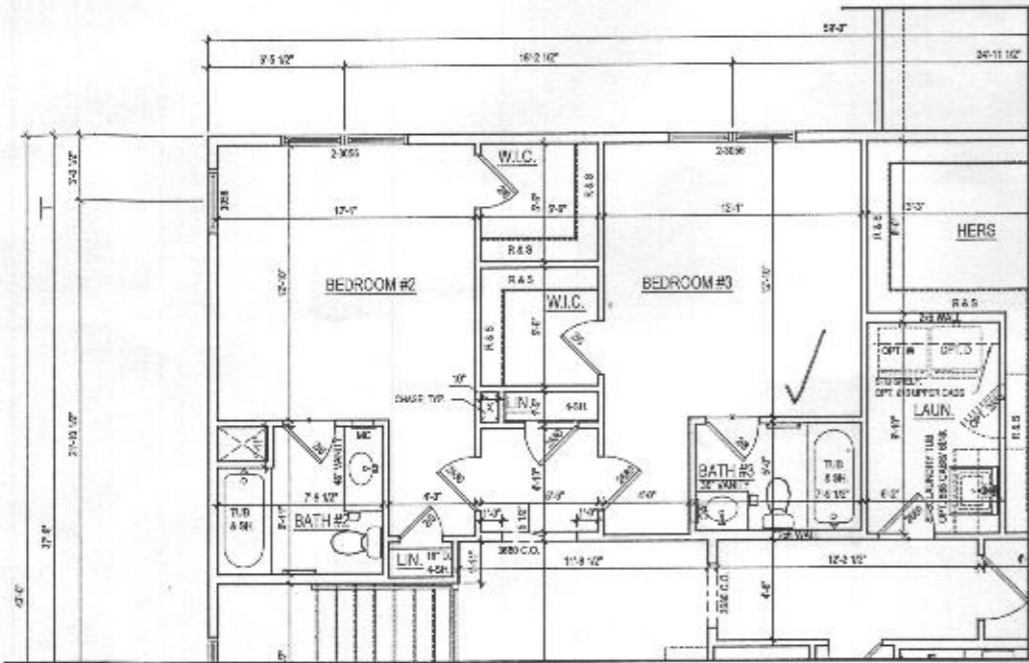
ISSUE / REVISION		
NO.	DESCRIPTION	DATE
1	ISSUE SET	06.16.14
2	PERMIT SET	06.16.14

PROJECT NO: 114.004
DRAWN BY: ALB
CHECKED BY: JF
PLOT DATE: Sep. 11. 2015
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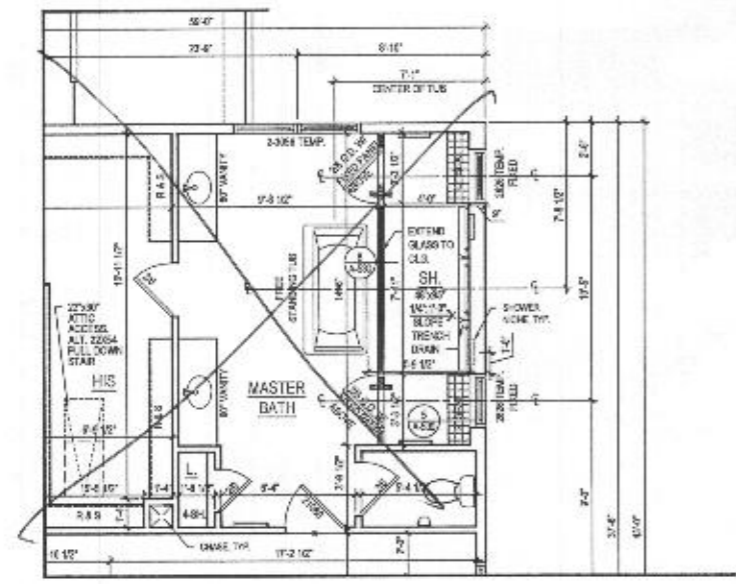
A-110

File No: TOL0813_A-110.dwg
Plot By: snak

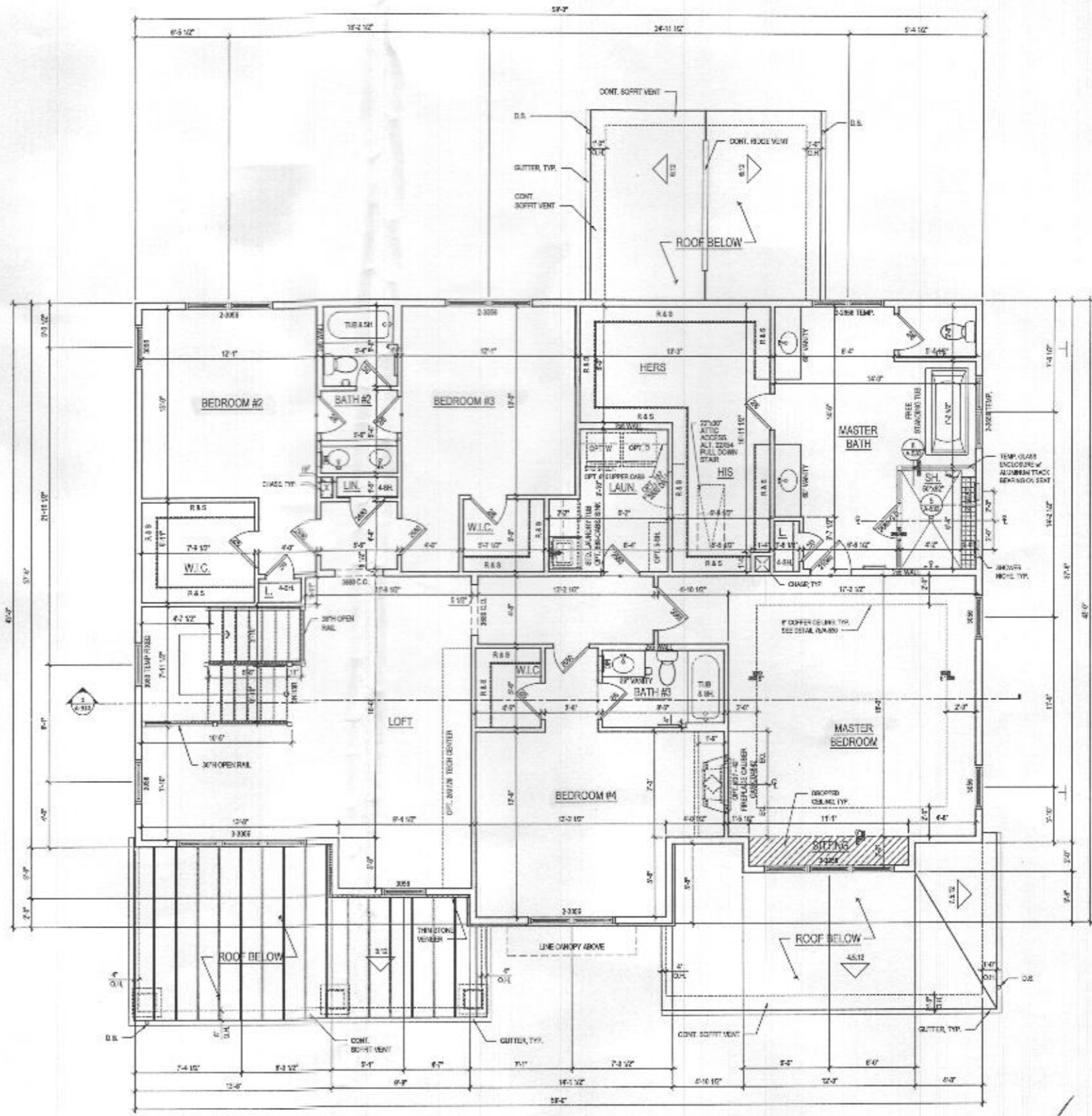
- GENERAL PLAN NOTES**
- ALL WOOD W/D PARTITIONS NOT DIMENSIONED ARE TO BE 1 1/2" FOR INTERIOR AND 5 1/2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
 - ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
 - ALL DIMENSIONS GOVERN OVER SCALE.
 - ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
 - FRIGID ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFFITS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYPSUM BOARD.
 - ALL WINDOWS ARE NOTED IN FEET + INCHES AS MEASURED FROM GASH TO GASH.
 - REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
 - ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
 - WASH-DRY ALWAYS TO BE ON LEFT SIDE OF DRYER.
 - DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



2 ALT. SECOND FLOOR PLAN w/ OPT. 367 - BATHROOM #3
A-120 SCALE 1/4" = 1'-0"



3 PART. SECOND FLOOR PLAN w/ OPT. 065 - LUXURY MASTER BATH
A-120 SCALE 1/4" = 1'-0"



1 SECOND FLOOR PLAN
A-120 SCALE 1/4" = 1'-0"

@ ELEV. 1 - CRAFTSMAN

lessard DESIGN
8521 Leeburg Pike
Suite 700 | Vienna, VA 22182
P: 571.830.1800 | F: 571.830.1801
www.lessarddesign.com

TOLL BROTHERS
7154 COLUMBIA GATEWAY DRIVE
COLUMBIA, MD 21046
P: 410.872.5800
CONTACT: MARK MOSAL
mmosal@tollbrothers.com

WILLOW CREEK
HOWARD COUNTY, MD

RENWICK FLOOR PLANS

PROJECT NAME: _____ SHEET TITLE: _____

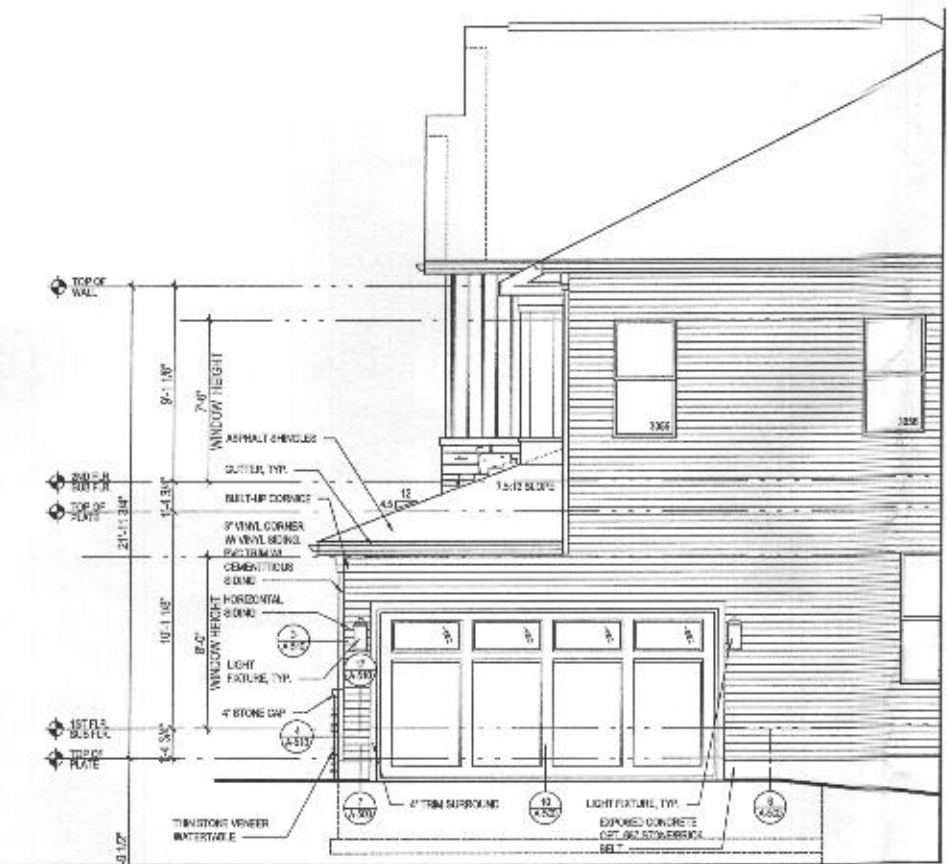
NO.	DESCRIPTION	DATE
1	REV SET	08.28.18
2	PERMIT SET	08.28.18

PROJECT NO: _____
DRAWN BY: _____
CHECKED BY: _____
PLT. DATE: Aug 23, 2018
FILE NAME: TOLB11_A120.dwg

A-120

File No: TOLB11_A120.dwg
Plot By: anak

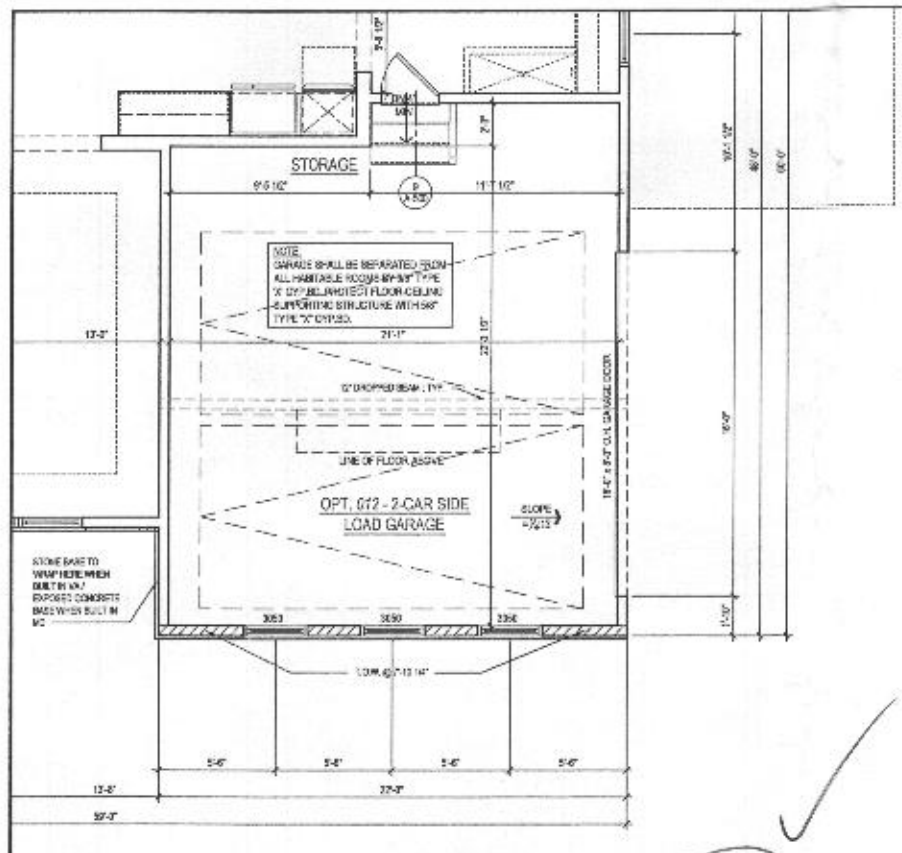
- GENERAL PLAN NOTES**
- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 1 1/2" FOR INTERIORS AND 2" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
 - ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
 - ALL DIMENSIONS GIVEN ON SCALE.
 - ALL SWICH DEVICES ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
 - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND STAIRS PROTECTED ON ENCLOSED SIDE WITH 1/2" GYP. BOARD.
 - ALL WINDOW SIZES ARE NOTED IN FEET - INCHES AS MEASURED FROM SASH TO SASH.
 - REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
 - ALL DOORS ARE TO BE 8'-0" HIGH UNLESS OTHERWISE NOTED.
 - WASHER ALWAYS TO BE ON LEFT SIDE OF DRIVER.
 - DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.



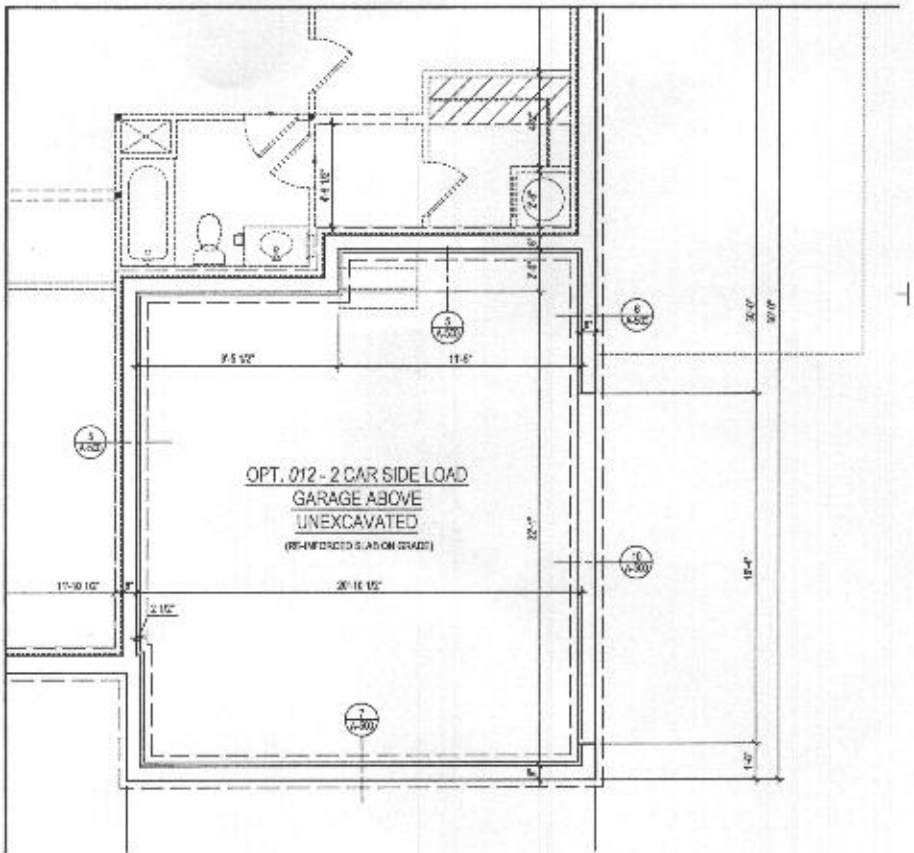
4 PART. RIGHT ELEVATION w/ OPT. 012 - SIDE LOAD GARAGE
 SCALE: 1/4"=1'-0"
 ELEV. 1 - CRAFTSMAN - SHOWN



3 PART. FRONT ELEVATION w/ OPT. 012 - SIDE LOAD GARAGE
 SCALE: 1/4"=1'-0"
 ELEV. 1 - CRAFTSMAN - SHOWN



2 PART. FIRST FLOOR PLAN w/ OPT. 012 - SIDE LOAD GARAGE
 SCALE: 1/4"=1'-0"
 PLAN 1 - CRAFTSMAN



1 PART. BASEMENT PLAN w/ OPT. 012 - SIDE LOAD GARAGE
 SCALE: 1/4"=1'-0"
 PLAN 1 - CRAFTSMAN

lessard DESIGN

8521 Leesburg Pike
 Suite 700 | Vienna, VA 22182
 P: 571.830.1800 | F: 571.830.1801
 www.lessarddesign.com

OWNER:

TOLL BROTHERS
 7164 COLUMBIA GATEWAY DRIVE
 COLUMBIA, MD 21045
 P: 410.872.0125
 CONTACT: MARK ROSAL
 mrosal@tollbrothers.com

PROJECT NAME: WILLOW CREEK HOWARD COUNTY, MD

SHEET TITLE: RENWICK OPTIONS

ISSUE / REVISION		
NO.	DESCRIPTION	DATE
1	PERMIT SET	06.23.18
2	PERMIT SET	06.23.18

PROJECT NO: TOLEB14400

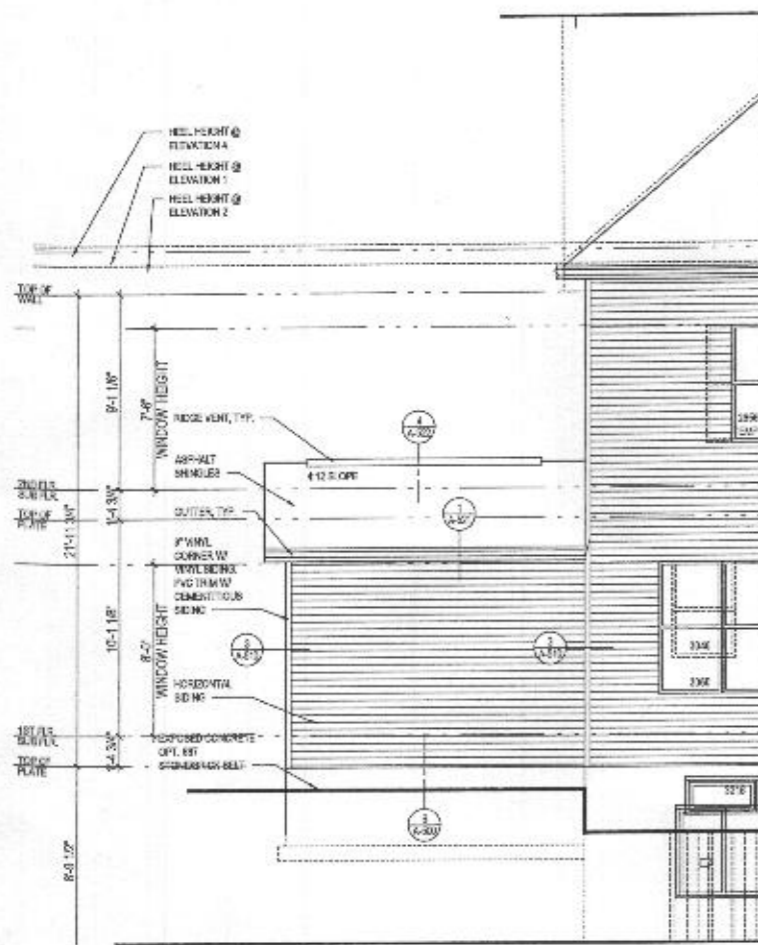
DRAWN BY: ACW

CHECKED BY: AD

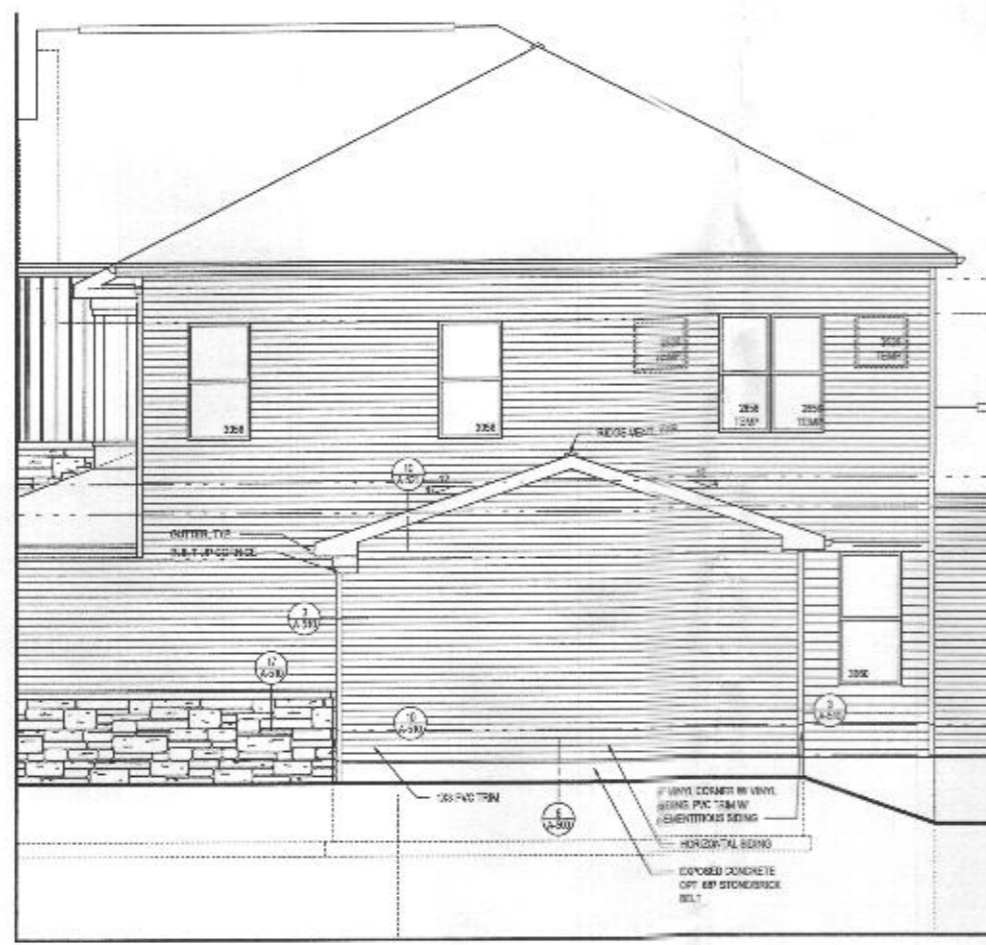
PLLOT DATE: 06.14.2018

FILE NAME: TOLEB14400.dwg

A-400



6 PART. REAR ELEVATION w/ OPT. 263102 - ONE CAR GARAGE
 A-401 SCALE 1/4"=1'-0"
 ELEV. 1 - CRAFTSMAN - SHOWN



5 PART. RIGHT ELEVATION w/ OPT. 263102 - ONE CAR GARAGE
 A-401 SCALE 1/4"=1'-0"
 ELEV. 1 - CRAFTSMAN - SHOWN

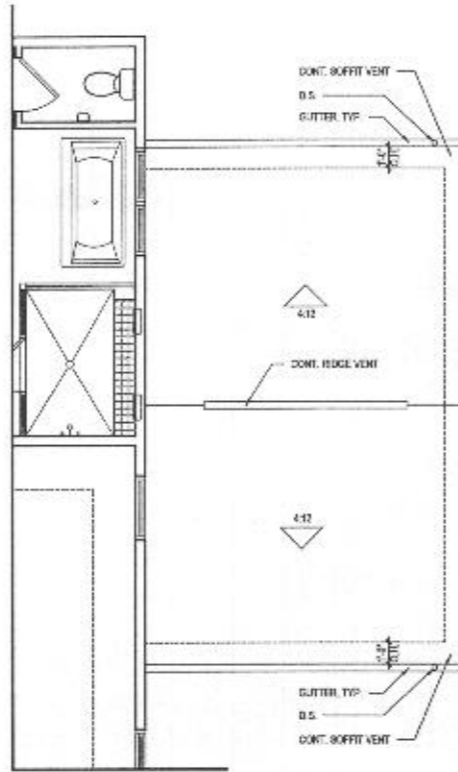


4 PART. FRONT ELEVATION w/ OPT. 263102 - ONE CAR GARAGE
 A-401 SCALE 1/4"=1'-0"
 ELEV. 1 - CRAFTSMAN - SHOWN

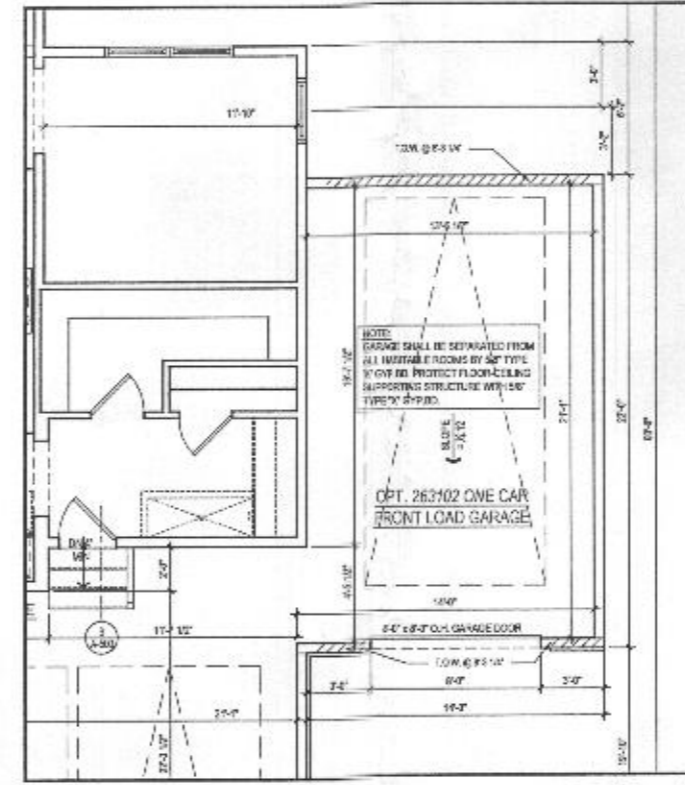
- GENERAL PLAN NOTES**
- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3/4" FOR INTERIOR AND 5/8" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - ALL INTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUDS.
 - ALL DIMENSIONS GIVEN IN DIM SCALE.
 - ALL SMOKE DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
 - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND SOFT TO PROTECTED OR ENCLOSED WITH 1/2" GYPSUM BOARD.
 - ALL WINDOWS ARE TO BE NOTED IN SET - INCLUDE AS WEATHERED FROM DASH TO DASH.
 - REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
 - ALL DOORS ARE TO BE 6'-8" HIGH UNLESS OTHERWISE NOTED.
 - WASHER & DRYER TO BE ON LEFT SIDE OF DRYER.
 - DO NOT WASHER ALWAYS TO BE ON RIGHT SIDE OF BASK.

ROOF VENTILATION CALCULATIONS - ONE CAR GARAGE ROOF

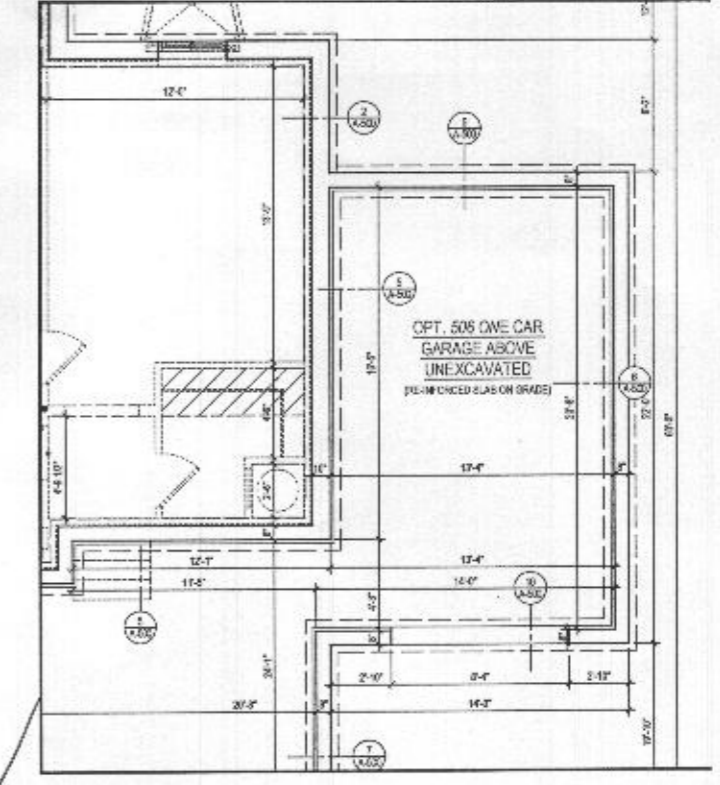
ROOF AREA	=	275.82 SQ. FT.
VOLUME	=	6.82 SQ. FT.
VOLUME	=	192.44 CU. FT.
50% (REQUIRED)	=	96.22 SQ. IN.
SOFFIT VENT - REQUIRED (VOLUME @ 2.2 SQ. IN. / FT.)	=	11.28 FT.
SOFFIT VENT - PROVIDED	=	51.88 FT.
50% (OUTTAGS)	=	47.91 FT.
SOFFIT VENT - REQUIRED (OUTTAGS @ 14.1 SQ. IN. / FT.)	=	4.79 FT.
SOFFIT VENT - PROVIDED	=	2.50 FT.



3 PART. SECOND FLOOR PLAN w/ OPT. 263102 - ONE CAR GARAGE
 A-401 SCALE 1/4"=1'-0"
 ELEV. 1 - CRAFTSMAN - SHOWN



2 PART. FIRST FLR PLAN w/ OPT. 263102 - ONE CAR GARAGE
 A-401 SCALE 1/4"=1'-0"
 ELEV. 1 - CRAFTSMAN - SHOWN



1 PART. BASEMENT PLAN w/ OPT. 263102 - ONE CAR GARAGE
 A-401 SCALE 1/4"=1'-0"
 ELEV. 1 - CRAFTSMAN - SHOWN

ARCHITECT

8521 Leesburg Pike
 Suite 700 | Vienna, VA 22182
 P: 571.830.1600 | F: 571.830.1801
 www.lessarddesign.com

OWNER:

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PROJECT NAME: WILLOW CREEK HOWARD COUNTY, MD

SHEET TITLE: RENWICK OPTIONS

NO.	DESCRIPTION	DATE
1	ISSUE SET	08.19.22
2	PERMIT SET	09.16.22

PROJECT NO: 100-0484
 DRAWN BY: ACW
 CHECKED BY: JZ
 PLOT DATE: Sep 14, 2022
 PLOT NAME: TOL081a_A-401.dwg

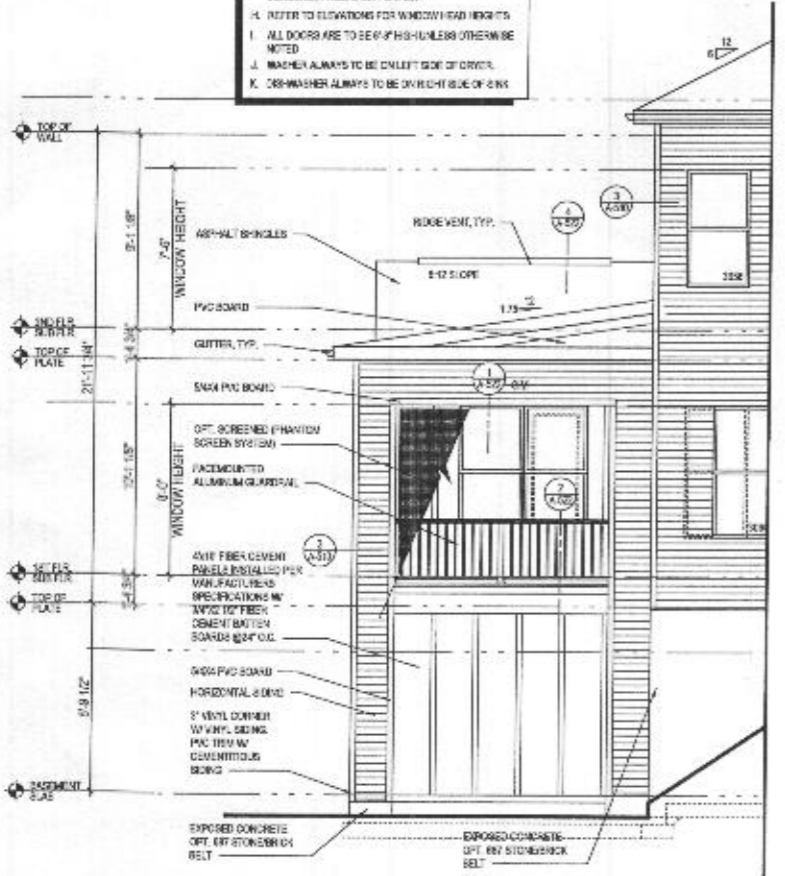
A-401

Plot No: TOL081a_A-401.dwg
 Plot By: emk

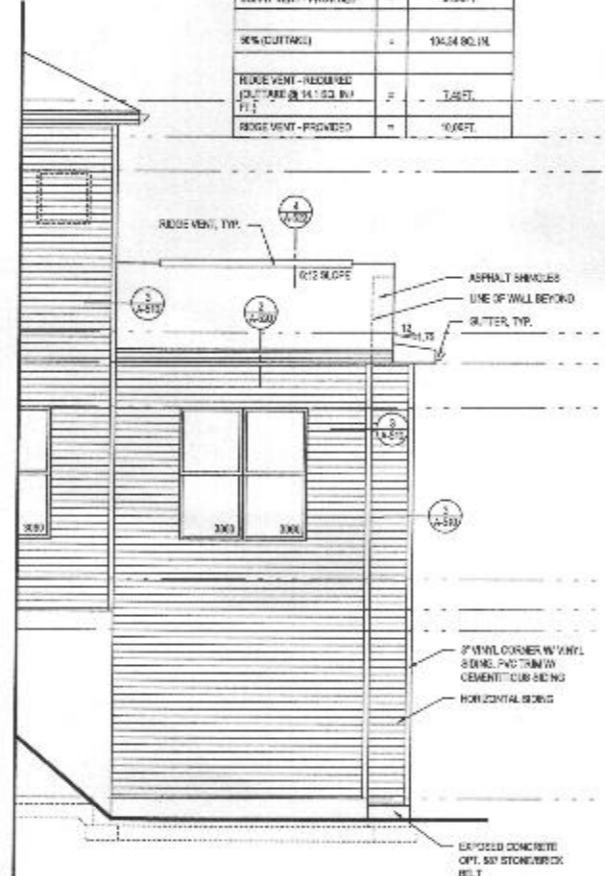
- GENERAL PLAN NOTES**
- ALL WOOD STUD PARTITIONS NOT DIMENSIONED ARE TO BE 3" FOR INTERIOR AND 5" FOR EXTERIOR WALLS UNLESS OTHERWISE NOTED.
 - ALL INTERIOR DIMENSIONS ARE TO FACE OF STUD.
 - ALL EXTERIOR DIMENSIONS ARE TO FACE OF STUD.
 - ALL DIMENSIONS GOVERN OVER SCALE.
 - ALL SWITCH DETECTORS ARE TO BE WIRED IN SUCH A MANNER THAT ACTIVATION OF ONE WILL ACTIVATE THEM ALL.
 - ENCLOSED ACCESSIBLE SPACE UNDER STAIRS SHALL HAVE WALLS AND CEILING PROTECTED ON ENCLOSED SIDE WITH 1/2" OYSTRAN BOARD.
 - ALL WINDOWS ARE TO BE NOTED IN FEET + INCHES AS MEASURED FROM SASH TO SASH.
 - REFER TO ELEVATIONS FOR WINDOW HEAD HEIGHTS.
 - ALL DOORS ARE TO BE 6' 8" HIGH UNLESS OTHERWISE NOTED.
 - WASHER ALWAYS TO BE ON LEFT SIDE OF SINK.
 - DISHWASHER ALWAYS TO BE ON RIGHT SIDE OF SINK.

ROOF VENTILATION CALCULATIONS - REAR ROOF

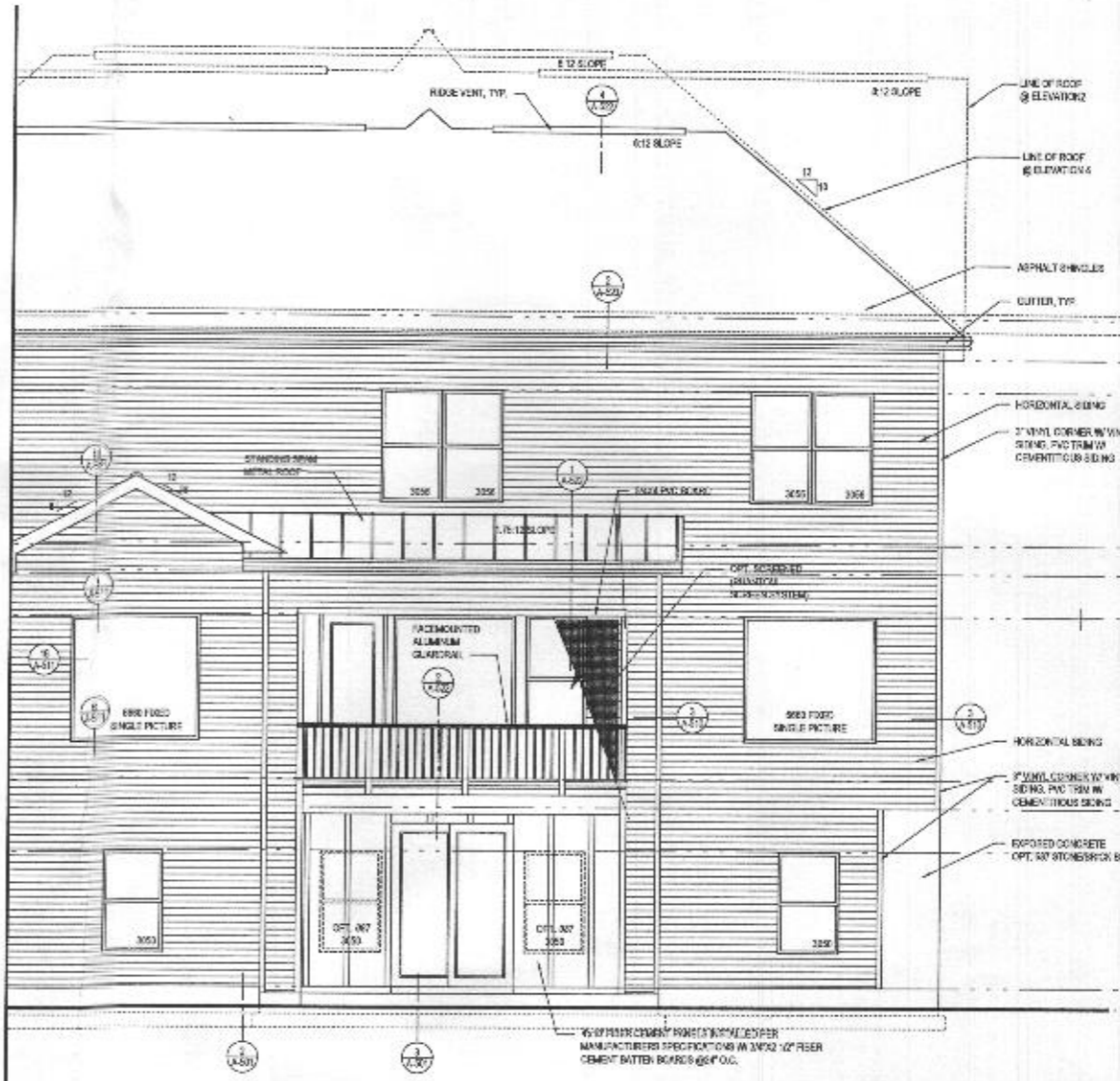
ROOF AREA	=	4647.90 SQ. FT.
1:12	=	1.43 SQ. FT.
x 12 x 12	=	306.68 SQ. IN.
SIN(THETA)	=	104.34 SQ. IN.
SOFFIT VENT - REQUIRED (SIN(THETA) x 14.1 SQ. IN. / FT.)	=	17.88 FT.
SOFFIT VENT - PROVIDED	=	54.88 FT.
ROOF VENT - REQUIRED (2 x 14.1 SQ. IN. / FT.)	=	7.44 FT.
ROOF VENT - PROVIDED	=	10.66 FT.



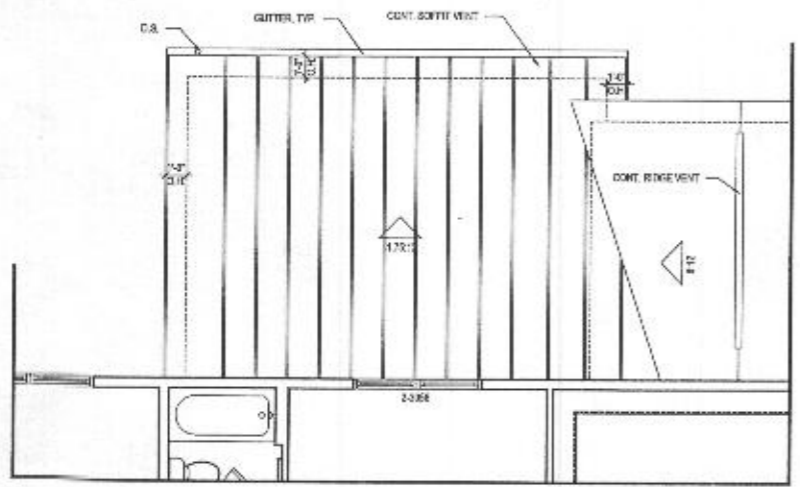
6 PART. LEFT ELEV. w/ OPT. 263165 - COVD OUTDOOR LIVING @ WALKOUT CONDITION
A-403 SCALE: 1/4"=1'-0"



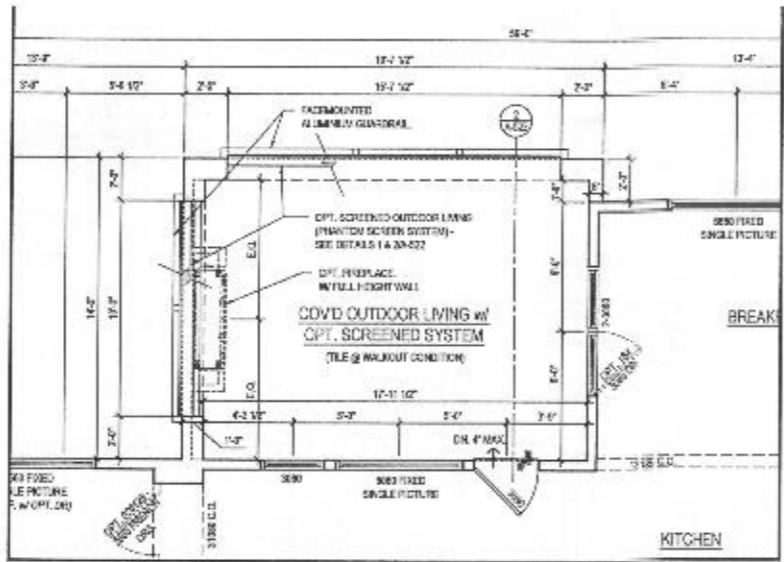
5 PART. RIGHT ELEV. w/ OPT. 263165 - COVD OUTDOOR LIVING @ WALKOUT CONDITION
A-403 SCALE: 1/4"=1'-0"



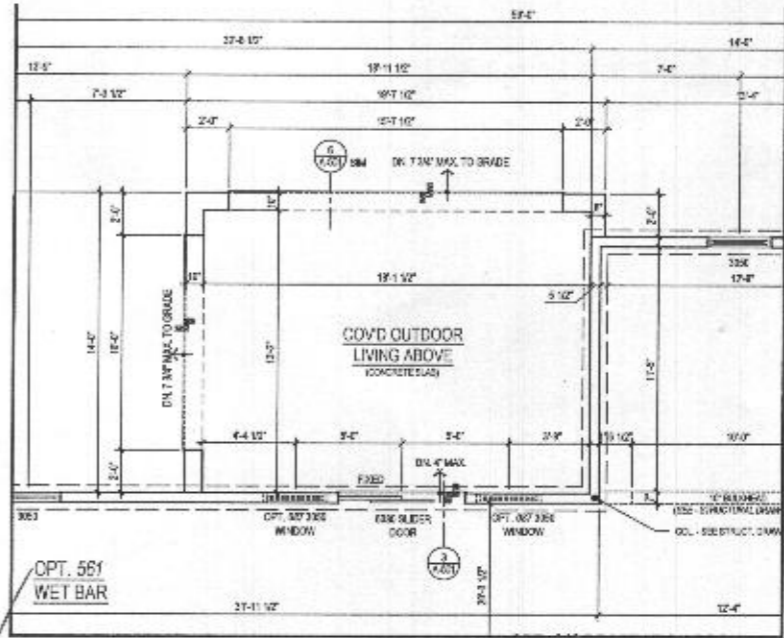
4 REAR ELEVATION w/ OPT. 263169 - COVD OUTDOOR LIVING @ WALKOUT CONDITION
A-403 SCALE: 1/4"=1'-0"



3 PART. SECOND FLOOR PLAN w/ OPT. COVD OUTDOOR LIVING @ WALKOUT CONDITION
A-403 SCALE: 1/4"=1'-0"



2 PART. FIRST FLOOR PLAN w/ OPT. 263169 - COVD OUTDOOR LIVING @ WALKOUT CONDITION
A-403 SCALE: 1/4"=1'-0"



1 PART. BASEMENT PLAN w/ OPT. 263169 - COVD OUTDOOR LIVING @ WALKOUT CONDITION
A-403 SCALE: 1/4"=1'-0"

lessard DESIGN
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PROJECT NAME:
WILLOW CREEK
HOWARD COUNTY, MD

ISSUE / REVISION

NO.	DESCRIPTION	DATE
1	ISSUED SET	08.19.23
2	PERMIT SET	09.16.23

PROJECT NO: 188-000
DRAWN BY: JCM
CHECKED BY: JCM
PLOT DATE: Sep 12, 2024
FILE NAME: TOL0819_A-403.dwg

RENWICK OPTIONS

A-403