

Maura J. Rossman, M.D., Health Officer

Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

RECEIPT DATE: 11/16/22 **ONSITE SEWAGE DISPOSAL SYSTEM**

P 572692

APPROVAL DATE: **PERMIT: CONSTRUCTION**

A

PROPERTY ADDRESS: 1442 HERITAGE RIDGE ROAD, WOODBINE, MD 21797

SUBDIVISION: LINDEN GROVE, PHASE 2 LOT: 35 TAX ID: 04-603257

CONTRACTOR: CHAVIS ENTERPRISES & SEPTIC SERVICES, LLC EMAIL: Ryan@chavisenterprises.com

CONTRACTOR ADDRESS: 23 EAST ELLENDALE, BELL AIR, MD 21014 PHONE: (410)838-3007

PROPERTY OWNER: TOLL MID-ATLANTIC LP COMPANY, INC EMAIL: nbrandenburg@tollbrothers.com

OWNER ADDRESS: 250 GIBRALTER ROAD, HORSHAM, PA 19044 PHONE: (410)381-3271

SEPTIC TANK SIZE (GALLONS): 2000 TANK MANUFACTURER: Back River Pre-Cast, LLC

PUMP MODEL: n.a. PUMP SIZE n.a. PUMP TANK CAPACITY: n.a.

DISTRIBUTION SYSTEM:  GRAVITY  PRESSURE DOSED BEDROOMS: 6 APPLICATION RATE: 0.8

Table with 2 columns: Field Name (TRENCHES, LOCATION, NOTES) and Field Value (Linear feet required, trench width, etc.)

ISSUED BY: R BRICKER ISSUE DATE: 11-18-22 EXPIRATION DATE: 11-16-23

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
NOTE: WATERTIGHT TANKS REQUIRED
NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRAIDENT FROM ANY WATER WELL
NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.

CALL 410-313-1771 TO SCHEDULE INSPECTIONS.

NOT TO SCALE

See

Attached

ROAD NAME

**TRENCH/DRAINFIELD DATA**

WIDTH INLET BOTTOM

3' 3' 8'

NUMBER OF TRENCHES 2

TOTAL LENGTH 142'

ABSORPTION AREA 426 sq' + side wall

DISTRIBUTION BOX LEVEL yes

DISTRIBUTION BOX BAFFLE yes

DISTRIBUTION BOX PORT yes

**SEPTIC TANK DATA**

SEPTIC TANK 1 LEVEL

MANUFACTURER Beck River

CAPACITY 2000 GAL

SEAM LOC Top

TANK LID DEPTH 6" - 12"

BAFFLES front + back

BAFFLE FILTER

MANHOLE LOC front + back

6" PORT LOC

WATERTIGHT TEST

SLOTTED NO

DATE ON LID 11/7/2022

PUMP/SEPTIC TANK LEVEL

MANUFACTURER

CAPACITY GAL

SEAM LOC

TANK LID DEPTH

BAFFLES

BAFFLE FILTER

MANHOLE LOC

6" PORT LOC

WATERTIGHT TEST

SLOTTED

DATE ON LID

**PRE-CONSTRUCTION:**

11/30/22 On site for inspection. T<sub>1</sub> & T<sub>2</sub> moved slightly to meet contour. Both trenches 71.5'. Tank & SDA staked. Could not verify septic out of house. OK to start building. *(initials)*

**INSTALLATION:**

12/2/22 Tank set. D box set per plan. Still more plumbing installed w/ drops to D box. upper trench being installed stayed onsite until trench was complete.

OK to cover work & continue. Need to inspect lower trench & level D box. *(initials)*

12/5/22 trench, 2 hrs inspected. Rock & fabric was good. inlet is at 3' instead of 3.5'. observation port in place. During inspection of tank, slot was filled w/ concrete, needs to be reinspected.

12/16/22 - verified slots in tank *(initials)*

FINAL INSPECTOR

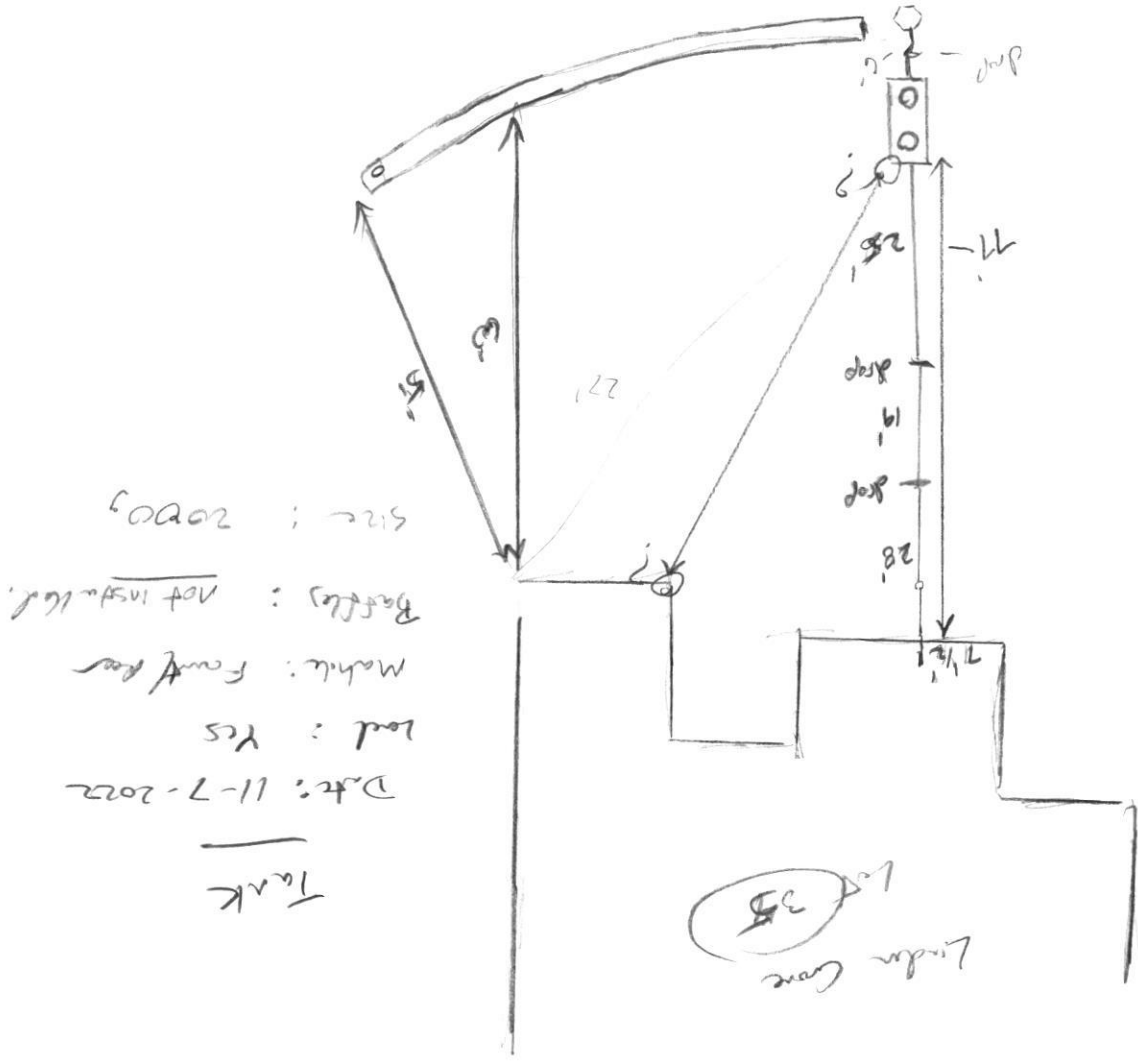
Shepsara Page

DATE OF APPROVAL

12/16/22



(12/2/2022) Tank set. Dbox set per plan. SHC made. Plumbing installed w/ drops to Dbox upon truck being installed. Striped onsite until truck was complete. OIC to cover work and confirm. Need to inspect lower truck + fuel Dbox



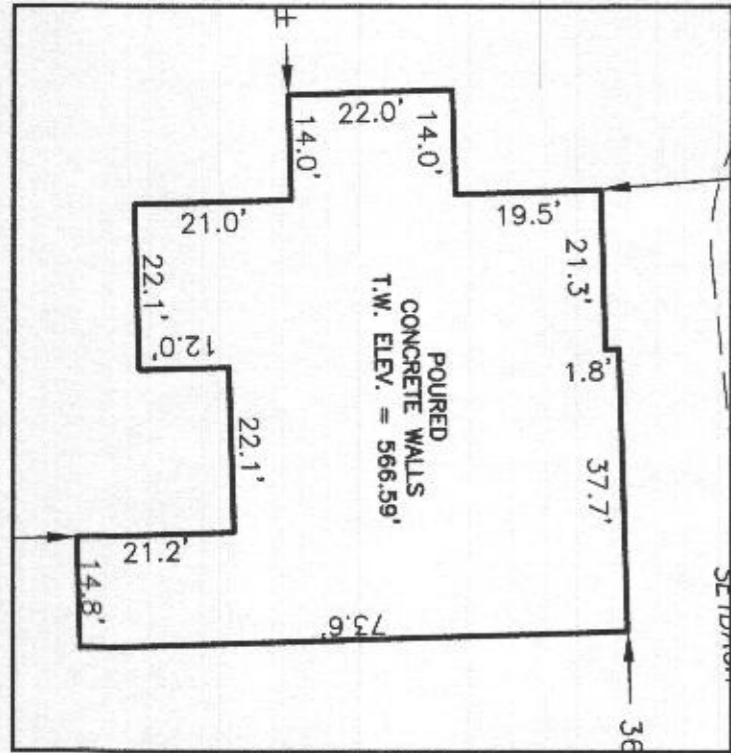
Date: 11-7-2022  
 Lead: Yes  
 Mobile: Front Row  
 Baffles: Not installed.  
 Size: 2000g

Tank

Shapiro  
 Notes for  
 Linder Core lot  
 35

**LEGEND:**

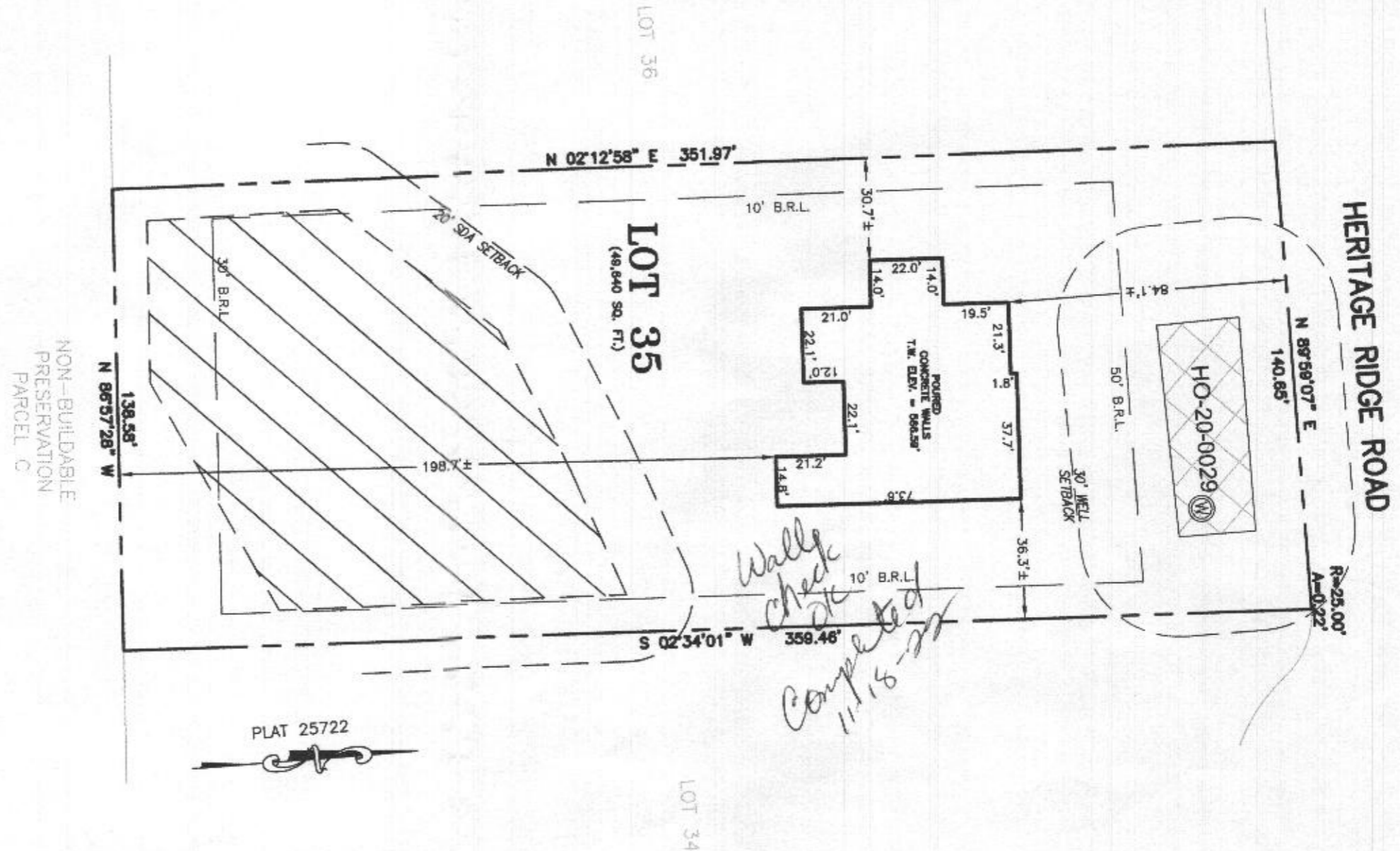
- BRL BUILDING RESTRICTION LINE
- ⊙ WELL LOCATION
- T.W. TOP OF WALL
- SEWAGE DISPOSAL AREA
- WELL BOX AREA



HOUSE ENLARGEMENT  
NOT TO SCALE

**WELL NUMBER:** HO-20-0029  
**ADDRESS:** 1442 HERITAGE RIDGE ROAD  
 WOODBINE, MD 21797  
**PERMIT No.:** B21003104

BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE  
 DEVELOPEMENT PLAN SETBACK DISTANCES SHOWN HEREON  
 AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.



*Wall  
check  
OK  
Completed  
11/15/22*

**SURVEYOR'S CERTIFICATE**

THIS WALLCHECK WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, RIGHT-OF-WAYS, COVENANTS, AND RESTRICTIONS, ETC. OF RECORD, SOME OR ALL OF WHICH MAY OR MAY NOT BE SHOWN AND/OR REFERENCED HEREON. BEARINGS AND DISTANCES OF THE PROPERTY BOUNDARY LINES SHOWN HEREON ARE PER AVAILABLE RECORDS AND HAVE NOT BEEN FIELD VERIFIED.

**THIS IS NOT A "LOCATION DRAWING" AND IS NOT TO BE USED FOR SETTLEMENT PURPOSES.**

*Michael Joe Boyce* 21328 11/03/22  
 SIGNATURE: MICHAEL JOE BOYCE MD. LIC NO. DATE

WALLCHECK  
 LOT 35  
**LINDEN GROVE**  
 LIBER 15899, FOLIO 246  
 PLAT NO. 25722  
 ELECTION DISTRICT No. 4  
 HOWARD COUNTY, MARYLAND

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 6731 Columbia Gateway Drive • Suite 120 • Columbia, MD 21046  
 T: 410-872-9105

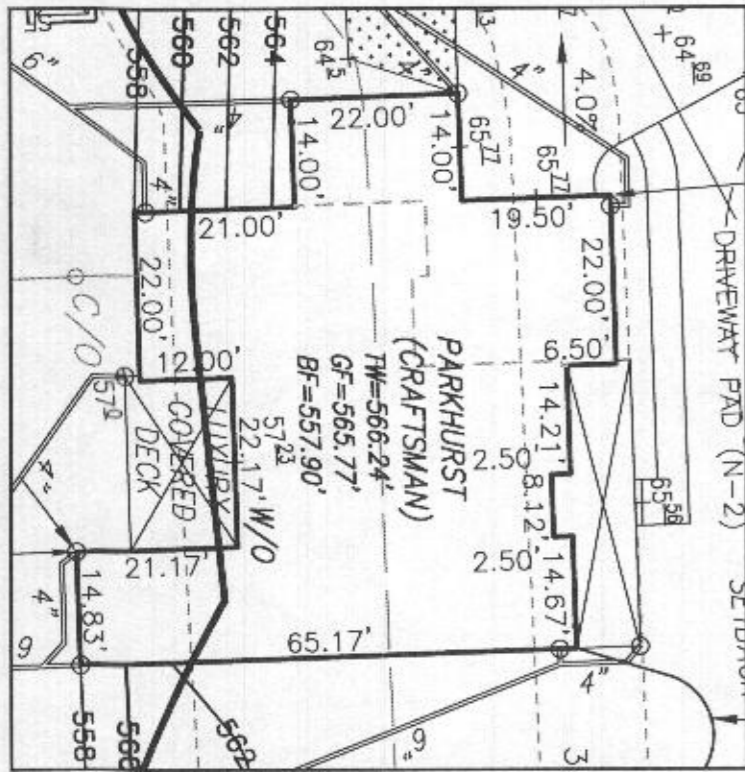
DATE: 11/03/2022 SCALE: 1"= 40' FILE: WC LOT 35  
 CHK'D: M.J.B. JOB NO: 4683 DRAWN: V.X.P.



**LEGEND:**

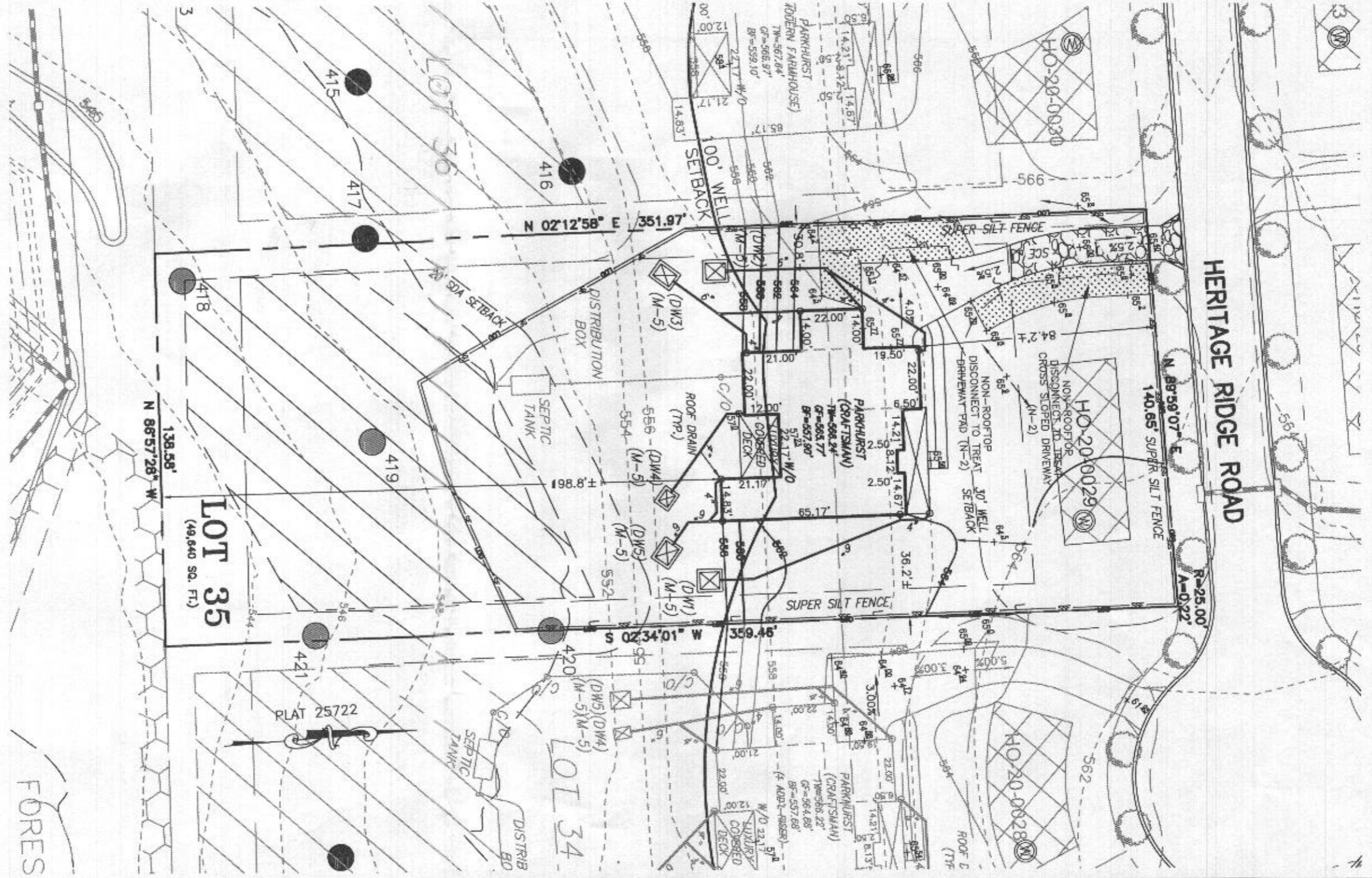
- BRL BUILDING RESTRICTION LINE
- W WELL LOCATION
- T.W. TOP OF WALL
- G.F. GARAGE FLOOR
- B.F. BASEMENT FLOOR
- PASSED PERC LOCATION
- FAILED PERC LOCATION
- SILT FENCE
- SUPER SILT FENCE
- SCE STONE CONSTRUCTION ENTRANCE
- SEWAGE DISPOSAL AREA
- WELL BOX AREA
- PROPOSED TREE
- PROPOSED TREE
- PROPOSED TREE

NOTE:  
TOTAL LIMITS OF DISTURBANCE (LOD) = 33,239 SQ. FT.



HOUSE ENLARGEMENT  
NOT TO SCALE

BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.



FOREST



HOUSE TYPE: PARKHURST (CRAFTSMAN)

TWO CAR SIDE ENTRY GARAGE	OPTION No. 012
WALK-OUT BASEMENT	OPTION No. 017
WET BAR ROUGH-IN	OPTION No. 048246
OPTIONAL DROP ZONE	OPTION No. 263081
MULTI-GENERATIONAL SUITE ADDITION	OPTION No. 263073
ADDITIONAL ONE CAR FRONT ENTRY GARAGE - 14'	OPTION No. 263102
OUTDOOR LIVING DECK-WALK-OUT	OPTION No. 263169

WELL NUMBER: HO-20-0029

ADDRESS: 1442 HERITAGE RIDGE ROAD  
WOODBINE, MD 21797

PLOT PLAN  
LOT 35  
**LINDEN GROVE**  
LIBER 15899, FOLIO 246  
PLAT NO. 25722  
ELECTION DISTRICT No. 4  
HOWARD COUNTY, MARYLAND

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DATE: 02/02/2022 SCALE: 1" = 40' FILE: PP LOT 35 - PARKHURST CRAFTS...rev1  
CHK'D: M.J.B. JOB NO: 4683 DRAWN: G.V.S./C.E.R.

**HOUSE OPTIONS:**

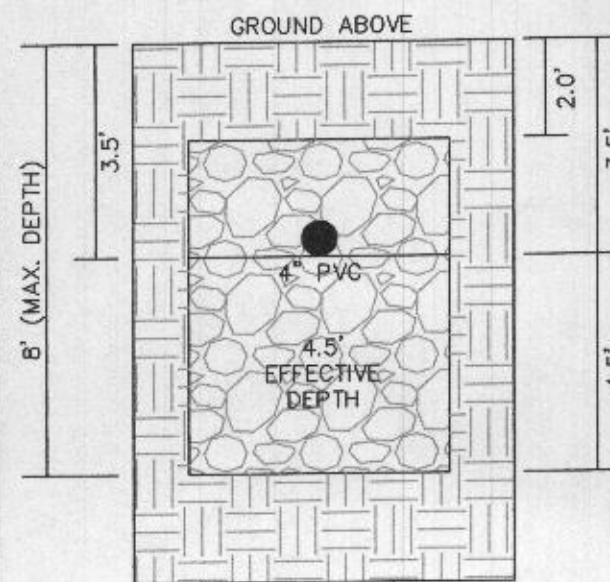
HOUSE TYPE: PARKHURST (CRAFTSMAN)

- TWO CAR SIDE ENTRY GARAGE
- WALK-OUT BASEMENT
- WET BAR ROUGH-IN
- OPTIONAL DROP ZONE
- MULTI-GENERATIONAL SUITE ADDITION
- ADDITIONAL ONE CAR FRONT ENTRY GARAGE - 14'
- OUTDOOR LIVING DECK-WALK-OUT

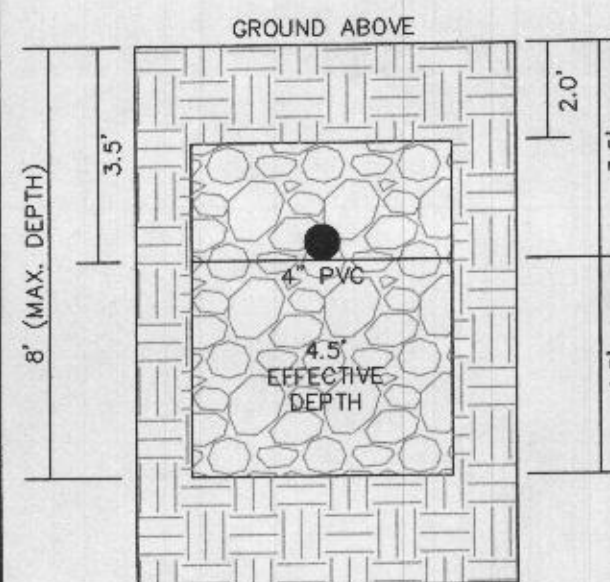
- OPTION No. 012
- OPTION No. 017
- OPTION No. 048246
- OPTION No. 263081
- OPTION No. 263073
- OPTION No. 263102
- OPTION No. 263169

**INITIAL TRENCH DATA:**

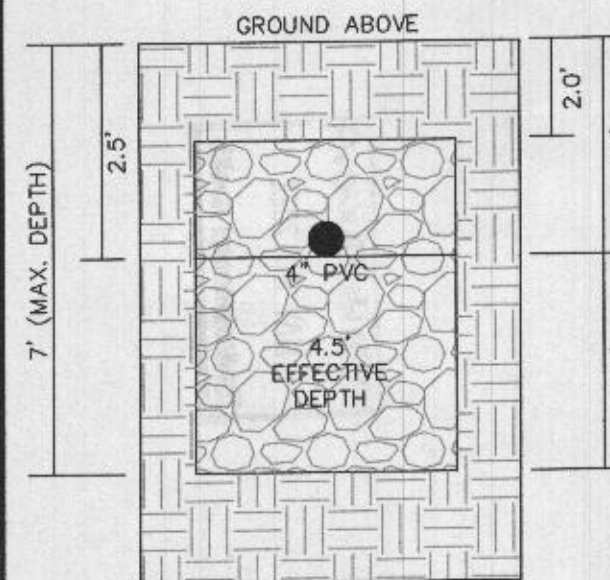
- BOTTOM MAX. DEPTH (8')
- TRENCH 1 (T1): 71.50 LF.  
GROUND ABOVE = 550.00'  
INV. IN = 546.50'  
BOTTOM TRENCH = 542.00'
- TRENCH 2 (T2): 71.50 LF.  
GROUND ABOVE = 549.07'  
INV. IN = 545.57'  
BOTTOM TRENCH = 541.07'



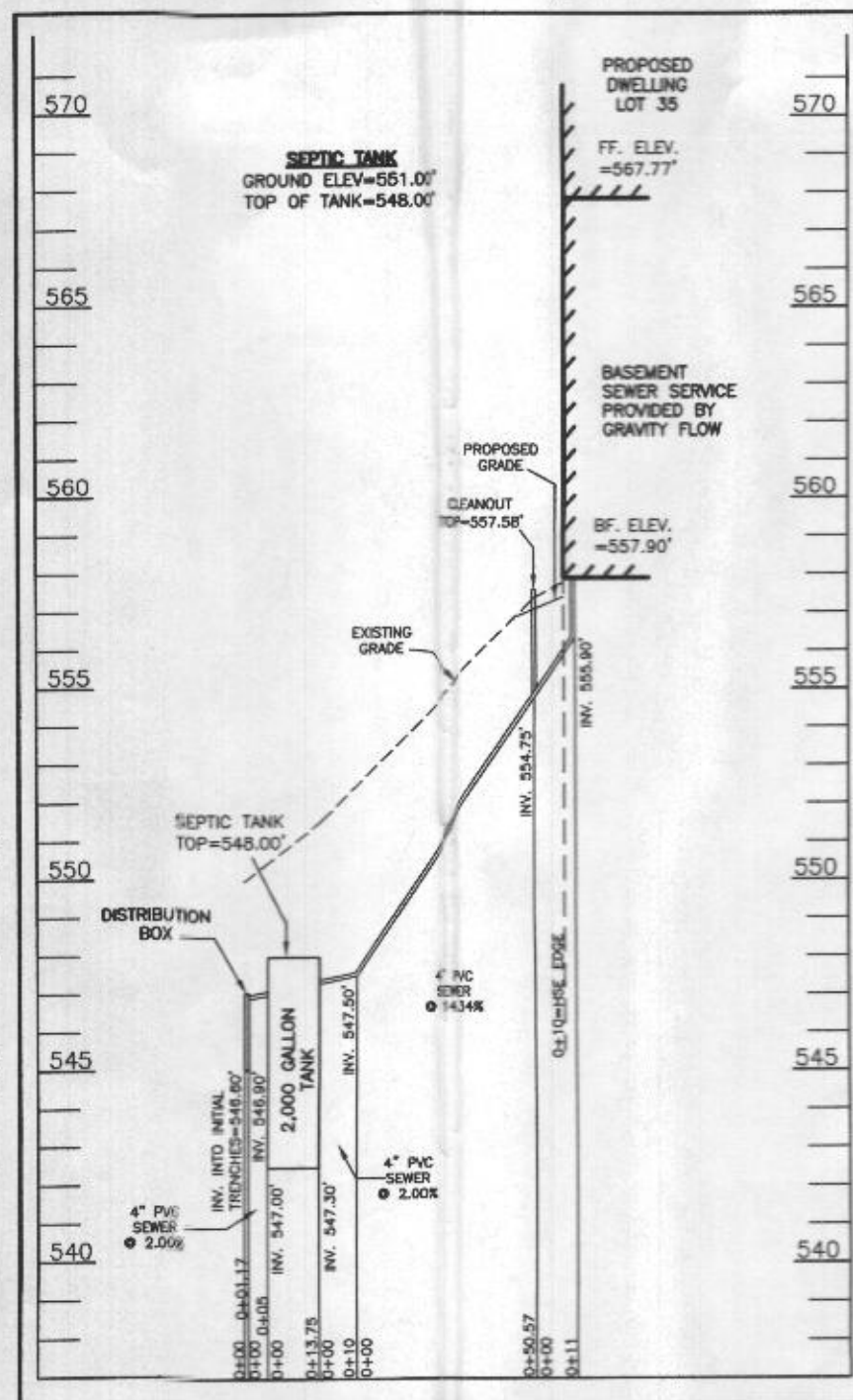
INITIAL SYSTEM TRENCH DETAIL (T1) & (T2) (NOT TO SCALE)



1ST REPLACEMENT SYSTEM TRENCH DETAIL (T3) AND (T4) (NOT TO SCALE)

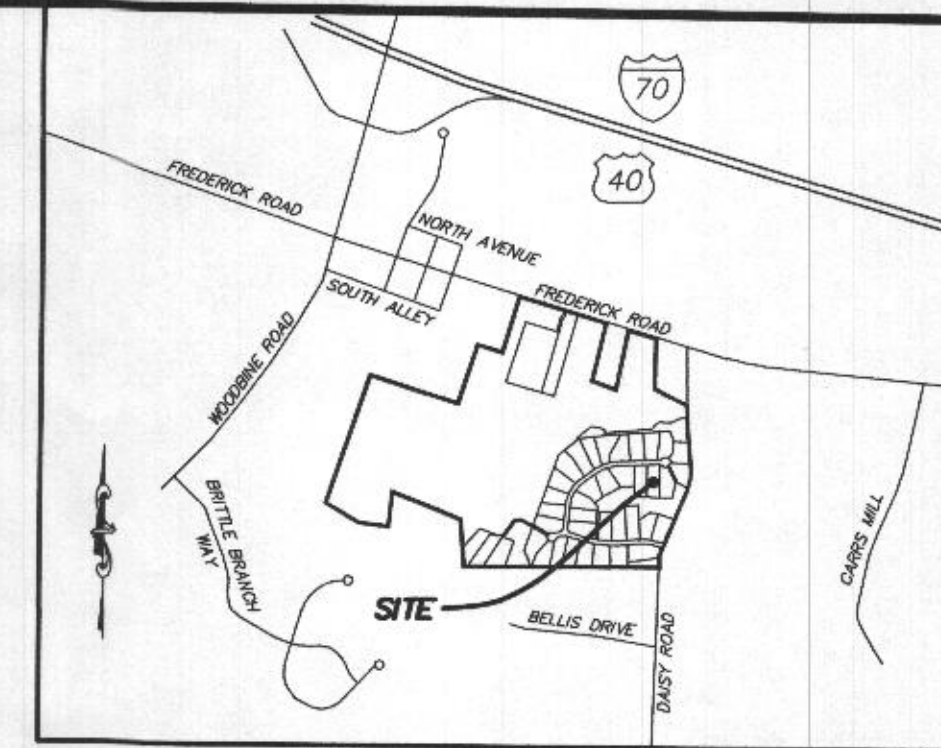
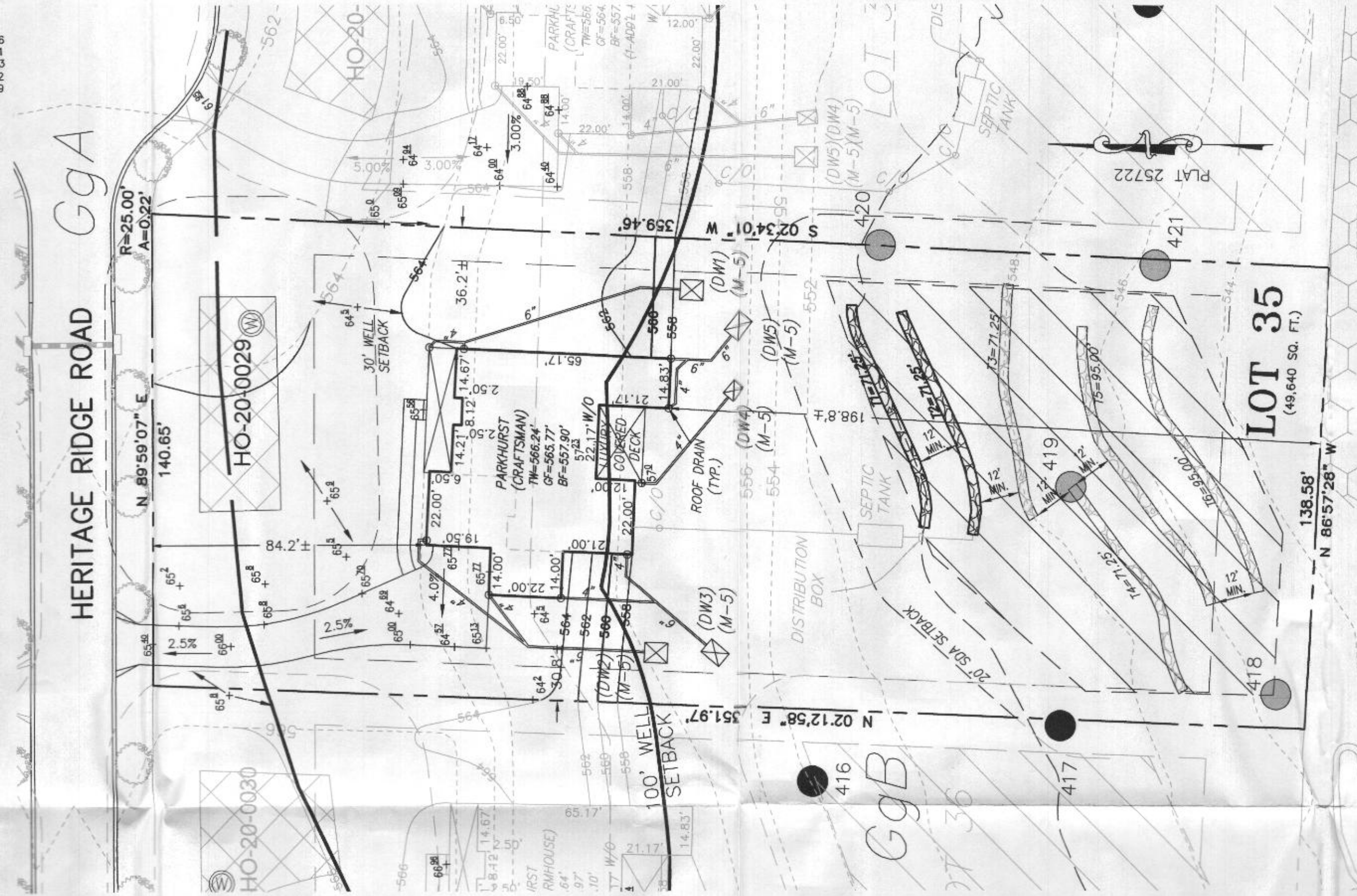


2ND REPLACEMENT SYSTEM TRENCH DETAIL (T5) AND (T6) (NOT TO SCALE)



SEPTIC SYSTEM PROFILE  
SCALE = HORIZONTAL: 1"=50'  
VERTICAL: 1"=5'

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/23.



VICINITY MAP  
1" = 1000'

**GENERAL NOTES:**

1. THESE AREAS DESIGNATE A PRIVATE SEWAGE AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS UNTO THE PRIVATE SEWAGE AREA. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
2. EXISTING WELLS, SEPTIC SYSTEMS, AND SEWAGE DISPOSAL AREAS WITHIN 100' OF THE PROPERTY AND THOSE WELLS WITHIN 200' DOWN GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS OR SEWAGE DISPOSAL AREAS HAVE BEEN SHOWN.
3. ANY CHANGES TO A PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
4. BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.
5. ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
6. THE MAXIMUM EARTH COVER OVER THE TANK IS THREE (3) FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
7. THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP, WIDTH, AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
8. THE EXISTING TOPOGRAPHY SHOWN HEREON IS FROM HOWARD COUNTY GIS. 2' CONTOUR INTERVAL AND FIELD VERIFIED BY FISHER, COLLINS AND CARTER, INC.



- LEGEND:**
- BRL BUILDING RESTRICTION LINE
  - W WELL LOCATION
  - T.W. TOP OF WALL
  - G.F. GARAGE FLOOR
  - B.F. BASEMENT FLOOR
  - PASSED PERC LOCATION
  - SEWAGE DISPOSAL AREA
  - WELL BOX AREA
  - PROPOSED TREE
  - PROPOSED TREE

**SOILS LEGEND**

SOIL	NAME	CLASS	Kw
GgA	GLENELG LOAM, 0 TO 3 PERCENT SLOPES	B	.20
GgB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	B	.20
GmB	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES	C	*** .37

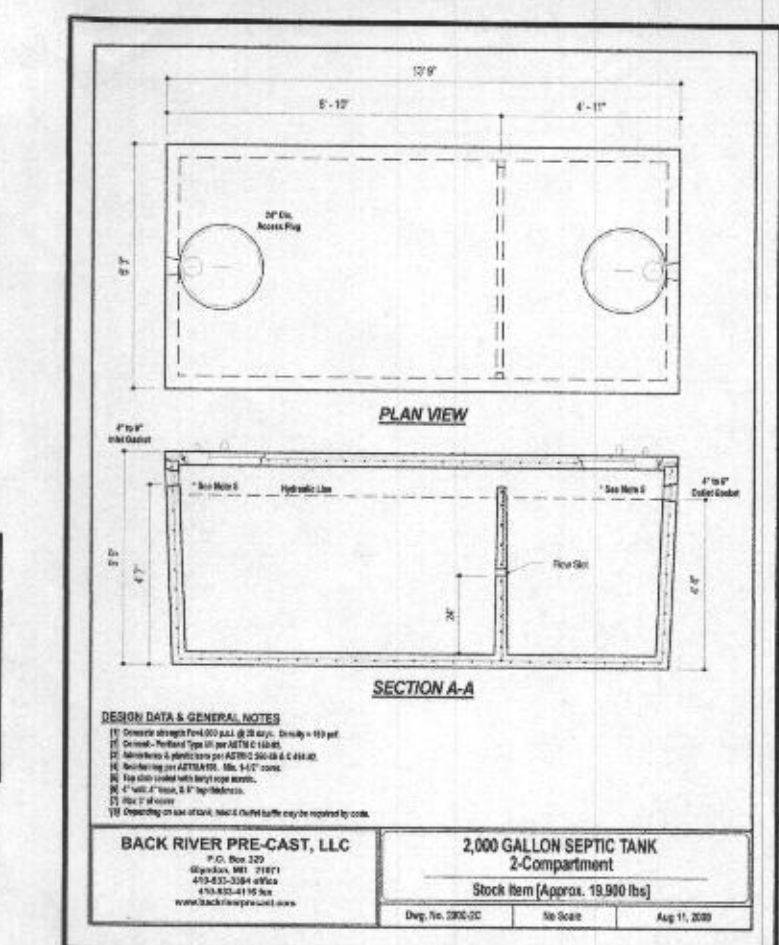
**SEWAGE DISPOSAL SYSTEM DATA (6 BDRM):**

- PROPOSED INVERT AT FOUNDATION WALL: 557.90'
1. EX. GRADE OVER TANK: 551.00'  
PROPOSED GRADE OVER TANK: 551.00'  
INVERT IN: 547.30' INVERT OUT: 547.00'
  2. DISTRIBUTION BOX  
EXISTING GRADE OVER TANK: 550.00'  
PROPOSED GRADE OVER TANK: 550.00'  
INVERT IN: 546.90' INVERT OUT: 546.60'
  3. INITIAL TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)  
900 GPD ÷ 0.8 APP. RATE = 1,125 SF  
USE 3' WIDE TRENCH WITH 54" GRAVEL BELOW PIPE  
12' MIN. SPACING BETWEEN TRENCH EDGES  
1,125 SF ÷ 3' WIDTH = 375 LF x 0.38 (SIDEWALL REDUCTION) = 142.50 LF MIN.  
USE 2 71.25' LONG TRENCHES = 142.50 LF
  4. 1ST REPLACEMENT TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)  
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  5. 2ND REPLACEMENT TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)  
900 GPD ÷ 0.6 APP. RATE = 1,500 SF  
USE 3' WIDE TRENCH WITH 54" GRAVEL BELOW PIPE  
12' MIN. SPACING BETWEEN TRENCH EDGES  
1,500 SF ÷ 3' WIDTH = 500 LF x 0.38 (SIDEWALL REDUCTION) = 190 LF MIN.  
USE 2 95' LONG TRENCH = 190 LF

**WELL LOCATION CERTIFICATION:**

THE EXISTING WELL SHOWN FOR Lot 35 (TAG NO. HO-20-0029) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN HEREON.

ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN  
**LOT 35  
LINDEN GROVE**  
LIBER 15899, FOLIO 246  
PLAT NO. 25722  
ELECTION DISTRICT NO. 4  
HOWARD COUNTY, MARYLAND  
ADDRESS: 1442 HERITAGE RIDGE ROAD  
WOODBINE, MARYLAND 21797



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DATE: 02/02/2022 SCALE: 1"= 30' FILE: OSDS LOT 35\_rev1  
CHK'D: M.J.B. JOB NO: 4683 DRAWN: C.E.R.

**HOUSE OPTIONS:**

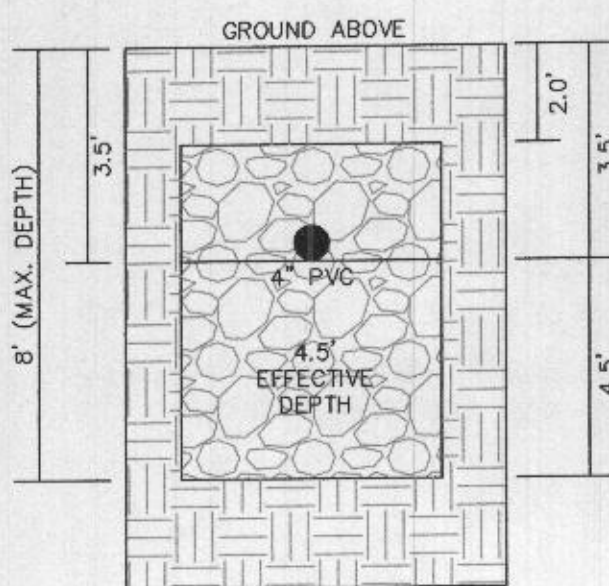
HOUSE TYPE: PARKHURST (CRAFTSMAN)

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- ADDITIONAL ONE CAR FRONT ENTRY GARAGE - 14'
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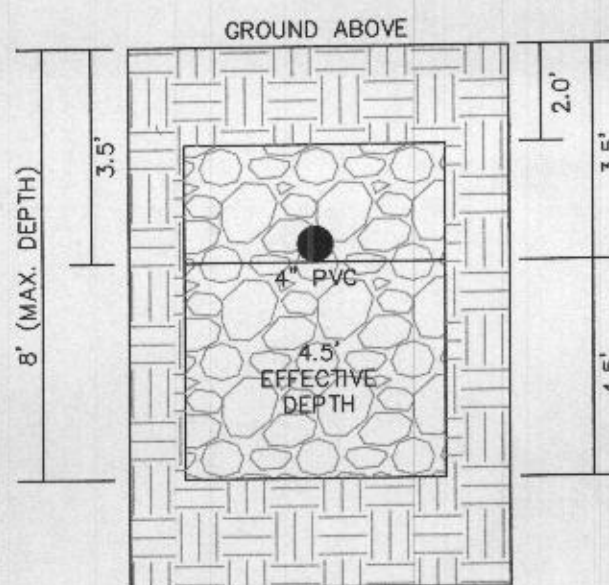
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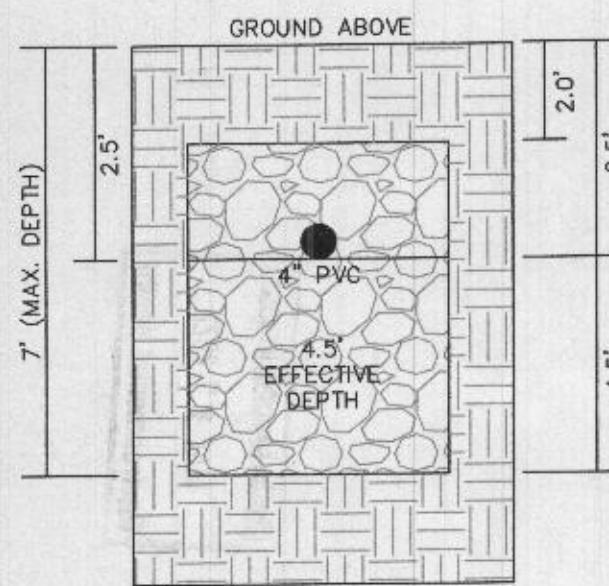
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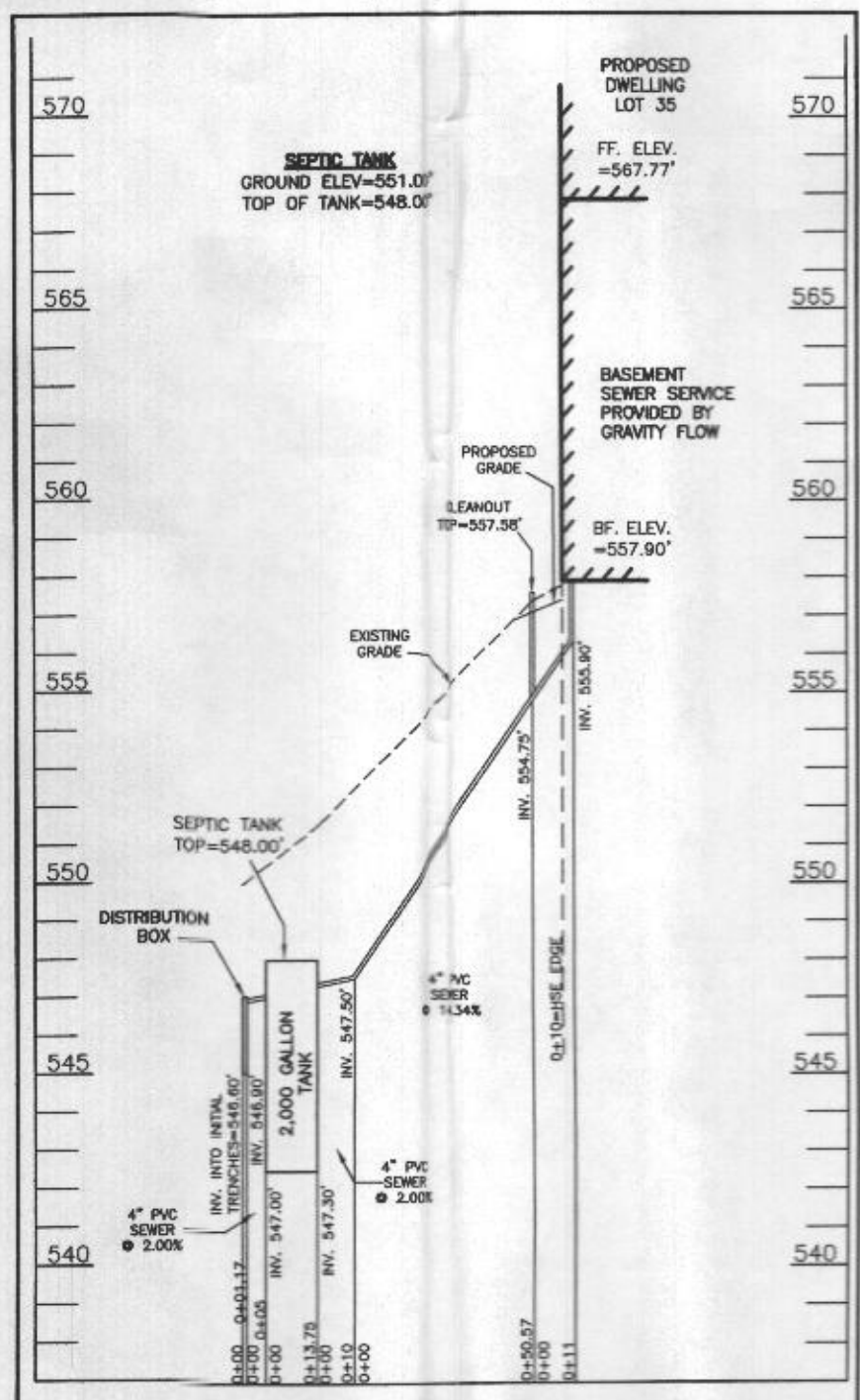
INITIAL SYSTEM TRENCH DETAIL (T1) & (T2) (NOT TO SCALE)



1ST REPLACEMENT SYSTEM TRENCH DETAIL (T3) AND (T4) (NOT TO SCALE)



2ND REPLACEMENT SYSTEM TRENCH DETAIL (T5) AND (T6) (NOT TO SCALE)



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  - WELL LOCATION
  - T.W. TOP OF WALL
  - G.F. GARAGE FLOOR
  - B.F. BASEMENT FLOOR
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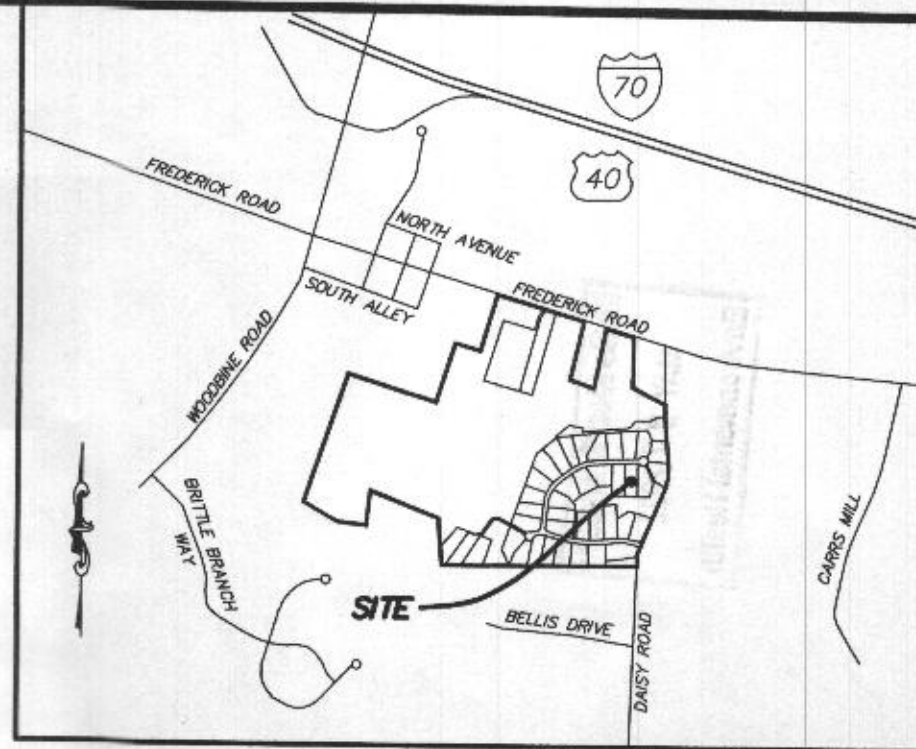
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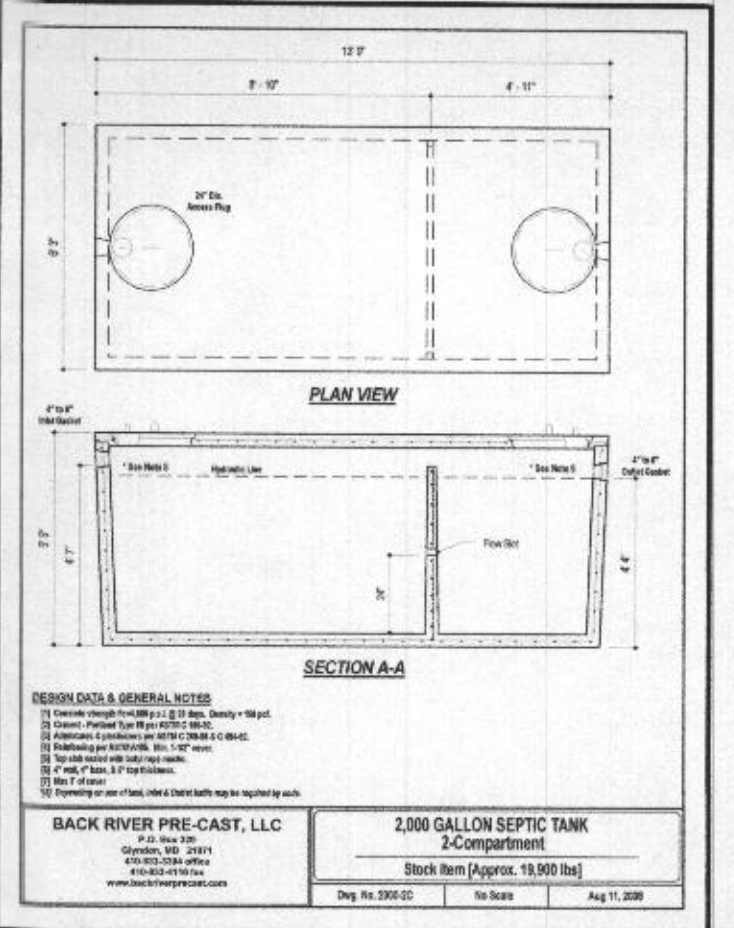
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1. THESE AREAS DESIGNATE A PRIVATE SEWAGE AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS UNTO THE PRIVATE SEWAGE AREA. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
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3. ANY CHANGES TO A PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
4. BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.
5. ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
6. THE MAXIMUM EARTH COVER OVER THE TANK IS THREE (3) FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
7. THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP, WIDTH, AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
8. THE EXISTING TOPOGRAPHY SHOWN HEREON IS FROM HOWARD COUNTY GIS. 2' CONTOUR INTERVAL AND FIELD VERIFIED BY FISHER, COLLINS AND CARTER, INC.



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6731 Columbia Gateway Drive • Suite 120 • Columbia, MD 21046  
T: 410-872-9105

DATE: 02/02/2022 SCALE: 1"= 30' FILE: OSDS LOT 35\_rev1  
CHK'D: M.J.B. JOB NO: 4683 DRAWN: C.E.R.

**HOUSE OPTIONS:**

HOUSE TYPE: PARKHURST (CRAFTSMAN)

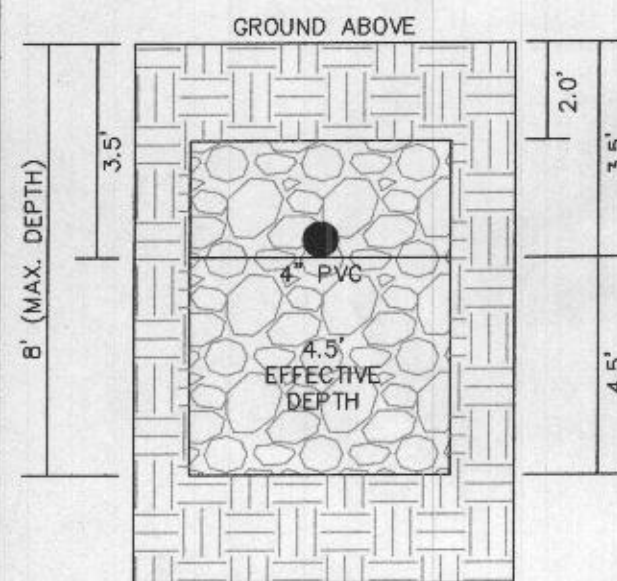
- TWO CAR SIDE ENTRY GARAGE
- WALK-OUT BASEMENT
- WET BAR ROUGH-IN
- OPTIONAL DROP ZONE
- MULTI-GENERATIONAL SUITE ADDITION
- ADDITIONAL ONE CAR FRONT ENTRY GARAGE - 14'
- OUTDOOR LIVING DECK-WALK-OUT

- OPTION No. 012
- OPTION No. 017
- OPTION No. 048246
- OPTION No. 263081
- OPTION No. 263073
- OPTION No. 263102
- OPTION No. 263169

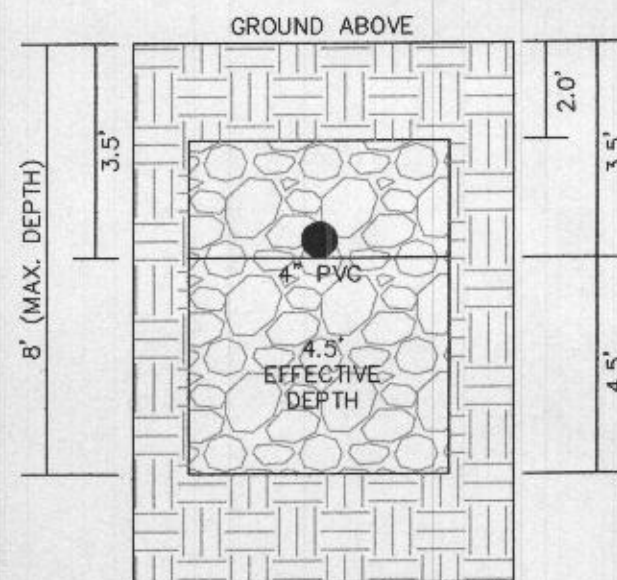
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/23.

**INITIAL TRENCH DATA:**

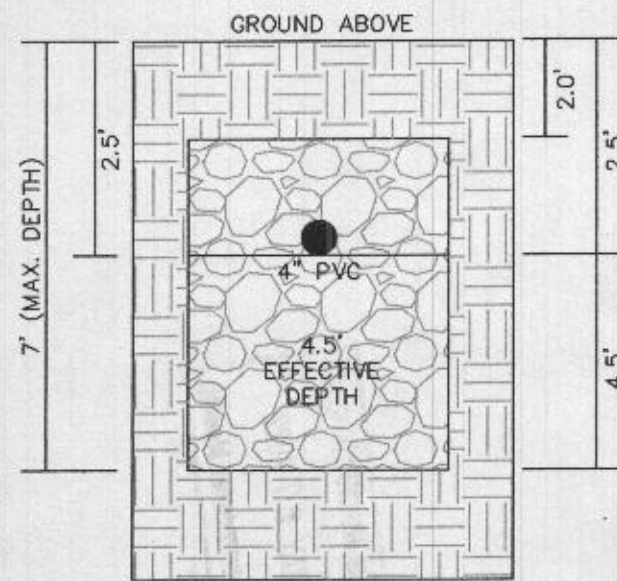
- BOTTOM MAX. DEPTH (8')
- TRENCH 1 (T1): 71.50 LF.  
GROUND ABOVE = 550.00'  
INV. IN = 546.50'  
BOTTOM TRENCH = 542.00'
- TRENCH 2 (T2): 71.50 LF.  
GROUND ABOVE = 549.07'  
INV. IN = 545.57'  
BOTTOM TRENCH = 541.07'



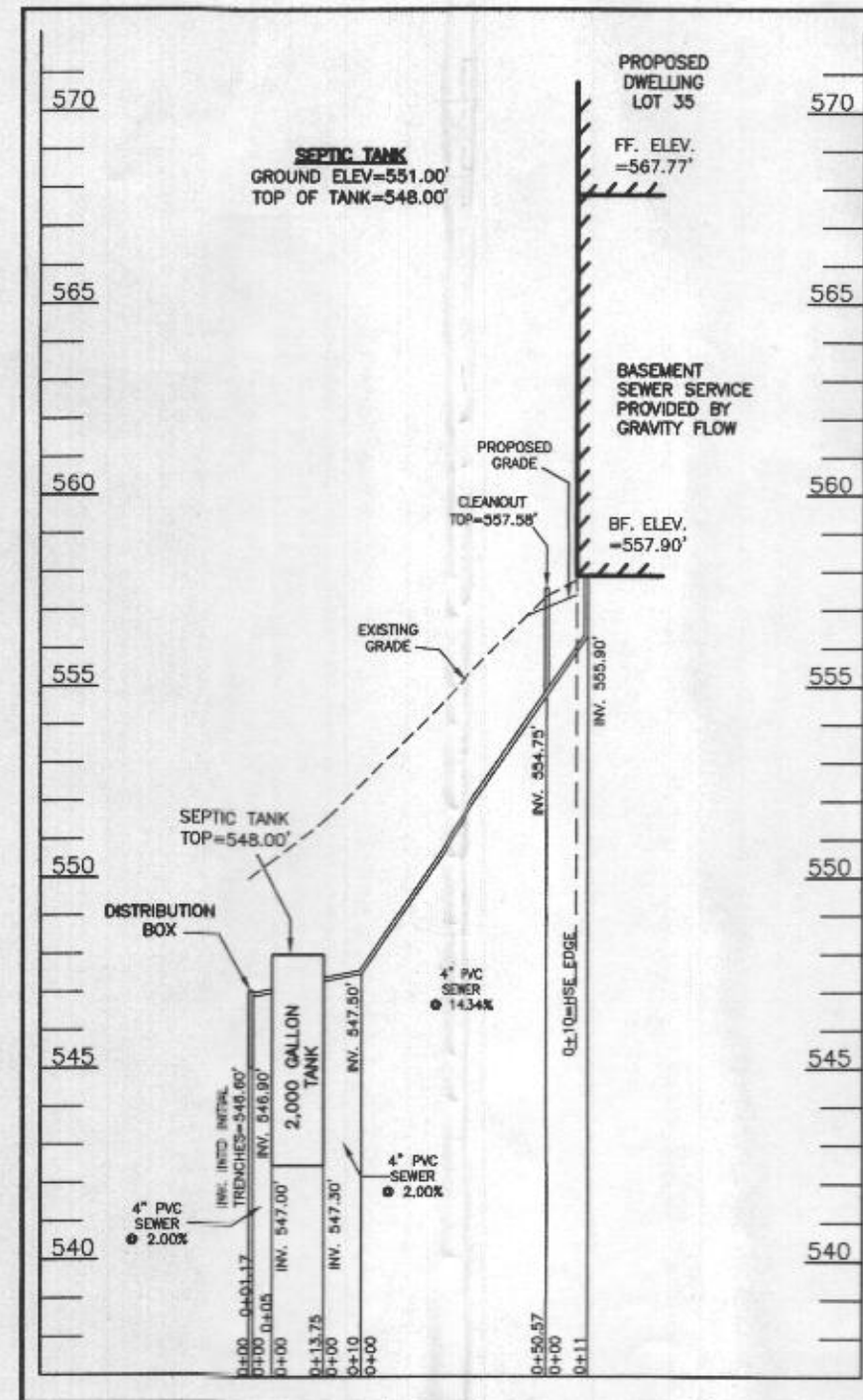
INITIAL SYSTEM TRENCH DETAIL (T1) & (T2) (NOT TO SCALE)



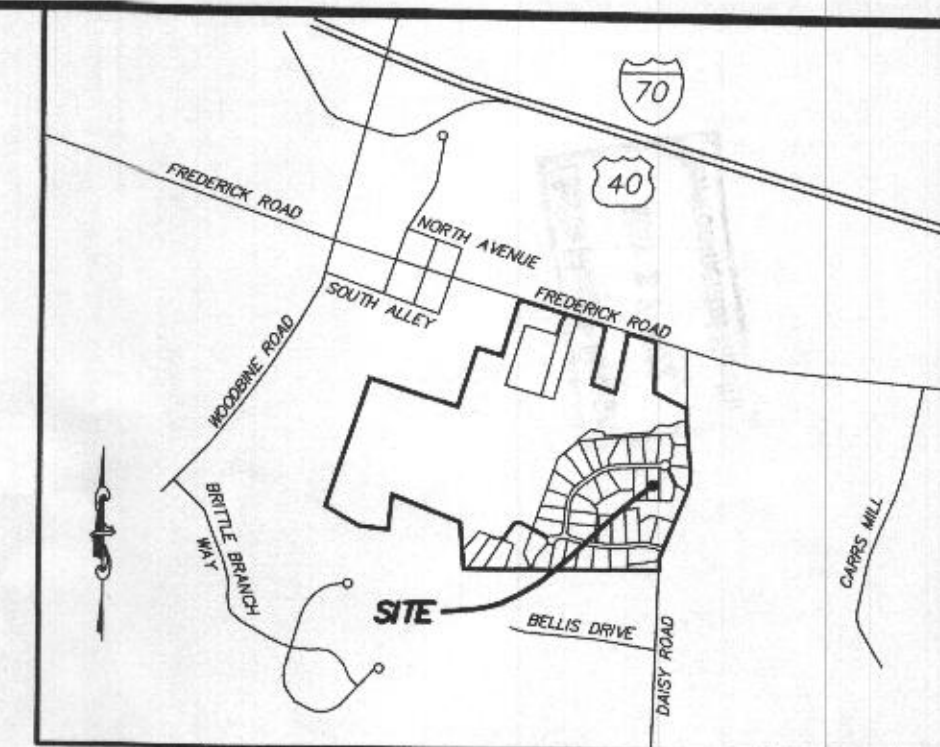
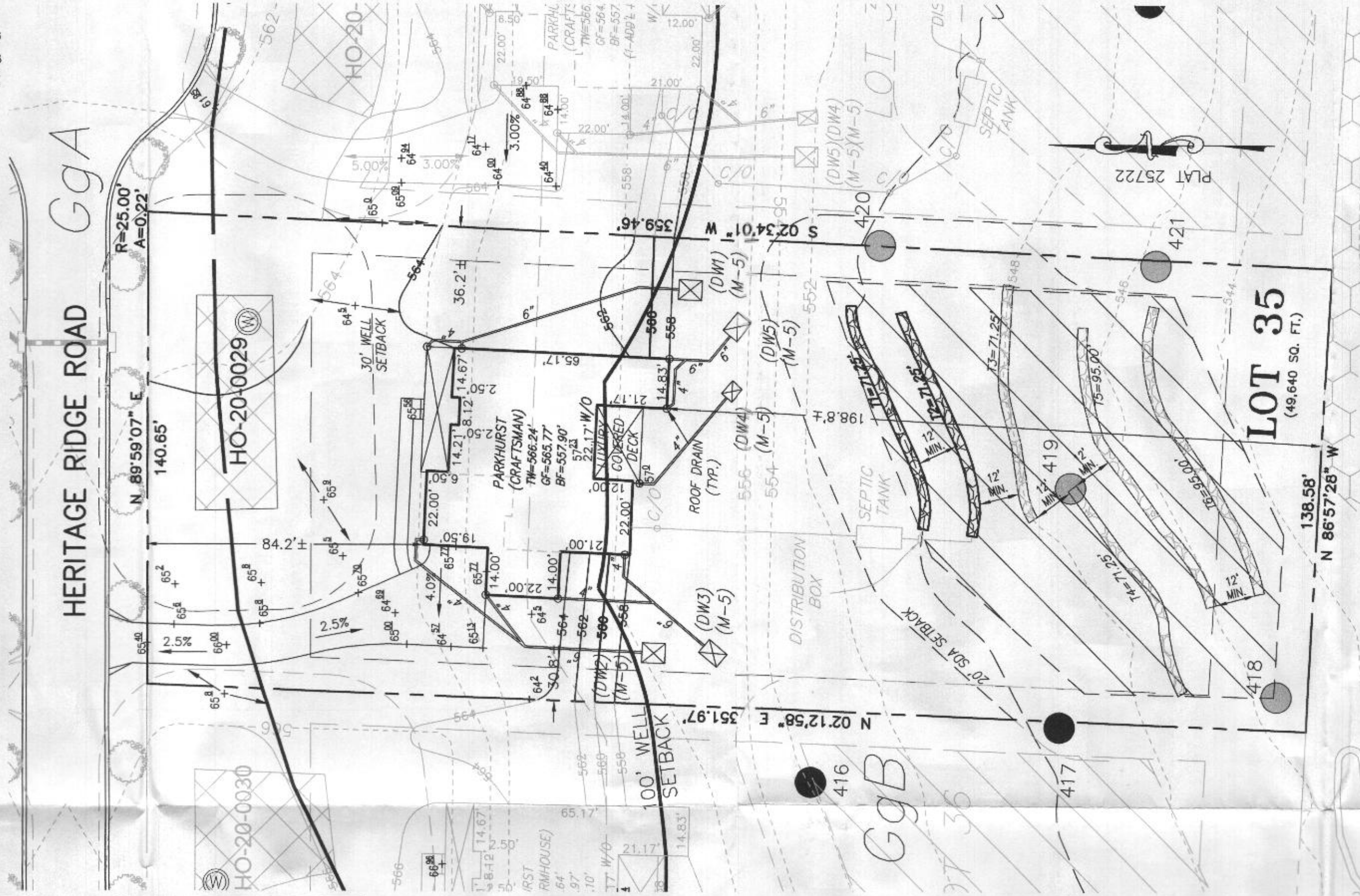
1ST REPLACEMENT SYSTEM TRENCH DETAIL (T3) AND (T4) (NOT TO SCALE)



2ND REPLACEMENT SYSTEM TRENCH DETAIL (T5) AND (T6) (NOT TO SCALE)



SEPTIC SYSTEM PROFILE  
SCALE = HORIZONTAL: 1"=50'  
VERTICAL: 1"=5'



VICINITY MAP  
1" = 1000'

**GENERAL NOTES:**

1. THESE AREAS DESIGNATE A PRIVATE SEWAGE AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS UNTO THE PRIVATE SEWAGE AREA. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
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8. THE EXISTING TOPOGRAPHY SHOWN HEREON IS FROM HOWARD COUNTY GIS, 2' CONTOUR INTERVAL AND FIELD VERIFIED BY FISHER, COLLINS AND CARTER, INC.



- LEGEND:**
- BRL BUILDING RESTRICTION LINE
  - W WELL LOCATION
  - T.W. TOP OF WALL
  - G.F. GARAGE FLOOR
  - B.F. BASEMENT FLOOR
  - PASSED PERC LOCATION
  - SEWAGE DISPOSAL AREA
  - WELL BOX AREA
  - PROPOSED TREE
  - PROPOSED TREE

**SOILS LEGEND**

SOIL	NAME	CLASS	Kw
GgA	GLENELG LOAM, 0 TO 3 PERCENT SLOPES	B	20
GgB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	B	20
*GmB	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES	C	37

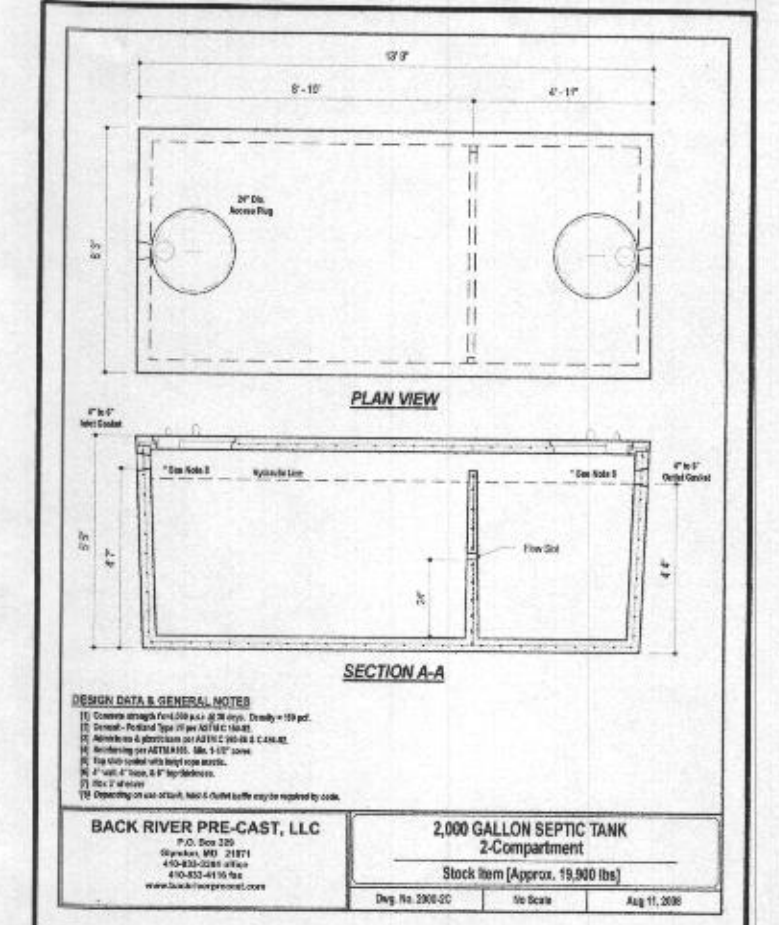
**WELL LOCATION CERTIFICATION:**

THE EXISTING WELL SHOWN FOR Lot 35 (TAG NO. HO-20-0029) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN HEREON.

**SEWAGE DISPOSAL SYSTEM DATA (6 BDRM)**

- PROPOSED INVERT AT FOUNDATION WALL: 557.90'
1. EX. GRADE OVER TANK: 551.00'  
PROPOSED GRADE OVER TANK: 551.00'  
INVERT IN: 547.30' INVERT OUT: 547.00'
  2. DISTRIBUTION BOX  
EXISTING GRADE OVER TANK: 550.00'  
PROPOSED GRADE OVER TANK: 550.00'  
INVERT IN: 546.90' INVERT OUT: 546.60'
  3. INITIAL TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)  
900 GPD ÷ 0.8 APP. RATE = 1,125 SF  
USE 3' WIDE TRENCH WITH 54" GRAVEL BELOW PIPE  
12' MIN. SPACING BETWEEN TRENCH EDGES  
1,125 SF ÷ 3' WIDTH = 375 LF x 0.38 (SIDEWALL REDUCTION) = 142.50 LF MIN.  
USE 2 71.25' LONG TRENCHES = 142.50 LF
  4. 1ST REPLACEMENT TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)  
900 GPD ÷ 0.8 APP. RATE = 1,125 SF  
USE 3' WIDE TRENCH WITH 54" GRAVEL BELOW PIPE  
12' MIN. SPACING BETWEEN TRENCH EDGES  
1,125 SF ÷ 3' WIDTH = 375 LF x 0.38 (SIDEWALL REDUCTION) = 142.50 LF MIN.  
USE 2 71.25' LONG TRENCHES = 142.50 LF
  5. 2ND REPLACEMENT TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)  
900 GPD ÷ 0.6 APP. RATE = 1,500 SF  
USE 3' WIDE TRENCH WITH 54" GRAVEL BELOW PIPE  
12' MIN. SPACING BETWEEN TRENCH EDGES  
1,500 SF ÷ 3' WIDTH = 500 LF x 0.38 (SIDEWALL REDUCTION) = 190 LF MIN.  
USE 2 95' LONG TRENCH = 190 LF

ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN  
LOT 35  
LINDEN GROVE  
LIBER 15899, FOLIO 246  
PLAT NO. 25722  
ELECTION DISTRICT No. 4  
HOWARD COUNTY, MARYLAND  
ADDRESS: 1442 HERITAGE RIDGE ROAD  
WOODBINE, MARYLAND 21797



2,000 GALLON SEPTIC TANK  
2-Compartment  
Stock Item (Approx. 19,900 lbs)  
Aug 11, 2000

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