

**COMPLETE THIS FORM WHEN DROPPING OFF ANY CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 02/17/2023

To: \_\_\_\_\_ (Reviewer/Requestor's Name) \_\_\_\_\_ (Division)

From: Sared Britton, Brasher Design 410-995-0015  
 (Your Name, Company Name) (Phone Number)

Subject: Project name TPC Racing  
 Project site address \_\_\_\_\_  
 Permit # B22004362 SDP # \_\_\_\_\_  
 Other information pertinent to this project \_\_\_\_\_

- ✓ Please check the attachments below that you are submitting with this transmittal: Does not require MDE letter for paint booths. Approved. 9/8 2/24/23
- Letter of response to address plan review comment letter
  - Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
  - Letter Summarizing Changes
  - Energy conservation calculations
  - Copies of \_\_\_\_\_ (be specific). Tenant Letter
    - Health Department Request
    - DPZ/ DED Request
    - Applicant's Request
  - Two sets of single-family model plans to be placed on permanent file: Model Name/ # \_\_\_\_\_
  - Other \_\_\_\_\_

**Contact Person Information: (Required)**

Sared Britton  
 Please Print Name

Telephone No: 410-995-0015

E-Mail Address: jbritton@brasherdesign.com

**PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455 OPTION #4 OR BY VISITING MYHOWARD.INFO. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.**

Received by LAD

**RECEIVED**  
 FEB 17 2023  
 LICENSES & PERMITS  
 DIVISION



8040 Washington BLVD. Jessup, MD 20794

February 15, 2023

To Whom It May Concern,

TPC Racing is an automotive fabrication, design and engineering facility. The business primarily specializes in electronic suspension engineering. The equipment on site to handle these jobs are computers for programming and designing purposes, hand / air tools for assembling small parts and automotive components, a welder and a mill for fabrication. Typical fabrication consists of welding and milling of small parts. There will not be any industrial spray painting nor will there be any storage of fuel in the building. There will be limited amounts to no amounts of flammable / hazardous material stored in this facility. As well, there will be a maximum of two (2) cases of motor oil, cleaners and assembly greases.

Regards,

A handwritten signature in black ink, appearing to read "Michael Levitas". The signature is stylized and cursive.

Michael Levitas

President

B 22004362

## Silvast, Zackary

---

**From:** Silvast, Zackary  
**Sent:** Friday, February 10, 2023 7:00 PM  
**To:** jbritton@brasherdesign.com  
**Cc:** rbrasher@brasherdesign.com  
**Subject:** follow-up question regarding building permit #b22004362

Hello,

I reviewed your re-submitted plans yesterday and today. I am following up as it was stated in your revision amendments that the shop was going to be strictly fabrication. Does that mean that no commercial/industrial spray painting will occur at this specific shop?

I look forward to your response. Thanks and have a great weekend.

- ZS

**Zack Silvast (LEHS)**

*Plan Review Supervisor - Water & Sewer Division*

*410-313-1777*

Environmental Health Bureau

Howard County Health Department

E-mailed applicant.

-ZS

**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 01/19/23

To: Jim Hobson (Reviewer/Requestor's Name) Inspections, licenses & Permits (Division)

From: Jared Britton, Brasher Design (Your Name, Company Name) 410-995-0015 (Phone Number)

Subject: Project name TPC Racing  
 Project site address 7869 Donsey Run Rd. Jessup, MD. 20794  
 Permit # B22004362 SDP # \_\_\_\_\_  
 Other information pertinent to this project \_\_\_\_\_

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
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- Letter Summarizing Changes
- Energy conservation calculations
- Copies of \_\_\_\_\_ (be specific).  
 Health Department Request     DPZ/ DED Request     Applicant's Request
- Two sets of single-family model plans to be placed on permanent file: Model Name/ # \_\_\_\_\_
- Other \_\_\_\_\_

**Contact Person Information: (Required)**

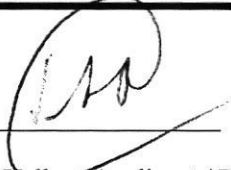
Jared Britton  
Please Print Name

Telephone No: 410-995-0015

E-Mail Address: jbritton@Brasherdesign.com

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Received by \_\_\_\_\_



**RECEIVED**

JAN 24 2023

LICENSES & PERMITS  
DIVISION

# 19-145 TPC Racing MECHANICAL/ PLUMBING Permit Comments

B22004362 Construct New 1 Story Shell Building 7869 Dorsey Run Road Jessup, Maryland 20794 Email sent to: rbrasher@brasherdesign.com Ron Brasher, Please note the below plan review comments for revision and resubmittal regarding the subject project:

1. The Fire Service piping (where it splits from the combined domestic/fire sprinkler water supply piping), shall be protected by a Reduced Pressure Detection Assembly (RPDA) or a Double Check Detection Assembly (DCDA) backflow prevention device. Please provide a large plan view and elevation detail of the fire sprinkler/meter room piping at this split, to show the required backflow prevention device. The fire sprinkler piping drawings shall subsequently be submitted with a separate sprinkler permit application.
  - a. Drawing P-200 – Added large plan view of water service room.
  - b. Drawing P-500 – Added elevation detail of incoming water service and corrected ASSE number for DCDA-1 to ASSE 1048
  
2. In reference to drawing P-400, the Domestic Water Riser Diagram shows the temperature pressure relief piping directed to the mop sink. Be advised that this detail shall be revised, to direct the temperature pressure relief discharge to a location that prevents accidental injury from discharge to a fixture that may be in use by an occupant.
  - a. Drawings P-100 – Added floor drain (FD-3) with funnel to receive the temperature pressure relief discharge.
  - b. Drawing P-400 – Revised sanitary/vent riser diagram to show added FD-3 drain and revised note on domestic water riser diagram to reflect piping being discharged into FD-3 drain.
  
3. This permit is for the shell building only. Various drawings indicate “future” installation of roof top units or unit heaters. Please show how heat will be provided at the shell stage to prevent water piping from freezing (both domestic and fire sprinkler piping). Two (2) sets of revised hard copy drawings shall be submitted to the Plan Review Division, documented with the original wet seal and signature of the Architect or Engineer that designed the drawings. Please respond with a short email acknowledging receipt of these plan review comments. Cordially, Adolphe Huriaux Howard County Government Department of Inspections, Licenses and Permits 3430 Court House Drive Ellicott City, Maryland 21043 410.313.2436 Office 410.313.3952 Direct/Voice Mail ahuriaux@howardcountymd.gov

HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.  
D. RONALD BRASHER  
LICENSE NUMBER 4023  
EXPIRATION DATE 10/22/24

ARCHITECT  
4023





**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 11/28/2022

To: Andrew Arnold Plans Review Division  
(Reviewer/Requestor's Name) (Division)

From: Jared Britton, Brasher Design 410-995-0015  
(Your Name, Company Name) (Phone Number)

Subject: Project name TPC Racing  
Project site address 7869 Dorsey Burn Road Jessup, MD. 20794  
Permit # 1522006362 SDP # \_\_\_\_\_  
Other information pertinent to this project \_\_\_\_\_

✓ Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- Letter Summarizing Changes
- Energy conservation calculations
- Copies of 1522 (be specific).  
 Health Department Request  DPZ/ DED Request  Applicant's Request
- Two sets of single-family model plans to be placed on permanent file: Model Name/ # \_\_\_\_\_
- Other Additional Copy of Plans for Health Department

**Contact Person Information: (Required)**

Jared Britton  
Please Print Name

Telephone No: 410-995-0015

E-Mail Address: jbritton@brasherdesign.com

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Received by [Signature]

**RECEIVED**

NOV 28 2022

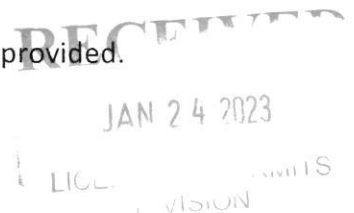
LICENSES & PERMITS  
DIVISION

# 19-145 TPC Racing ARCH Permit Comments

## Department of inspections, licenses & Permits Comments:

This office has reviewed the construction drawings submitted for the above referenced project. The plans indicate an approximate 39948 square foot building. The use group is M , and the construction type is 2B. The following comments are noted for compliance:

1. Prior to the approval of the building permit by this office, two (2) complete sets of the formally revised site development plan shall be submitted to the Plan Review Division. (2021 International Building Code, Section 107.2.6) The revisions shall include the correct size of the sprinkler room and the water line to that room
  - a. Acknowledged
2. A vestibule shall be provided at door 100, in accordance with section C402.5.9 of the 2021 IECC
  - a. In lieu of a vestibule, door 100 will use an air curtain that conforms to IECC sec. c402.5.9, final specification shall be shown on mechanical DWGs.
3. The architect shall provide the per cent of door and window openings to show compliance with the 2021 IECC. The overhead doors shall be included.
  - a. Wall areas are calculated from grade to top of roof insulation and include all openings.
    - i. North Wall Areas: Wall Area = 2566.68 S.F. Opening Area = 691.31 S.F.
      - = 26.93% Opening to wall area
    - ii. East Wall Areas: Wall Area = 10061.31 S.F. Opening Area = 1638.78 S.F.
      - = 16.28% Opening to wall area
    - iii. South Wall Areas: Wall Area = 2566.68 S.F. Opening Area = 0 S.F.
      - = 0% Opening to wall area
    - iv. West Wall Areas: Wall Area = 10908.88 S.F. Opening Area = 1763.81 S.F.
      - = 16.16% Opening to wall area
    - v. Totals Areas: Wall Area = 26103.55 S.F. Opening Area = 4093.9 S.F.
      - = 15.68% Opening to wall area
4. Please provide product information on the overhead doors that shows compliance with the air infiltration rate of the 2021 IECC.
  - a. Note #6 on sheet A550 has been updated to comply with IECC 2021 standards.
5. On sheet S100, please revise the ground snow load to 40 psf and correct the reference to the current building code, the 2021 IBC. Local code amendments have changed the ground snow load requirement.
  - a. Sheet S100 has been updated
6. The R-9 rigid insulation used in detail K5/A510, does not meet the requirements of table C402.1.3 of the 2021 IECC. Please revise.
  - a. Corrected to R-9.5 MIN.
7. Provide product information for the interior rigid insulation used on the exterior walls. A Thermal barrier may be required.
  - a. Basis of design is DuPont Thermax or equal, Thermax cut sheet will be provided.



8. In the event that a 12 ft high rack system is provided, two (2) complete sets of structural and electrical, drawings, revised to reflect our plan review comments and bearing the original seal and signature of a Maryland State Registered Professional Engineer shall be submitted to this Division prior to issuance of the building permit. (2021 International Building Code, Section 107). Roof smoke venting may also be required.
  - a. No high piled storage proposed in this project.
9. Door 107 shall be provided with exterior emergency lighting as required in Chapter 10 of the 2021 IBC.
  - a. Door 107 has emergency lighting, see sheet E2
10. A barrier shall be provided under the open stairs to protect the visually impaired individuals 2010 ADA.
  - a. Wall to close off under stairs has been added.
11. Building permit #B22004362 covers the shell building only. Application(s) for interior completion permits shall be accompanied by two (2) sets of architectural, electrical, mechanical, and plumbing drawings bearing the original seal and signature of a Maryland State Registered Professional Engineer or Architect and submitted to this office prior to any interior work. The description of work portion of the application shall read "interior completion of shell permit #B22004362. (2021 International Building Code, Section 107)
  - a. Please clarify: Does this note apply to both the TPC Space and the leasable space portion or just the leasable space portion of the project?
12. The owner should be advised that prior to placement of any kind of sign, a sign permit shall be acquired from the Howard County Sign Administrator. For information regarding this matter, please contact Donald Mock at (410) 313- 2436.
  - a. Acknowledged
13. It is understood that the building will be provided with a complete automatic fire suppression system and fire alarm system depending on future use groups. Separate permits are required for these installations. (NFPA 101 2021 edition)
  - a. Acknowledged
14. All wood used for partitions, structural elements, roof framing, bulk-head framing and similar purposes shall be fire retardant treated wood in accordance with AWPA-C27-74 for plywood, AWPA-C20-74 for lumber. (2021 International Building Code, Section 603.1)
  - a. All wood used in project is F.R.T.
15. Please submit data and specifications describing the type and indicating the storage quantity of all chemicals to be utilized within the proposed occupancy, in accordance with flammability and combustibility guidelines set forth in NFPA 30, 2018 Edition. Flashpoints of all chemicals shall be included in this submittal. Comments will be continued in another email
  - a. 2 cases motor oil (6 quarts per case)
  - b. 2 cases carburetor cleaner (12 20oz. cans per case)
16. Written certification of soils at the time of footing excavation, by a Maryland State Registered Professional Engineer or certified inspection agency, shall be submitted to the Department. The certification shall include the date(s) of inspection(s), the type of soil encountered, the method of determining the bearing value, the actual bearing value available (a minimum soil bearing value of 2000 psf required by design) and shall reference the building permit number and/or exact project address.

a. Acknowledged

17. Prior to final inspection sign off by the Howard County Building Inspector, a written inspection certification from a Maryland State Registered Professional Engineer or certified inspection laboratory bearing the original seal and original signature of a Maryland State Registered Professional Engineer certifying 100% steel erection shall be submitted to the Department.

SECTION C402.5.9 The Architect and/or Owner shall be advised that a single response to this comment letter will be accepted without charge Multiple re-reviews and unsolicited revisions and when the permit has already been issued, a \$200.00 re-submittal fee will be assessed. Please make checks payable to: Director of Finance, Howard County. **\*\*ALL PERMITTING FEE'S CAN BE VIEWED ON CITIZEN ACCESS @ MYHOWARD.INFO\*\***

### **Health Department Comments:**

18. Reviewed plans December 13th does not go into great detail about the equipment installed within the auto shop. Need a short list of provided services from the automotive shop.

a. Not a service shop, it is a race car fabrication shop

b. Equipment to be used in shop

i. Car lifts

ii. Welder

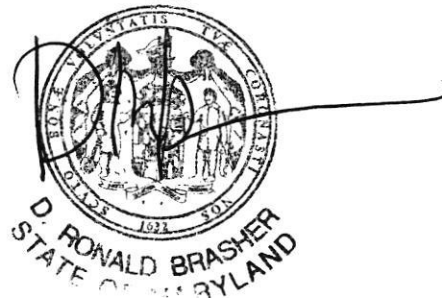
iii. Lathe

iv. Mill

v. Tire Machine

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE  
PREPARED OR APPROVED BY ME, AND THAT  
I AM A DULY LICENSED ARCHITECT UNDER  
THE LAWS OF THE STATE OF MARYLAND  
D. RONALD BRASHER  
LICENSE NUMBER 4023  
EXPIRATION DATE 10/22/24

ARCHITECT  
4023



**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
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DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 02/10/2023

To: Jim Hobson, Jose Kohler  
(Reviewer/Requestor's Name) (Division)

From: Brasher Design 410-995-0015  
(Your Name, Company Name) (Phone Number)

Subject: Project name TPC Racing  
 Project site address 7869 Dorsey Run Rd. Jessup MD, 20794  
 Permit # B22004362 SDP # \_\_\_\_\_  
 Other information pertinent to this project \_\_\_\_\_

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 Health Department Request     DPZ/ DED Request     Applicant's Request
- Two sets of single-family model plans to be placed on permanent file: Model Name/ # \_\_\_\_\_
- Other \_\_\_\_\_

**Contact Person Information: (Required)**

Jared Britton Telephone No: 410-995-0015  
 Please Print Name E-Mail Address: jbritton@brasherdesign.com

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Received by [Signature]

**RECEIVED**

FEB 10 2023

*Per # 2  
#200-02  
Inv # 736776*

# 19-145 TPC Racing ELECTRICAL Permit Comments

Issued 01/26/2023

Please see my electrical comments:

1. - Comply With IECC C405.12. Please specify equipment to be used. Where will it take its power from (getting dedicated circuit, plug-in to existing circuit), show on the panel schedule if applicable.
  - a. AcuPanel 9104x by Accuenergy was added to the description on drawing E1.. See revised panel schedules on drawing E7 for panels M & P for circuits.
2. - Please comply with 2020 NEC 110.26(C). Please show listed panic hardware as this section requires for the door. Currently, door schedule does not reflect listed panic hardware. It is calling for lever type hardware.
  - a. Architectural has updated door and hardware schedules
3. - Comply with NEC Article 511 inside the Shop room 110. Please show what areas need to be classified.
  - a. See owners letter stating no hazardous gases will be used in shop area.
4. Also, will there be storage of any fuels on top of the carb cleaners and the motor oils disclosed?
  - a. Architectural response: We have been told by the owner, that only the materials listed in the previous comment response will be stored on site.
5. Do to lead time issues we had to eliminate the 1200 amp main and add a 600 amp and a 800 amp mains for the future tenant spaces. See revised riser on drawing E7.
6. The main electric room was made larger and revised to reflect the new layout on drawing E5.

**RECEIVED**

FEB 10 2023

LICENSES & PERMITS  
DIVISION

# 19-145 TPC Racing ARCH Permit Comments

## **Department of inspections, licenses & Permits Comments:**

Issued 01/31/2023

1. Prior to the approval of the building permit by this office, two (2) complete sets of the formally approved site development plan shall be submitted to the Plan Review Division. (2021 International Building Code, Section 107.2.6)
  - a. Acknowledged
2. Building permit #B22004362 covers the shell building and the TPS tenant space. Application(s) for other interior completion permits shall be accompanied by two (2) sets of architectural, electrical, mechanical, and plumbing drawings bearing the original seal and signature of a Maryland State Registered Professional Engineer or Architect and submitted to this office prior to any interior work. The description of work portion of the application shall read "interior completion of shell permit # B22004362". (2021 International Building Code, Section 107)
  - a. Acknowledged
3. Provide a revised floor plan that shows the additional wall under the mezzanine stair.
  - a. Revised and clouded sheet A301 showing wall below stairs
4. Please provide product information on the overhead doors that shows compliance with the air infiltration rate of the 2021 IECC. A note is not acceptable.
  - b. Cut sheets for overhead doors showing compliance with allowable air infiltration CFM/ft<sup>2</sup>



TPC Racing is an auto fabrication shop facility specializing in professional race series. No hazardous or flammable materials will be stored, maintained, or worked on inside the fabrication shop.

A handwritten signature in black ink, appearing to read 'Michael Levitas', with a stylized flourish at the end.

Michael Levitas president 2/3/2023

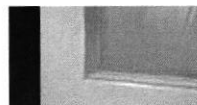
CLOPAY COMMERCIAL – MODELS 904, 904U  
**architectural series**



**ALUMINUM FULL-VIEW DOORS**

Clopay's Model 904 showcases a sleek design with fewer lines and angles to its appearance. With equal stile spacing, rail and stile profiles are more proportional to each other. This design provides an aesthetically pleasing appearance making it ideal in applications such as restaurants, auto dealerships and fire stations. In addition to these features, Model 904U features Intellicore® polyurethane insulated rails and stiles.

[clopaycommercial.com](http://clopaycommercial.com)



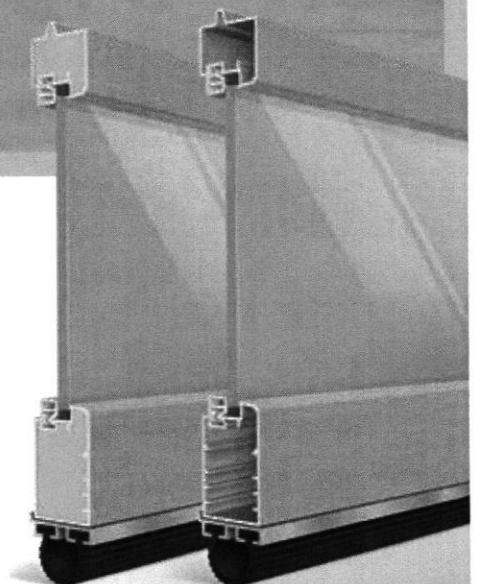
Frame Detail



Section Joint Seal



Reinforcing Fin (where applicable)



Model 904U\*

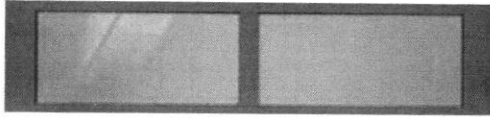
Model 904

\*Model 904U R-value 3.8 with clear insulated glass.

# OPTIONS

## DOOR ELEVATION TYPE C

### PANEL OPTIONS

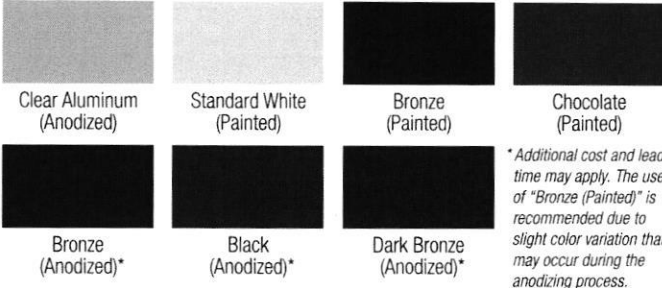


Aluminum Full-View



Solid Aluminum

### FRAME/SOLID PANEL COLOR OPTIONS



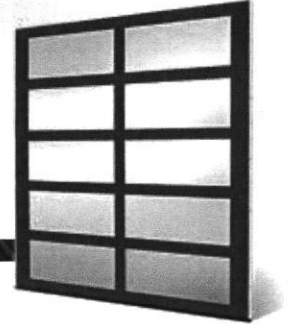
\*Additional cost and lead time may apply. The use of "Bronze (Painted)" is recommended due to slight color variation that may occur during the anodizing process.

### CUSTOM PAINT OPTIONS

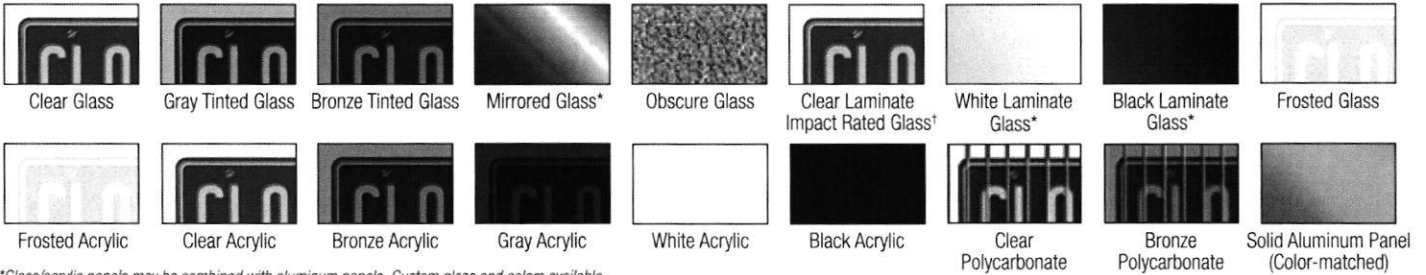
Color Blast® finish paint system or RAL Powder Coating give you thousands of color options for endless upgrades. See your Clopay Dealer for details.



Model 904U not available with RAL Powder Coat finish.



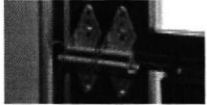
### GLASS/PANEL OPTIONS



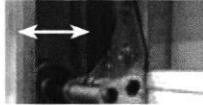
\*Glass/acrylic panels may be combined with aluminum panels. Custom glass and colors available. 1/5/16" clear laminate impact rated glass is available only on 904W8/904UW8.

## PERFORMANCE OPTIONS

### HEAVY-DUTY HARDWARE



Double-end Hinge



3" Track

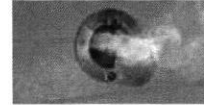


High Performance Hardware

### SPECIALTY PRODUCTS



Center Mullions



Exhaust Port

### OPTIONAL WARRANTY

Extended 8-year hardware warranty includes upgraded industrial hardware. Upgraded hardware includes 3" track and rollers, 11 gauge hinges, heavy duty brackets, solid shaft and more.



### WINDCODE®



Design pressures (DP) up to 52 PSF depending on configuration. Models tested 50% greater than DP.

### STANDARD SPECIFICATIONS

Max Width	24'2" (Maximum width for Model 904U is 20'2")
Max Height	20'0"
Exterior/Interior Panel Thickness	2-1/8"
Insulation	Intellicore® polyurethane (Model 904U)
R-Value*	3.8 (Model 904U with clear insulated glass)
U-Factor	0.86 (Model 904U with clear insulated glass)
Air Infiltration Rate	0.15cfm/ft²
End Stile Thickness	4.5" wide single up to 14'2" 6.5" wide double over 14'2"
Emboss	Recessed panel with smooth surface
Panel Style	Full-view or solid aluminum panel
Section Construction	6063-T5 extruded aluminum alloy

Window Style	Full-view
Glass	DSB glass, tempered glass, acrylic, thicknesses of 1/8", 1/4" and 1/2"
Solid Panels	Insulated and non-insulated aluminum panels
Wind Load	Impact rated (W8 only)
Joint Seal	Yes
Springs	10,000 cycle springs Galvanized aircraft cable with minimum 7:1 safety factor
Tracks	2" angle mount track with standard lift 3" track where applicable
Hardware	TPE astragal in corrosion-resistant retainer Steel step plate and lift handle Inside slide lock for increased security
Warranty	Standard Paint – 5 Years Material and Workmanship – 1 Year Color Blast® finish – 5 Years Hardware – 1 Year

\*Calculated door section R-value is in accordance with DASMA TDS-163.



For more information on these and other Clopay products, visit [clopaycommercial.com](http://clopaycommercial.com). Architects and specifiers, visit [architectdoorhelp.com](http://architectdoorhelp.com).

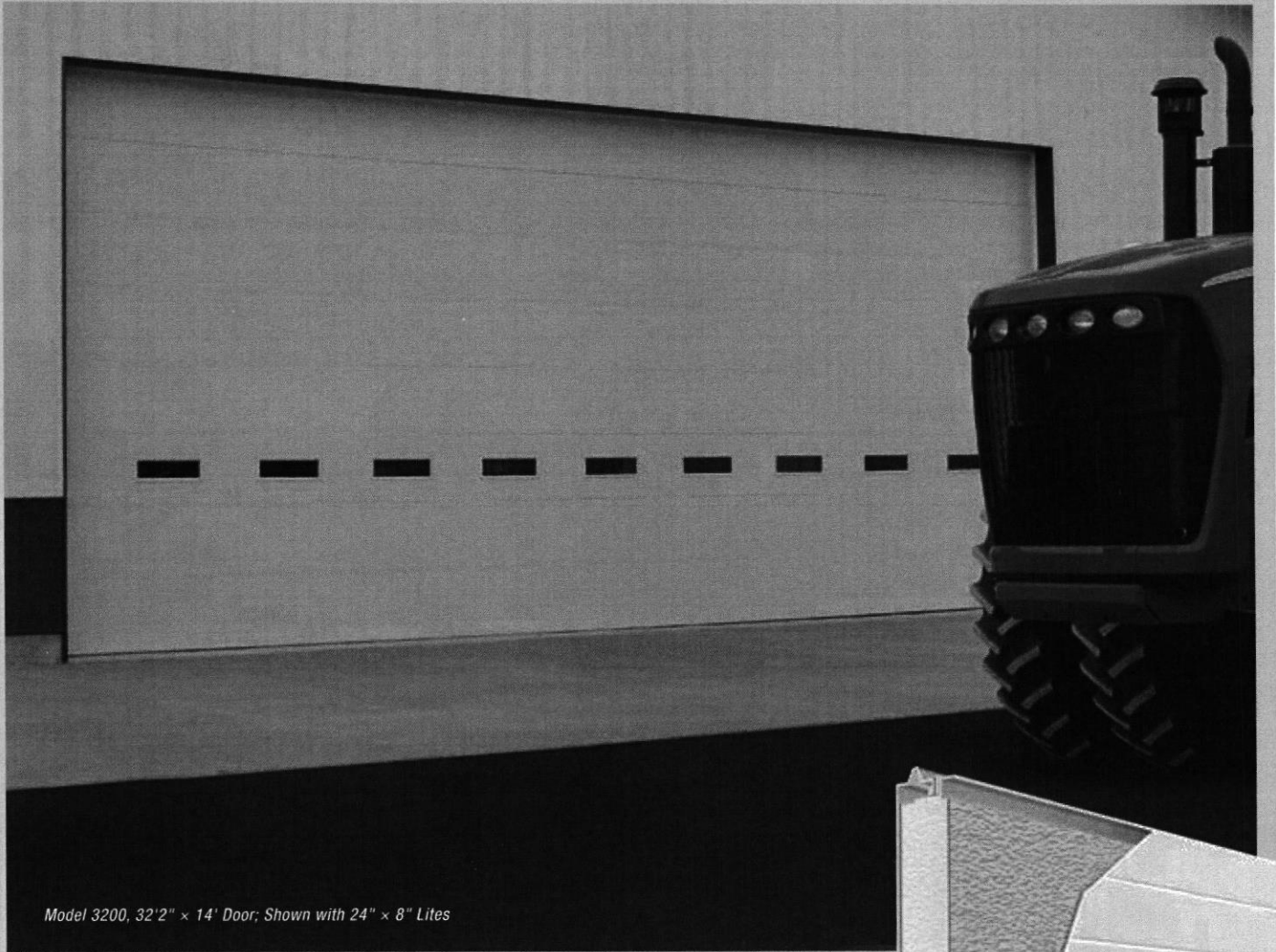


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CMDC-904-19\_REV1122

CLOPAY COMMERCIAL – MODELS 3200, 3211, 3213  
**energy series**



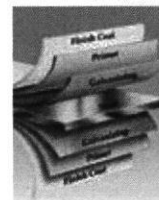
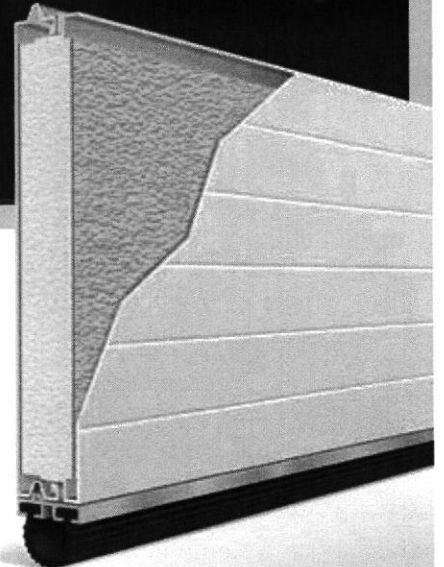
*Model 3200, 32'2" x 14' Door; Shown with 24" x 8" Lites*

## POLYSTYRENE INSULATED STEEL DOOR

Clopay Models 3200, 3211 and 3213 are high-quality doors designed for commercial and industrial facilities, providing the durability of a full 24 gauge, heavy-duty exterior steel skin in an energy-efficient door system. R-Value 9.1.

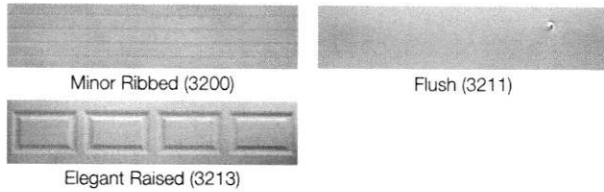
- Bonded polystyrene insulation and thermal break for enhanced comfort.
- Three-layer construction with steel and insulation for increased durability.
- Three-stage paint process delivers a virtually maintenance-free finish.
- Injection-molded lite frames with integral weatherseal are durable and seal against the elements. Many glass options available for visibility, privacy or energy efficiency.

[clopaycommercial.com](http://clopaycommercial.com)



Steel skins are protected through a tough, layered coating system, including a hot-dipped galvanized layer, a protective metal oxide pretreatment and a baked-on primer and top coat. Ten-year warranty against rust-through.

## PANEL DESIGNS



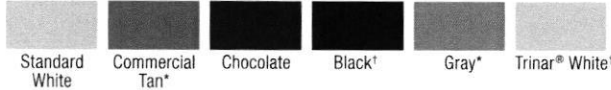
Minor Ribbed (3200)

Flush (3211)

Elegant Raised (3213)

## COLOR OPTIONS

### MODEL 3200



Standard White

Commercial Tan

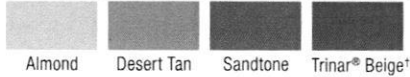
Chocolate

Black<sup>1</sup>

Gray<sup>\*</sup>

Trinar<sup>®</sup> White<sup>1</sup>

### ADDITIONAL COLORS FOR MODELS 3211, 3213



Almond

Desert Tan

Sandtone

Trinar<sup>®</sup> Beige<sup>1</sup>

<sup>\*</sup> Not available on Models 3211 and 3213.

<sup>1</sup> Additional charges apply.

Due to the printing process, colors may vary.

## CUSTOM PAINT OPTION



Color Blast<sup>®</sup> finish offers more than 1,500 Sherwin-Williams<sup>®</sup> color options to complement your building design. This durable two-part paint system has been thoroughly tested and is backed by a five-year warranty.

Due to solar reflective formulation to meet greater than a 38 LRV, some colors may not be available.

## FEATURES

### STANDARD HARDWARE

- TPE astragal in aluminum retainer
- Commercial 10-ball steel rollers (nylon tires available)
- Steel step plate and lift handle
- Galvanized steel end stilts
- Inside slide lock for increased security
- 2" or 3" track
- 10,000 cycle springs
- Galvanized aircraft cable with minimum 7:1 safety factor
- Variety of track configurations to meet building specifications

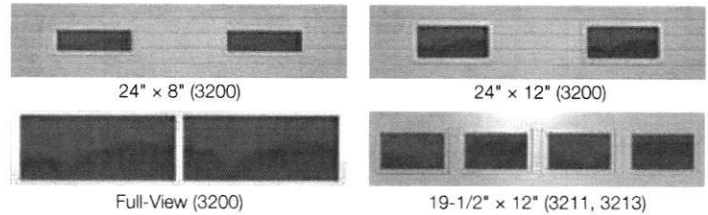
### MATERIALS AND CONSTRUCTION

Panel Thickness	2"
Insulation	2" bonded polystyrene
R-value	9.1*
U-Factor	0.23
Air Infiltration	0.34 cfm/ft <sup>2</sup>
Thermal Break	Continuous silicone filled
Exterior Steel	24 gauge (.58 mm)
Interior Steel	27 gauge (.41 mm)
Exterior Surface	Stucco embossed, minor ribbed (3200) Woodgrain embossed, flush (3211) Woodgrain embossed, elegant raised (3213)
Max Width	3200: 26'2"; 3211/3213: 20'2"
Max Height	3200: 24'; 3211/3213: 18'
Exterior Colors	Standard White, Almond, Desert Tan, Sandtone, Commercial Tan, Chocolate, Black, Gray, Trinar <sup>®</sup> White and Trinar <sup>®</sup> Beige. Also available in Color Blast <sup>®</sup> finish.
Interior Color	Standard White
Limited Warranties	10-year rust-through 5-year delamination 5-year Color Blast <sup>®</sup> finish 1-year material and workmanship

\*Calculated door section R-value is in accordance with DASMA TDS-163. For special sizes, applications and options, consult customer service at 1-800-526-4301.

## ADDITIONAL OPTIONS

### WINDOW OPTIONS



24" x 8" (3200)

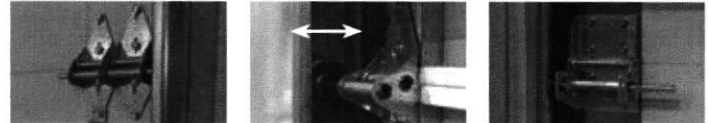
24" x 12" (3200)

Full-View (3200)

19-1/2" x 12" (3211, 3213)

Model 3200 is available with insulated or insulated tempered glass. Full-view section, pre-painted Standard White or Chocolate; glazing options include DSB, plexiglass, wire and insulated glass. Models 3211 and 3213 are available with DSB, plexiglass and insulated glass.

### HEAVY-DUTY HARDWARE (where not standard)



Double-end hinge

3" Track

High performance hardware features 10 gauge end hinges, heavy-duty top bracket and 3" sealed roller with 5/8" stem.

### MULLIONS



Carry-away, roll-away or swing-up mullions are available on select sizes.

### BREAK-AWAY SECTION



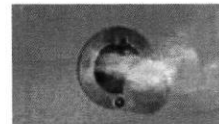
Single section and double sections available on select sizes. (3200)

### PASS DOOR



32" wide x 80" high, max 16'2" wide section. (3200)

### EXHAUST PORT



Can be cut into any type of sectional door. Available in select sizes.

### SAFE-T-STOP™ CHAIN HOIST



Hand chain hoist with an integral braking system providing controlled descent for sectional doors.



WindCode<sup>®</sup> design pressure (DP) up to 52 PSF depending on size. Models tested 50% greater than DP.



Upgrade your standard door with industrial-grade components.

### HIGH CYCLE SPRINGS



25,000, 50,000 or 100,000 cycle springs available.

### CODE COMPLIANT

This Clopay door complies with the 2015 IECC (International Energy Conservation Code) with an air infiltration rating of .40 cfm/ft<sup>2</sup> or less (IECC, Section 402.5.2), and also meets the U-factor requirement of 0.37 or less (IECC, Section C402.4, for Climate Zones 1 through 8).



For more information on these and other Clopay products, visit [clopaycommercial.com](http://clopaycommercial.com). Architects and specifiers, visit [architectdoorhelp.com](http://architectdoorhelp.com).



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# 19-145 TPC Racing ARCH Permit Comments

## **Department of inspections, licenses & Permits Comments:**

Issued 01/31/2023

1. Prior to the approval of the building permit by this office, two (2) complete sets of the formally approved site development plan shall be submitted to the Plan Review Division. (2021 International Building Code, Section 107.2.6)
  - a. Acknowledged
2. Building permit #B22004362 covers the shell building and the TPS tenant space. Application(s) for other interior completion permits shall be accompanied by two (2) sets of architectural, electrical, mechanical, and plumbing drawings bearing the original seal and signature of a Maryland State Registered Professional Engineer or Architect and submitted to this office prior to any interior work. The description of work portion of the application shall read "interior completion of shell permit # B22004362". (2021 International Building Code, Section 107)
  - a. Acknowledged
3. Provide a revised floor plan that shows the additional wall under the mezzanine stair.
  - a. Revised and clouded sheet A301 showing wall below stairs
4. Please provide product information on the overhead doors that shows compliance with the air infiltration rate of the 2021 IECC. A note is not acceptable.
  - b. Cut sheets for overhead doors showing compliance with allowable air infiltration CFM/ft<sup>2</sup>

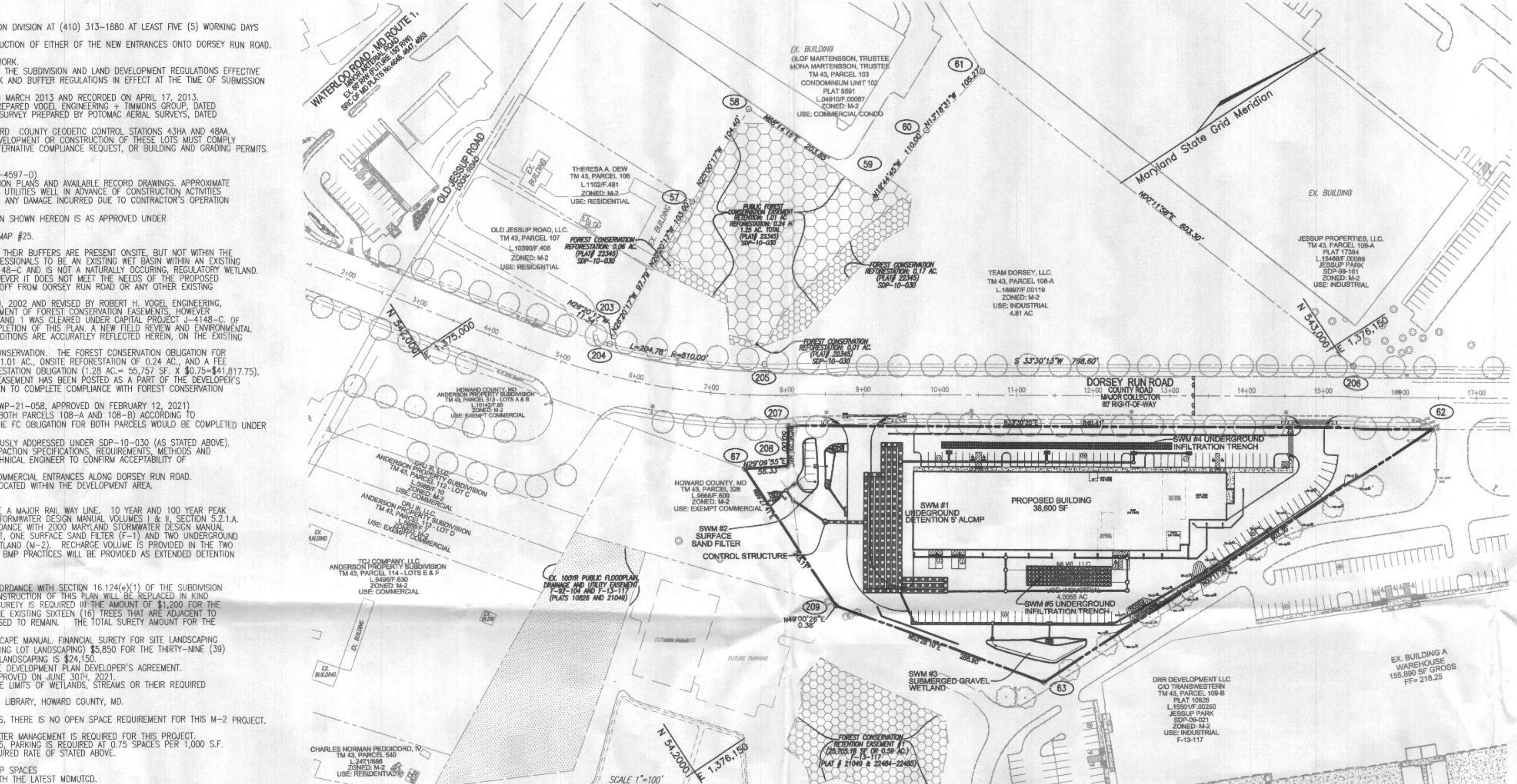
GENERAL NOTES

- 1. PROJECT BACKGROUND:
- BACKGROUND NAME: JESSUP PARK
- TAX MAP: 38 GRD 04
- SECTION/AREA: N/A
- LOT/PARCEL: PARCEL 108-B
- ZONING: M-2
- ELECTION DISTRICT: 15T
- TOTAL (GROSS) TRACT AREA: 4.01 ACRES
- AREA OF IN TRANSFER: N/A
- SECTION/AREA: N/A
- NET AREA OF PROPOSED BUILDINGS: 1 - FLEX WAREHOUSE (38,600 S.F.)
- NET AREA OF PROPOSED DRIVEWAYS: 4.01 ACRES (4.01 SITE-0.00 INV-4.01 AC.)
- AREA OF PROPOSED P/W: N/A
- OPEN SPACE REQUIRED: N/A
- GREEN AREA PROVIDED: N/A
- PUBLIC WATER & SEWER: N/A
- DPZ REF'S: N/A

CONSTRUCTION PERIOD PROTECTION AND MANAGMENT NOTES FOR STREET TREES

- PRE-CONSTRUCTION PHASE
1. FOR RETENTION AREAS, INSTALL BUZZE ORANGE FENCE AND RETENTION SIGNS BEFORE CONSTRUCTION BEGINS.
2. FENCING SHALL BE MAINTAINED IN GOOD CONDITION AND PROMPTLY REPAIRED OR RESTORED AS THE SITUATION WARRANTS.
3. A QUALIFIED TREE CARE EXPERT SHALL DETERMINE IF ROOT PRUNING IS REQUIRED ALONG THE LIMIT OF DISTURBANCE. ROOT PRUNING TREES AS REQUIRED. WATER ANY ROOT-PRUNED TREES IMMEDIATELY AFTER ROOT-PRUNING AND MONITOR FOR SIGNS OF STRESS DURING CONSTRUCTION.
CONSTRUCTION PHASE
1. NO DISTURBANCE OR DUMPING IS ALLOWED INSIDE THE TREE RETENTION AREA.
2. NO EQUIPMENT SHALL BE OPERATED INSIDE THE TREE RETENTION AREA INCLUDING TREE CANOPIES.
3. IN THE EVENT OF TOUCHING, THE PROTECTED TREES SHALL BE MONITORED FOR SIGNS OF STRESS AND WATERED AS NEEDED.
POST-CONSTRUCTION PHASE
1. AT THE DIRECTION OF A QUALIFIED TREE CARE EXPERT, DAMAGES TO RETAINED TREES SHALL BE REPAIRED BY THE CONTRACTOR.
2. FENCE REMOVAL AND STABILIZATION SHALL BE AS PER THE SEDIMENT AND EROSION CONTROL PLAN.
3. DO NOT REMOVE SIGNS.

TPC RACING
SITE DEVELOPMENT PLAN
7869 DORSEY RUN ROAD
JESSUP, MARYLAND 20794



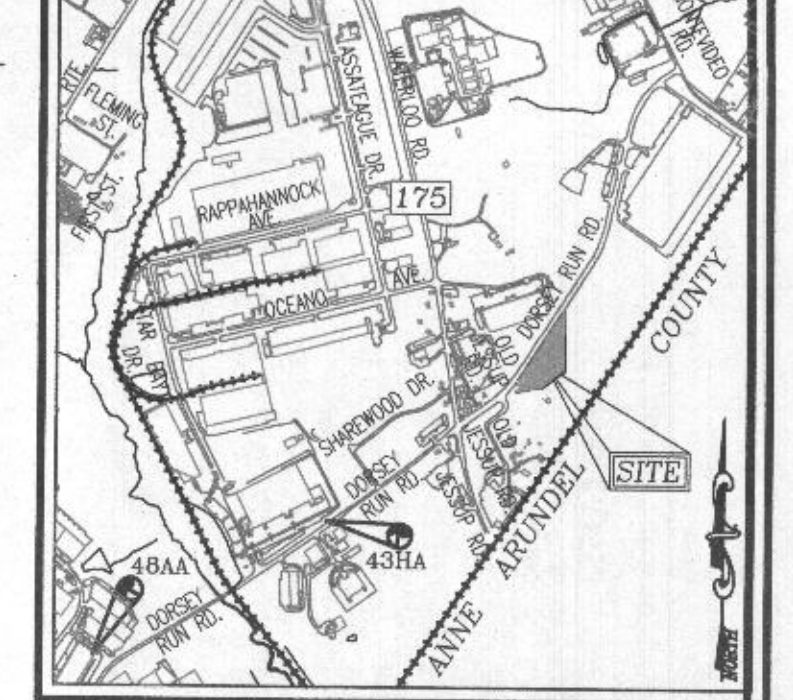
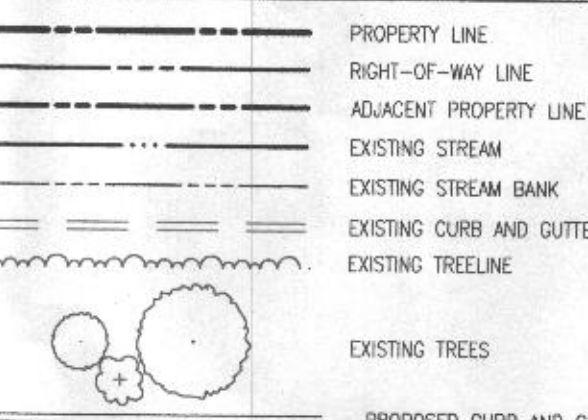
GENERAL NOTES (CONT'D)

- 61. THIS PLAN IS SUBJECT TO BA-19-024V. THE REQUEST FOR RELIEF OF SECTION 123.02.2.A OF THE HOWARD COUNTY ZONING MANUAL TO REDUCE THE REQUIRED 30-FOOT PARKING & USE SETBACK FROM THE EXTERIOR FACE OF THE FRONT OF WAY TO 10 FEET FOR A DRIVE ASSESSMENT.
62. REFERENCE WATERSHIP WP-21-058 APPROVED ON FEBRUARY 12, 2021.
63. SITE HISTORY:
A. WP-11-095, APPROVED ON JANUARY 19, 2011 TO WAIVE SECTION 16.156(A), (I) AND (M), OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO GRANT A ONE (1) YEAR EXTENSION FROM THE PLAN PROCESSING DEADLINE OF 12/04/11, TO EXECUTE THE SDP-10-030 DEVELOPER AGREEMENTS, PAY ALL REQUIRED FEES, POST ALL REQUIRED SURETIES, AND SUBMIT PLAN ORIGINALS FOR SIGNATURE. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
1. THE ABOVE REFERENCED EXTENDED PLAN PROCESSING DEADLINE DATE OF 12/04/11 SHALL BE COMPLIED WITH, OR SITE DEVELOPMENT PLAN SDP-10-030 SHALL BECOME NULL AND VOID AND BE REMOVED FROM PROCESSING.
B. WP-12-084, APPROVED ON DECEMBER 16, 2011 TO WAIVE SECTION 16.156(A), (I) AND (M), OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS TO GRANT A ONE (1) YEAR EXTENSION FROM THE PLAN PROCESSING DEADLINE OF 12/04/11, UNTIL 12/04/12, TO EXECUTE THE SDP-10-030 DEVELOPER AGREEMENTS, PAY ALL REQUIRED FEES, POST ALL REQUIRED SURETIES, AND SUBMIT THE SDP-10-030 PLAN ORIGINALS FOR SIGNATURE. APPROVAL IS SUBJECT TO THE FOLLOWING CONDITIONS:
1. THE ABOVE REFERENCED EXTENDED PLAN PROCESSING DEADLINE DATE OF 12/04/12 SHALL BE COMPLIED WITH, OR SITE DEVELOPMENT PLAN SDP-10-030 SHALL BECOME NULL AND VOID AND BE REMOVED FROM PROCESSING.
2. COMPLIANCE WITH ENCLOSED OED COMMENTS DATED 12/07/11 IS REQUIRED.
C. WP-13-084, THE REQUEST TO WAIVE SECTION 16.156(A), (I) AND (M), OF THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS AS THEY PERTAIN TO SDP-10-030 WAS APPROVED ON DECEMBER 4, 2012, HOWEVER THE REQUEST TO GRANT A ONE (1) YEAR EXTENSION OF THE EXISTING DEADLINE WAS DENIED. APPROVAL OF EXTENSION IS SUBJECT TO THE FOLLOWING CONDITIONS:
1. PETITIONER SHALL EXECUTE DEVELOPER AGREEMENTS, POST SURETIES, AND PAY ALL REQUIRED FEES TO THE DEPARTMENT OF PUBLIC WORKS, REAL ESTATE SERVICES DIVISION, ON OR BEFORE APRIL 3, 2013.
2. PETITIONER SHALL SUBMIT THE SITE DEVELOPMENT PLAN ORIGINAL FOR SIGNATURE APPROVAL TO THE DEPARTMENT OF PLANNING AND ZONING, DIVISION OF LAND DEVELOPMENT, AND SHALL ADDRESS ALL OTHER ITEMS LISTED UNDER STEP 2 OF THE LETTER OF JUNE 7, 2010 ON OR BEFORE APRIL 3, 2013.
3. REAL ESTATE SERVICES DIVISION, ON OR BEFORE APRIL 15, 2013.
4. PETITIONER SHALL SUBMIT THE SITE DEVELOPMENT PLAN ORIGINAL FOR SIGNATURE APPROVAL TO THE DEPARTMENT OF PLANNING AND ZONING, APRIL 15, 2013.
5. PETITIONER IS ADVISED THAT PER THE MDE STORMWATER MANAGEMENT ACT OF 2007, IF THE SDP DESIGN IS NOT APPROVED, AND BOUNDED BY MAY 4, 2013, THE STORMWATER MANAGEMENT WILL BE SUBJECT TO REDUCTION USING THE 2007 REGULATIONS. IF THE SDP IS NOT SIGNED THEN, THIS SITE WILL BE SUBJECT TO REDESIGN (OED CONDITION).
6. PETITIONER IS ADVISED THAT NO ADDITIONAL TIME EXTENSIONS WILL BE GRANTED.

BENCHMARKS

HOWARD COUNTY BENCHMARK 48AA
N 539,314.900 E 1,371,539.251 ELEV.: 240.78'
HOWARD COUNTY BENCHMARK 43HA
N 540,761.716 E 1,373,837.365 ELEV.: 224.89'

LEGEND



VICINITY MAP
SCALE: 1"=2000'
ADC MAP: 5054 G4

COORDINATE TABLE

Table with columns: POINT, NORTHING, EASTING. Lists coordinate points for various features on the site.

SHEET INDEX

Table with columns: DESCRIPTION, SHEET NO. Lists sheet numbers for cover sheet, layout plan, storm drain, etc.

PARKING TABULATION

Table with columns: REQUIRED, PROVIDED. Shows parking space requirements and provided spaces for various vehicle types.

OWNER/DEVELOPER

M/LW,LLLC
C/O MICHAEL LEVITAS
8040 WASHINGTON BLVD.
JESSUP, MD 20794
TPCRACING@GMAIL.COM

SITE DEVELOPMENT PLAN COVER SHEET

TPC RACING
7869 DORSEY RUN ROAD
JESSUP, MD 20794
L. 16140 / F. 00371
ZONED: M-2
PARCEL 108-B
HOWARD COUNTY, MARYLAND

Vogel Engineering

TIMMONS GROUP
3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043
P: 410.461.7666 F: 410.461.8961 www.timmons.com

Professional Certificate section with signature of Robert A. Vogel, PE No. 16193, and project details.

Approved by: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING. Includes signature of Chad Edmondson and date 3/30/2022.

SWM PRACTICE CHART PARCEL 108-B

Table with columns: LOT #, SWM PRACTICE, ADDRESS. Lists SWM practices for Parcel 108-B.

PERMIT INFORMATION CHART

Table with columns: SUBDIVISION NAME, SECTION/AREA, PARCEL NUMBER, etc. Provides permit details for Jessup Park.

TEAM DORSEY, LLC.  
TM 43, PARCEL 108-A  
L.18997/F.00119  
ZONED: M-2  
USE: INDUSTRIAL  
4.81 AC

JESSUP PROPERTIES, LLC.  
TM 43, PARCEL 109-A  
PLAT 17384  
L.15466/F.00089  
JESSUP PARK  
SDP-99-161  
ZONED: M-2  
USE: INDUSTRIAL

### DORSEY RUN ROAD

COUNTY ROAD  
MAJOR COLLECTOR  
80' RIGHT-OF-WAY

**PROPOSED BUILDING**  
38,600 SF  
FF=222.00  
MSSE=219.08

MLWL, LLC  
TM 43, PARCEL 108-B  
L.18934/F.00305  
ZONED: M-2  
USE: INDUSTRIAL  
4.0055 AC

HOWARD COUNTY, MD  
TM 43, PARCEL 328  
L.9666/F.609  
ZONED: M-2  
USE: EXEMPT COMMERCIAL

DRR DEVELOPMENT LLC  
C/O TRANSWESTERN  
TM 43, PARCEL 109-B  
L.15501/F.00250  
JESSUP PARK  
SDP-09-021  
ZONED: M-2  
USE: INDUSTRIAL  
F-13-117

**OWNER/DEVELOPER**  
MLWL, LLC  
C/O MICHAEL LEVITAS  
8040 WASHINGTON BLVD.  
JESSUP, MD 20794  
(410) 799-7223  
TPCRACING@GMAIL.COM

#### LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- ADJACENT PROPERTY LINE
- EXISTING STREAM
- EXISTING STREAM BANK
- EXISTING CURB AND GUTTER
- EXISTING TREELINE
- EXISTING TREES
- PROPOSED CURB AND GUTTER
- PROPOSED STORM DRAIN
- PROPOSED STORM INLET
- EXISTING WETLANDS
- EX. FOREST CONSERVATION EASEMENT (RETENTION) (PLAT # 22345 - L.5287/F.683 & PLAT 21049, 22484 & 22485 - L.15501/F.00250)
- EX. FOREST CONSERVATION EASEMENT (RESTORATION) (PLAT # 22345 - L.5287/F.683)
- PROPOSED STORMWATER FACILITY
- P-1 PAVING SECTION
- P-2 PAVING SECTION
- P-4 PAVING SECTION
- EXISTING PUBLIC WATER & UTILITY EASEMENT (CAPITAL PROJECT J-4148-C)
- EXISTING 10' PRIVATE LANDSCAPE BUFFER (PLAT #10826) SDP-09-021
- ADA ACCESSIBLE PATH

#### NOTES:

- CONTRACTOR SHALL INSTALL 4" PVC, SCHEDULE 80, CONDUIT WITH PUL STRING, UNDER BOTH NEW DRIVEWAY AREAS TO CONNECT EXISTING STREET LIGHT CABLE.
- CONTRACTOR SHALL CONTACT HOWARD COUNTY TRAFFIC DIVISION (410-313-5752 OR 410-313-2430) TO ARRANGE TO HAVE BGE DISCONNECT THE EXISTING STREET LIGHT CABLE PRIOR TO EXCAVATING THE NEW DRIVEWAY AREAS.
- KNOX BOX SHALL BE PLACED ON THE ADDRESS SIDE OF THE BUILDING, TO THE RIGHT OF THE MAIN ENTRANCE.
- ALL WORK ON PUBLIC RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH GENERAL NOTE #4B ON SHEET 1 OF 21

#### LAYOUT PLAN

SCALE: 1"=30'  
SCALE: 1"=30'

NOTE: SEE SHEET 14 FOR OFFSET CONSTRUCTION DETAIL.

APPROVED: HOWARD COUNTY DEPARTMENT OF PLANNING AND ZONING

*Head* 3/30/2022

CHIEF DEVELOPMENT ENGINEERING DIVISION DATE 3/30/2022

CHIEF DIVISION OF LAND DEVELOPMENT DATE 3/30/2022

DIRECTOR DATE

**SITE DEVELOPMENT PLAN**  
**LAYOUT PLAN**  
**TPC RACING**  
7869 DORSEY RUN ROAD  
JESSUP, MD 20794  
L. 16140 / F. 00371

TAX MAP 43 GRID 22  
1ST ELECTION DISTRICT

ZONED: M-2  
PARCEL 108-B  
HOWARD COUNTY, MARYLAND

**VOGEL ENGINEERING**

**TIMMONS GROUP**

3300 NORTH RIDGE ROAD, SUITE 110, ELLICOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

DESIGN BY: GAH/OB  
DRAWN BY: GAH/OB  
CHECKED BY: RHV  
DATE: SEPTEMBER 2021  
SCALE: AS SHOWN  
W.O. NO.: 04-76/43575

PROFESSIONAL CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 16193, EXPIRATION DATE 08-27-2022.

3 SHEET OF 22