

Bureau of Environmental Health
8930 Stanford Boulevard, Columbia, MD 21045
Main: 410-313-2640 | Fax: 410-313-2648
TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: _____ ONSITE SEWAGE DISPOSAL SYSTEM P _____

APPROVAL DATE: _____ PERMIT: REPAIR A _____

PROPERTY ADDRESS: 10408 Guilford Rd, Jessup, MD 20794

SUBDIVISION: _____ LOT: _____ TAX ID: _____

CONTRACTOR: Fogle's Septic Clean EMAIL: _____

CONTRACTOR ADDRESS: 580 Obrecht Rd, Sykesville, MD 21784 PHONE: 410-795-5670

PROPERTY OWNER: Kenny Santos EMAIL: _____

OWNER ADDRESS: Santos Realty LLC, 10772 Tucker St, Beltsville, MD 20705 PHONE: 240-882-8144

SEPTIC TANK SIZE (GALLONS): 1500 PUMP CHAMBER CAPACITY (GALLONS): 1250 PUMP SIZE: 1/2 HP

NUMBER OF BEDROOMS: 2 HOUSE SQ. FT. _____ APPLICATION RATE: 0.8

DISTRIBUTION SYSTEM: GRAVITY FED [X] LOW PRESSURE DOSED []

Table with 2 columns: TRENCHES, LOCATION, NOTES. TRENCHES includes LINEAR FEET REQUIRED (69'), INLET DEPTH (3'), TRENCH WIDTH (3'), MAXIMUM BOTTOM DEPTH (6'), MINIMUM SPACE BETWEEN TRENCHES (10'), EFFECTIVE AREA BEGINNING DEPTH (3.5'). LOCATION: TO BE STAKED BY SANITARIAN DURING PRE-CONSTRUCTION INSPECTION.

ISSUED BY: Susan Thomas ISSUE DATE: _____ EXPIRATION DATE: _____

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
NOTE: WATERTIGHT SEPTIC TANKS REQUIRED
NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
NOTE: THE HCHD DOES NOT WARRANTY ANY SYSTEM AND CANNOT GUARANTEE THE PERFORMANCE OF THIS SYSTEM AS DESIGNED. BY ACCEPTING THIS PERMIT, THE OWNER AND/OR APPLICANT ACKNOWLEDGE THAT THE SPECIFICATIONS DETAILED IN THIS DESIGN ARE ONE POSSIBLE OPTION AND THAT THE HCHD WILL REVIEW OTHER PROPOSALS. YOU HAVE THE OPTION TO SEEK THE ADVICE OF A QUALIFIED DESIGN CONSULTANT OR PROFESSIONAL ENGINEER FOR FURTHER GUIDANCE.
NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.
PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.
CALL 410-313-1771 TO SCHEDULE INSPECTIONS.



A & V Septic Services, LLC
 222 Old Magothy Bridge Road
 Pasadena, MD 21122
 443-300-3333
 avsepticsservices@gmail.com

INVOICE

BILL TO
 Santos
 10416 Guilford Road
 Jessup, MD 20794

INVOICE # 2885
DATE 03/03/2022
DUE DATE 03/03/2022
TERMS Due on receipt

DATE	DESCRIPTION	QTY	RATE	AMOUNT
03/03/2022	Septic Tank Cleaning	1	300.00	300.00

PAID

Thank you for your business!
 Review us on Google & Facebook.

PAYMENT 300.00
BALANCE DUE **\$0.00**


Transaction 000717

Total **\$300.00**

CREDIT CARD SALE \$300.00
 MASTERCARD 4191

03-Mar-2022 3:10:00P
 \$300.00 | Method: KEYED
 MASTERCARD
 XXXXXXXXXXXXX4191
 MANUALLY ENTERED
 Reference ID: 206200500438
 Auth ID: 08079J
 MID: *****9882
 ATHNWKNM: MASTERCARD

Payment V\$1CSW2Q86JAY
 Clover Privacy Policy
<https://clover.com/privacy>



A & V SEPTIC SERVICES, LLC

222 OLD MAGOTHY BRIDGE R
 PASADENA, MD 21122
 4433003333

Fogle's Septic Clean, Inc.
Sykesville, MD 21784

Invoice Date 4/1/2021 **Invoice #** 321090

INVOICE

PLEASE PAY **\$300.00**
THIS AMOUNT

Make checks payable to: **Fogle's Septic Clean, Inc.**

Bill To:
 KENNY SANTOS
 10412 GUILFORD RD
 JESSUP, MD 20794

Service Address
 10416 GUILFORD RD
 RENTAL

Phone # 410-795-5670

Fogle's Septic Clean, Inc.
 580 Obrecht Road
 Sykesville, MD 21784

PLEASE DETACH AND RETURN TOP PORTION WITH PAYMENT

P.O. No.	Due Date	Rep	Ship Date
	4/1/2021	JWB	3/31/2021

Description	Qty	Rate	Amount
PUMP SEPTIC		300.00	300.00

Thank you for your business. 1.5% interest will be charged monthly on all unpaid balances after 30 days. \$30 CHARGE FOR RETURNED CHECK. RECEIPT DATE STAMPS ARE STRICTLY ENFORCED for ALL DISCOUNTS. Billing Questions - call 410-795-5670	Total	\$300.00
	Payments/Credits	\$0.00
	Customer Total Balance	\$900.00

Fogle's Septic Clean, Inc.
Sykesville, MD 21784

Invoice Date 4/1/2021 Invoice # 321106

INVOICE

PLEASE PAY THIS AMOUNT \$300.00

Make checks payable to: **Fogle's Septic Clean, Inc.**

Bill To:
 KENNY SANTOS
 10412 GUILFORD RD
 JESSUP, MD 20794

Service Address
 10408 GUILFORD RD
 RENTAL

Phone # 410-795-5670

Fogle's Septic Clean, Inc.
 580 Obrecht Road
 Sykesville, MD 21784

PLEASE DETACH AND RETURN TOP PORTION WITH PAYMENT

P.O. No.	Due Date	Rep	Ship Date
	4/1/2021	JWB	3/31/2021

Description	Qty	Rate	Amount
PUMP SEPTIC		300.00	300.00

Thank you for your business.	Total	\$300.00
1.5% interest will be charged monthly on all unpaid balances after 30 days. \$30 CHARGE FOR RETURNED CHECK. RECEIPT DATE STAMPS ARE STRICTLY ENFORCED for ALL DISCOUNTS. Billing Questions - call 410-795-5670	Payments/Credits	\$0.00
	Customer Total Balance	\$900.00

SANTOS REALTY LLC

5240

Fogle's septic services					4/1/2021	
Date	Type	Reference	Original Amt.	Balance Due	Discount	Payment
4/1/2021	Bill		600.00	600.00		600.00
					Check Amount	600.00

Santos Realty LLC	10416 & 10408 GUILFORD RD JESSUP INV#	600.00
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SANTOS REALTY LLC

5240

Fogle's septic services					4/1/2021	
Date	Type	Reference	Original Amt.	Balance Due	Discount	Payment
4/1/2021	Bill		600.00	600.00		600.00
					Check Amount	600.00

Santos Realty LLC	10416 & 10408 GUILFORD RD JESSUP INV#	600.00
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Fogle's Septic Clean, Inc.
Sykesville, MD 21784

Invoice Date 5/10/2021 **Invoice #** 322375

INVOICE

PLEASE PAY THIS AMOUNT \$300.00

Make checks payable to: **Fogle's Septic Clean, Inc.**

Bill To:
 KENNY SANTOS
 10412 GUILFORD RD
 JESSUP, MD 20794

Service Address
 10416 GUILFORD RD
 RENTAL

Phone # 410-795-5670

Fogle's Septic Clean, Inc.
 580 Obrecht Road
 Sykesville, MD 21784

PLEASE DETACH AND RETURN TOP PORTION WITH PAYMENT

P.O. No.	Due Date	Rep	Ship Date
	5/10/2021	DEH	5/7/2021

Description	Qty	Rate	Amount
PUMP SEPTIC		300.00	300.00

Thank you for your business.	Total	\$300.00
1.5% interest will be charged monthly on all unpaid balances after 30 days. \$30 CHARGE FOR RETURNED CHECK. RECEIPT DATE STAMPS ARE STRICTLY ENFORCED for ALL DISCOUNTS. Billing Questions - call 410-795-5670	Payments/Credits	\$0.00
	Customer Total Balance	\$300.00

Thomas, Susan

From: KENNY <kennysantos@verizon.net>
Sent: Tuesday, May 11, 2021 10:29 AM
To: Thomas, Susan
Subject: Fw: Invoice 322375 from Fogle's Septic Clean, Inc.
Attachments: Inv_322375_from_Fogles_Septic_Clean_Inc_8624.pdf

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Susan , the other tank was not full yet

----- Forwarded Message -----

From: Kim Fogle <kim@foglesinc.com>
To: kennysantos@verizon.net <kennysantos@verizon.net>
Sent: Tuesday, May 11, 2021, 10:27:32 AM EDT
Subject: Invoice 322375 from Fogle's Septic Clean, Inc.

Fogle's Septic Clean, Inc.

Invoice *Due:05/10/2021*
322375

Amount Due: **\$300.00**

Dear KENNY SANTOS :

Your invoice is attached. Please remit payment at your earliest convenience.

Thank you for your business - we appreciate it very much.

Sincerely,

Fogle's Septic Clean, Inc.
410-795-5670



Fogle's Septic Clean, Inc.
Sykesville, MD 21784

Invoice Date
8/4/2021

Invoice #
325019

INVOICE

PLEASE PAY THIS AMOUNT \$0.00

Make checks payable to: **Fogle's Septic Clean, Inc.**

PAID 08/11/2021

Bill To:

KENNY SANTOS
 10412 GUILFORD RD
 JESSUP, MD 20794

Service Address

10416 GUILFORD RD
 RENTAL

Phone # 410-795-5670

Fogle's Septic Clean, Inc.
 580 Obrecht Road
 Sykesville, MD 21784

PLEASE DETACH AND RETURN TOP PORTION WITH PAYMENT

P.O. No.	Due Date	Rep	Ship Date
	8/4/2021	DEH	8/3/2021

Description	Qty	Rate	Amount
PUMP SEPTIC		300.00	300.00

Thank you for your business. 1.5% interest will be charged monthly on all unpaid balances after 30 days. \$30 CHARGE FOR RETURNED CHECK. RECEIPT DATE STAMPS ARE STRICTLY ENFORCED for ALL DISCOUNTS. Billing Questions - call 410-795-5670	Total	\$300.00
	Payments/Credits	-\$300.00
	Customer Total Balance	\$0.00

Fogle's Septic Clean, Inc.
Sykesville, MD 21784

Invoice Date
6/21/2021

Invoice #
323664

INVOICE

*PLEASE PAY
THIS AMOUNT* \$300.00

Make checks payable to: **Fogle's Septic Clean, Inc.**

Bill To:

KENNY SANTOS
 10412 GUILFORD RD
 JESSUP, MD 20794

Service Address

10408 GUILFORD RD
 RENTAL

Phone # 410-795-5670

Fogle's Septic Clean, Inc.
 580 Obrecht Road
 Sykesville, MD 21784

PLEASE DETACH AND RETURN TOP PORTION WITH PAYMENT

P.O. No.	Due Date	Rep	Ship Date
	6/21/2021	DEH	6/18/2021

Description	Qty	Rate	Amount
PUMP SEPTIC WILL SEND BILL		300.00	300.00

Thank you for your business.	Total	\$300.00
1.5% interest will be charged monthly on all unpaid balances after 30 days. \$30 CHARGE FOR RETURNED CHECK. RECEIPT DATE STAMPS ARE STRICTLY ENFORCED for ALL DISCOUNTS. Billing Questions - call 410-795-5670	Payments/Credits	\$0.00
	Customer Total Balance	\$600.00

Fogle's Septic Clean, Inc.
Sykesville, MD 21784

Invoice Date
6/21/2021

Invoice #
323665

INVOICE

*PLEASE PAY
THIS AMOUNT* \$300.00

Make checks payable to: **Fogle's Septic Clean, Inc.**

Bill To:

KENNY SANTOS
 10412 GUILFORD RD
 JESSUP, MD 20794

Service Address

10416 GUILFORD RD
 RENTAL

Phone # 410-795-5670

Fogle's Septic Clean, Inc.
 580 Obrecht Road
 Sykesville, MD 21784

PLEASE DETACH AND RETURN TOP PORTION WITH PAYMENT

P.O. No.	Due Date	Rep	Ship Date
	6/21/2021	DEH	6/18/2021

Description	Qty	Rate	Amount
PUMP SEPTIC		300.00	300.00

Thank you for your business.	Total	\$300.00
1.5% interest will be charged monthly on all unpaid balances after 30 days. \$30 CHARGE FOR RETURNED CHECK. RECEIPT DATE STAMPS ARE STRICTLY ENFORCED for ALL DISCOUNTS. Billing Questions - call 410-795-5670	Payments/Credits	\$0.00
	Customer Total Balance	\$600.00

Fogle's Septic Clean, Inc.

Sykesville, MD 21784

Invoice Date
10/6/2021

Invoice #
326856

INVOICE

*PLEASE PAY
THIS AMOUNT*

\$300.00

Make checks payable to: **Fogle's Septic Clean, Inc.**

Bill To:

KENNY SANTOS
10412 GUILFORD RD
JESSUP, MD 20794

Service Address

KENNY SANTOS
10412 GUILFORD RD
JESSUP, MD 20794

Phone # 410-795-5670

Fogle's Septic Clean, Inc.
580 Obrecht Road
Sykesville, MD 21784

PLEASE DETACH AND RETURN TOP PORTION WITH PAYMENT

P.O. No.	Due Date	Rep	Ship Date
	10/6/2021	DEH	10/5/2021

Description	Qty	Rate	Amount
EMERGENCY PUMPING \$150 PAID DIRECTLY TO DRIVER FAILING SYSTEM		300.00	300.00

	Total	\$300.00
1.5% interest will be charged monthly on all unpaid balances after 30 days. \$30 CHARGE FOR RETURNED CHECK. RECEIPT DATE STAMPS ARE STRICTLY ENFORCED for ALL DISCOUNTS. Billing Questions - call 410-795-5670	Payments/Credits	\$0.00
	Customer Total Balance	\$750.00

Fogle's Septic Clean, Inc.
Sykesville, MD 21784

Invoice Date
 11/3/2021

Invoice #
 327659

INVOICE

*PLEASE PAY
 THIS AMOUNT* \$300.00

Make checks payable to: **Fogle's Septic Clean, Inc.**

Bill To:

KENNY SANTOS
 10412 GUILFORD RD
 JESSUP, MD 20794

Service Address

10416 GUILFORD RD
 RENTAL

Phone # 410-795-5670

Fogle's Septic Clean, Inc.
 580 Obrecht Road
 Sykesville, MD 21784

PLEASE DETACH AND RETURN TOP PORTION WITH PAYMENT

P.O. No.	Due Date	Rep	Ship Date
	11/3/2021	BDB	11/2/2021

Description	Qty	Rate	Amount
PUMP SEPTIC		300.00	300.00

Thank you for your business.	Total	\$300.00
1.5% interest will be charged monthly on all unpaid balances after 30 days. \$30 CHARGE FOR RETURNED CHECK. RECEIPT DATE STAMPS ARE STRICTLY ENFORCED for ALL DISCOUNTS. Billing Questions - call 410-795-5670	Payments/Credits	\$0.00
	Customer Total Balance	\$300.00



A & V Septic Services, LLC
222 Old Magothy Bridge Road
Pasadena, MD 21122
443-300-3333
avsepticsservices@gmail.com

INVOICE

BILL TO

Santos
10416 Guilford Road
Jessup, MD 20794

INVOICE # 2755

DATE 01/07/2022

DUE DATE 01/07/2022

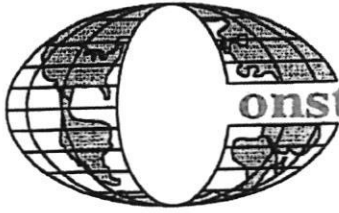
TERMS Due on receipt

DATE	DESCRIPTION	QTY	RATE	AMOUNT
01/07/2022	Septic Tank Cleaning	1	300.00	300.00

Thank you for your business!
Review us on Google & Facebook.

PAID

PAYMENT 300.00
BALANCE DUE **\$0.00**



Construction Services International, Inc.

P.O. Box 12, Harleysville, Pennsylvania 19438

27 February 2023

Mr. Kenny Santos
Santos Realty, LLC.
10772 Tucker Street
Beltsville, MD 20705

Reference: **Disposition of Septic Tanks**
10408, 10412, 10416 Guilford Road, Jessup, Howard County, Maryland

Dear Kenny:

Pursuant to your request, Construction Services International Inc. (CSI) has prepared the following Septic Tank Removal Information for the properties referenced above:

10408 Guilford Road:

Septic Tank Information: 1,250 Gal Dual Compartment Tank
Date Cleaned Out: 02/06/23
Cleaning Company: A&V Septic Services, LLC (See attached Invoice)
Removal Date: 02/06/23
Tank Removed by: Construction Services International, Inc. (Utility Contractor #UTL09313)
Tank Disposition: Tank Salvaged and left for Owner (See attached Photo). Cavity filled with on-site dirt
Connected to Public Sewer: 02/06/23

10412 Guilford Road:

Septic Tank Information: 1,250 Gal Dual Compartment Tank
Date Cleaned Out: 02/06/23
Cleaning Company: A&V Septic Services, LLC (See attached Invoice)
Closure Date: 02/07/23
Tank Removed by: Construction Services International, Inc. (Utility Contractor #UTL09313)
Tank Disposition: Tank top removed and cavity filled with #57 Stone due to location in existing asphalt parking lot
Connected to Public Sewer: 02/07/23

Construction Services International, Inc.

Mr. Kenny Santos
Santos Realty, LLC.

Disposition of Septic Tanks

10408, 10412, 10416 Guilford Road, Jessup, Howard County, Maryland

27 February 2023

Page Two (2)

10416 Guilford Road:

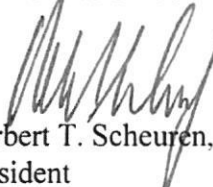
Septic Tank Information: 1,500 Gal Dual Compartment Holding Tank
Date Cleaned Out: 02/06/23
Cleaning Company: A&V Septic Services, LLC (See attached Invoice)
Closure Date: 02/06/23
Tank Removed by: Construction Services International, Inc. (Utility Contractor #UTL09313)
Tank Disposition: Tank Salvaged and left for Owner (See attached Photo). Cavity filled with on-site dirt.
Connected to Public Sewer: 02/06/23

I hereby certify the information provided herein is true and correct.

Should you have any questions, please do not hesitate to contact me at 215-852-9578 (M)

Respectfully submitted,

CONSTRUCTION SERVICES INTERNATIONAL, INC.


Herbert T. Scheuren, Jr.
President

attachments



A & V Septic Services, LLC
222 Old Magothy Bridge Road
Pasadena, MD 21122
443-300-3333
avsepticervices@gmail.com

INVOICE

BILL TO

Mr. Herb Scheurn
Mr. Jeffery Ruth
Guilford Rd
Jessup, MD 20794

INVOICE # 3805

DATE 02/06/2023

DUE DATE 02/06/2023

TERMS Due on receipt

DATE	DESCRIPTION	QTY	RATE	AMOUNT
02/07/2023	Septic Tank Cleaning of 3 septic tanks	1	600.00	600.00
Thank you for your business!				
Review us on Google & Facebook.				
PAYMENT				600.00
BALANCE DUE				\$0.00

PAID

Real Property Data Search (w2)

Search Result for HOWARD COUNTY

View Map	View GroundRent Redemption	View GroundRent Registration
Special Tax Recapture: None		
Account Identifier:		District - 06 Account Number - 390552
Owner Information		
Owner Name:	ALLEN JACQUELINE C ALLEN BERNARD CALVIN	Use: Principal Residence:
Mailing Address:	2210 RIDING CROP WAY BALTIMORE MD 21244-	COMMERCIAL/RESIDENTIAL NO Deed Reference: /16091/ 00132
Location & Structure Information		
Premises Address:	10408 GUILFORD RD JESSUP 20794-0000	Legal Description: 3.870 AR 10408 GUILFORD RD JESSUP
Map:	Grid:	Parcel:
0048	0007	0087
Neighborhood:	Subdivision:	Section:
20000.14	0000	
Block:	Lot:	Assessment Year:
		2020
Plat No:	Plat Ref:	
Town: None		
Primary Structure Built	Above Grade Living Area	Finished Basement Area
1931	1,980 SF	
Property Land Area	County Use	
3.8700 AC		
Stories	Basement	Type
		MULTIPLE RESIDENCE
Exterior	Quality	Full/Half Bath
/	C3	
Garage	Last Notice of Major Improvements	
Value Information		
	Base Value	Value
		As of
		01/01/2020
Land:	258,000	258,000
Improvements	59,700	134,000
Total:	317,700	392,000
Preferential Land:	0	0
		Phase-in Assessments
		As of
		07/01/2020
		As of
		07/01/2021
		342,467
		367,233
Transfer Information		
Seller: ALLEN HENRY S	Date: 03/25/2015	Price: \$0
Type: NON-ARMS LENGTH OTHER	Deed1: /16091/ 00132	Deed2:
Seller: ALLEN CHARLES	Date: 09/28/1992	Price: \$0
Type: ARMS LENGTH IMPROVED	Deed1: /02642/ 00371	Deed2:
Seller: ALLEN CHARLES	Date: 06/06/1991	Price: \$0
Type: NON-ARMS LENGTH OTHER	Deed1: /02339/ 00426	Deed2:
Exemption Information		
Partial Exempt Assessments:	Class	
County:	000	07/01/2020
State:	000	0.00
Municipal:	000	0.00
		07/01/2021
		0.00 0.00
		0.00 0.00
Special Tax Recapture: None		
Homestead Application Information		
Homestead Application Status: Denied		
Homeowners' Tax Credit Application Information		
Homeowners' Tax Credit Application Status: No Application		Date:

1. This screen allows you to search the Real Property database and display property records.
2. Click [here](#) for a glossary of terms.
3. Deleted accounts can only be selected by Property Account Identifier.



HOWARD COUNTY HEALTH DEPARTMENT

71536

DATE
5 / 14 / 22

Received From

Togles Septic Clean Inc PHONE # 410-795-1535

For

Septic Repair (Holding Tanks) 10411
Gulford Road

CASH

CHECK

NO.

75676

One hundred sixty five ⁰⁰/₁₀₀ Dollars

\$

165 | 00

Received By

[Signature]



Bureau of Environmental Health
 8930 Stanford Blvd | Columbia, MD 21045
 410.313.2640 - Voice/Relay
 410.313.2648 - Fax
 1.866.313.6300 - Toll Free

P571536

Maura J. Rossman, M.D., Health Officer

INFORMATION FORM - SEPTIC SYSTEM REPAIR/UPGRADE

Reason for Request:

- Failing System
- System relocation for proposed addition
- System upgrade for proposed addition
- Inadequate treatment zone
- Collapsed septic tank
- Collapsed drywell

Has the septic tank been pumped within the last month?

Yes Date pumped: _____
 No

Was a visual inspection of the septic tank and/or drain fields conducted?

Yes Explain observation: _____
 No

Existing system design

- Drywell
- Trench
- Mound
- Unknown
- Other: Holding tanks

Was a visual inspection of the sewage line conducted?

Yes
 No

Blockage Leading to the field

Yes Explain _____
 No

Is discharge surfacing on the ground?

Yes
 No

Additional Comments:

Per Susan w/HEAD Holding tanks are required

*For REPAIRS, are the owners proposing, or do they plan to add in the future any additions or modifications to the property, i.e. pools, living space additions, garages, etc? This information must be disclosed at the time of this application. The Health Department will not be able to accommodate requests in the field for property modifications unrelated to the repair request. Such requests may require an additional fee, testing, and submittal of a Percolation Certification Plan, if the property does not meet current Code and Regulations.

Septic Contractor: Fogle's Septic Contractor's Phone: 410-795-5670
 Contractor's Address: 580 Obrecht Rd Sykesville 21784
 Property Address: 10416 Guilford Rd County File: 390544
 Subdivision: N/A Lot: _____ Year Built: ?
 Owner's Name: Kenny Santos Existing bedrooms: _____
 Name of previous owners: _____ Existing bedrooms: _____
 Proposed bedrooms: _____

*A Sanitarian will be in contact within three business days, depending upon the urgency of the situation, to coordinate the scheduling/review of the repair or upgrade.
 Prior to scheduling inspections, scaled plans should be submitted to clarify the nature of the addition.
 Print out a copy of Real Property Data via Dept. of Taxation website _____ Indexed file found _____
 If soil/site conditions are limited and sewer and/or Metro District status is not conducive to connection, the Sanitarian may recommend pursuit of Emergency Sewer Extension or Emergency Metro District Inclusion. The Owner should contact the Bureau of Utilities for details.
 No permit is to be issued nor inspection to be scheduled without prior fee collection at the office unless an emergency exists.
 The contractor is to notify the office of the emergency as soon as possible.

2/2020

WS-P-APP-22-0018

RECEIPT

Howard County, MD
HOWARD COUNTY HEALTH DEPARTMENT
ASCEND ONE BUILDING
Columbia, MD 21045
8930 STANFORD BLVD

Application: WS-SP-APP-22-00118
Application Type: EnvHealth/Well and Septic/Sewage Disposal System/Application
Address: 10416 Guilford RD,

Receipt No.	3837					
Payment Method	Ref Number	Amount Paid	Payment Date	Cashier ID	Received	Comments
Check	71536	\$165.00	05/06/2022	JUKING		Septic Repair/ 10416 Guilford Rd

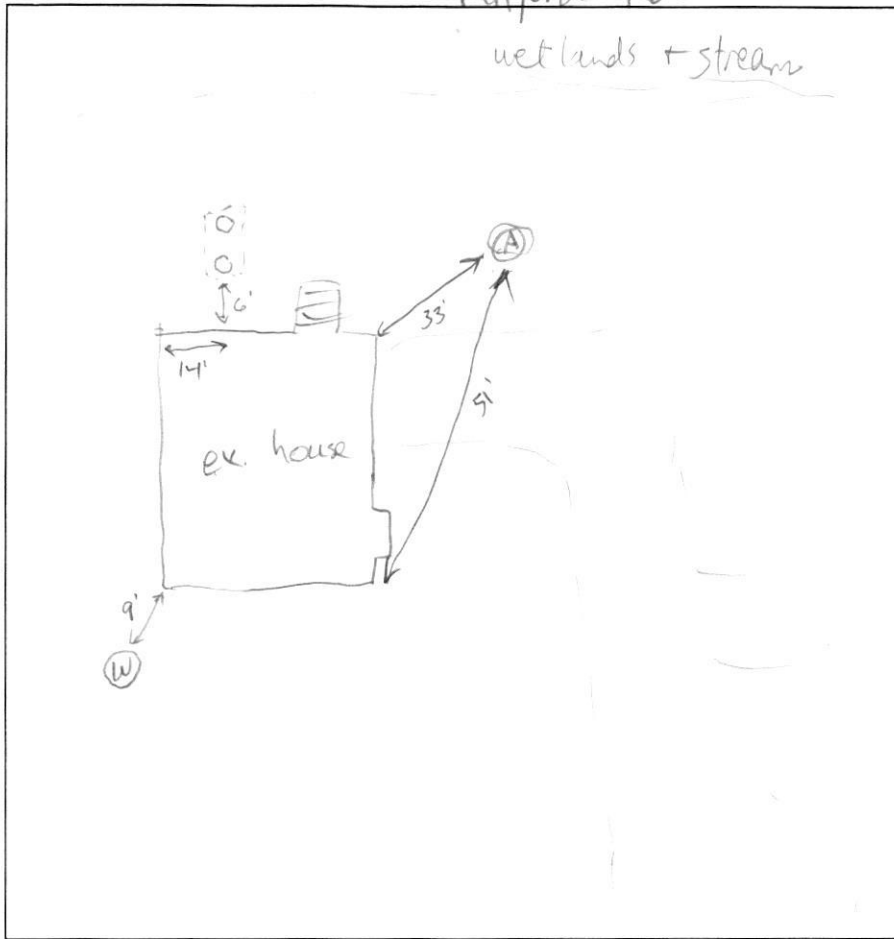
Work Description: Septic Repair/ 10416 Guilford Rd

10416 Guilford Rd

AVP _____

wetlands + streams

5" (A)
 topsoil
 7.5YR 4/6,
 LS, coarse,
 SBK, mica
 20" extreme
 redox gley
 depletion,
 water



DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
5/26/22	NOT	TESTED -	REDOX AND	WATER	AT 20"	-	F

REMARKS EXTREME REDOX (GLEYSING) water at 20". Well arc takes up entire lot
 SANITARIAN Susan Thomas BACKHOE Matt OTHERS _____
 TEST HOLES USED IN SDA 1 AVG. PERC TIME N/A SQ. FT/BR _____
 TRENCH WIDTH N/A INLET DEPTH _____ MAX. BOT DEPTH _____ EFFECTIVE SW _____
 * RECOMMEND HOLDING TANK *



HOWARD COUNTY HEALTH DEPARTMENT

71537

DATE 5/4/22

p5

Received From

Forges Septic Clean Inc.

PHONE #

410-795-5335

For

Septic Perc/Repair - 10408 Guilford Road

CASH

CHECK

NO.

75675

Three hundred thirty

00/100 Dollars

\$

330 | 00

Received By

J.H. [Signature]



Bureau of Environmental Health
 8930 Stanford Blvd | Columbia, MD 21045
 410.313.2640 - Voice/Relay
 410.313.2648 - Fax
 1.866.313.6300 - Toll Free

Maura J. Rossman, M.D., Health Officer

INFORMATION FORM - SEPTIC SYSTEM REPAIR/UPGRADE

Reason for Request:

- Failing System
- System relocation for proposed addition
- System upgrade for proposed addition
- Inadequate treatment zone
- Collapsed septic tank
- Collapsed drywell

Has the septic tank been pumped within the last month?

Yes Date pumped: 4/2021
 No

Was a visual inspection of the septic tank and/or drain fields conducted?

Yes Explain observation: _____
 No

Existing system design

- Drywell
- Trench
- Mound
- Unknown
- Other: _____

Was a visual inspection of the sewage line conducted?

Yes
 No

Blockage Leading to the field

Yes Explain _____
 No

Is discharge surfacing on the ground?

Yes
 No

Additional Comments:

Commercial Property

*For REPAIRS, are the owners proposing, or do they plan to add in the future any additions or modifications to the property, i.e. pools, living space additions, garages, etc? This information must be disclosed at the time of this application. The Health Department will not be able to accommodate requests in the field for property modifications unrelated to the repair request. Such requests may require an additional fee, testing, and submittal of a Percolation Certification Plan, if the property does not meet current Code and Regulations.

Septic Contractor: Fogle's Septic Clean Contractor's Phone: 410.795.5670
 Contractor's Address: 580 Obrecht Rd Sykesville 21784
 Property Address: 10408 Guilford Rd County File: 390552
 Subdivision: N/A Lot: _____ Year Built: 1931
 Owner's Name: Kenny Santos Existing bedrooms: _____
 Name of previous owners: Allen Jacqueline Existing bedrooms: _____
 Proposed bedrooms: _____

*A Sanitarian will be in contact within three business days, depending upon the urgency of the situation, to coordinate the scheduling/review of the repair or upgrade.

Prior to scheduling inspections, scaled plans should be submitted to clarify the nature of the addition.

Print out a copy of Real Property Data via Dept. of Taxation website _____ Indexed file found _____

If soil/site conditions are limited and sewer and/or Metro District status is not conducive to connection, the Sanitarian may recommend pursuit of Emergency Sewer Extension or Emergency Metro District Inclusion. The Owner should contact the Bureau of Utilities for details.

No permit is to be issued nor inspection to be scheduled without prior fee collection at the office unless an emergency exists.

The contractor is to notify the office of the emergency as soon as possible.

2/2020

WS-SP-APP-22-00117



Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Phone: 410-313-2640 Fax: 410-313-2548

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hchohealth

Twitter: HowardCoHealthDep

Maura J. Rossman, M.D., Health Officer

9511531

APPLICATION

FOR PERCOLATION TESTING AND SITE EVALUATION

PROPERTY LOCATION

SUBDIVISION/PROPERTY NAME

PROPERTY ADDRESS

10408 Guilford Rd

Jessup

20794

TAX ACCOUNT #

390552

TAX MAP

48

GRID

7

PARCEL

87

LOT NO.

PROPOSED LOT

SIZE (ACRES)

3.870

ZONING CATEGORY

TIER

PROPERTY OWNER(S)

Renny Santos

DAYTIME PHONE

240-882-8144

CELL

EMAIL

MAILING ADDRESS

10772 Tucker St

Beltsville

20705

APPLICANT

Fogle's Septic

RELATIONSHIP TO OWNER:

Contractor

DAYTIME PHONE

410-795-5170

CELL

EMAIL

Rim@foglesinc.com

MAILING ADDRESS

580 Obrecht Rd

Sykesville

21784

I HEREBY APPLY FOR THE NECESSARY TESTING/EVALUATION PRIOR TO ISSUANCE OF SEWAGE DISPOSAL SYSTEM PERMIT(S):

PROPERTY:

- PROPERTY: SUBDIVISION: NUMBER OF LOTS INCLUDING RESIDUE: SUBDIVISION CLASSIFICATION (PER DEPT. OF PLANNING AND ZONING) MAJOR MINOR CONSTRUCT NEW OSDS ON UNDEVELOPED LOT REPAIR OR REPLACE FAILING OSDS UPGRADE EXISTING OSDS

BUILDING:

- BUILDING: RESIDENTIAL WITH EXISTING OR PROPOSED BEDROOMS IN THE COMPLETED STRUCTURE COMMERCIAL (PROVIDE DETAIL OF TYPE OF USE AND NUMBERS OF EMPLOYEES/CUSTOMERS ON ACCOMPANYING PLAN)

IS THE PROPERTY WITHIN 2500 FEET OF ANY RESERVOIR?

- YES NO

AS APPLICANT, I UNDERSTAND THE FOLLOWING:

- THIS APPLICATION IS VALID FOR TWO (2) YEARS FROM DATE OF FEE PAYMENT AND APPROVAL IS BASED UPON HEALTH OFFICER SIGNATURE OF A PERC CERTIFICATION PLAN PRIOR TO EXPIRATION OF THIS PERMIT. THE APPLICATION FEE IS NON-REFUNDABLE. THIS APPLICATION MUST BE ACCOMPANIED BY ALL APPLICABLE FEES AND A SUITABLE SITE PLAN IN ORDER TO BE PROCESSED. THIS IS A PUBLIC DOCUMENT.

I declare and affirm that to the best of my knowledge, the information contained herein is correct. I declare that I am the owner of the property or duly authorized to make this application on behalf of the owner. I agree to comply with all applicable state and county regulations. By signature of this application, I hereby grant Howard County Health Department officials the right to enter onto the property for the purpose of inspecting the property as directly related to the requested permit/service. SIGNATURE OF APPLICANT DATE

WS-PT-22-01356

RECEIPT

Howard County, MD
HOWARD COUNTY HEALTH DEPARTMENT
ASCEND ONE BUILDING
Columbia, MD 21045
8930 STANFORD BLVD

Application: WS-SP-APP-22-00117
Application Type: EnvHealth/Well and Septic/Sewage Disposal System/Application
Address: 10408 Guilford RD,

Receipt No.	3827					
Payment Method	Ref Number	Amount Paid	Payment Date	Cashier ID	Received	Comments
Check	75675	\$165.00	05/06/2022	JUKING		Septic Repair/ 10408 Guilford Rd

Work Description: Septic Reapir/ 10408 Gulford Rd

RECEIPT

Howard County, MD
HOWARD COUNTY HEALTH DEPARTMENT
ASCEND ONE BUILDING
Columbia, MD 21045
8930 STANFORD BLVD

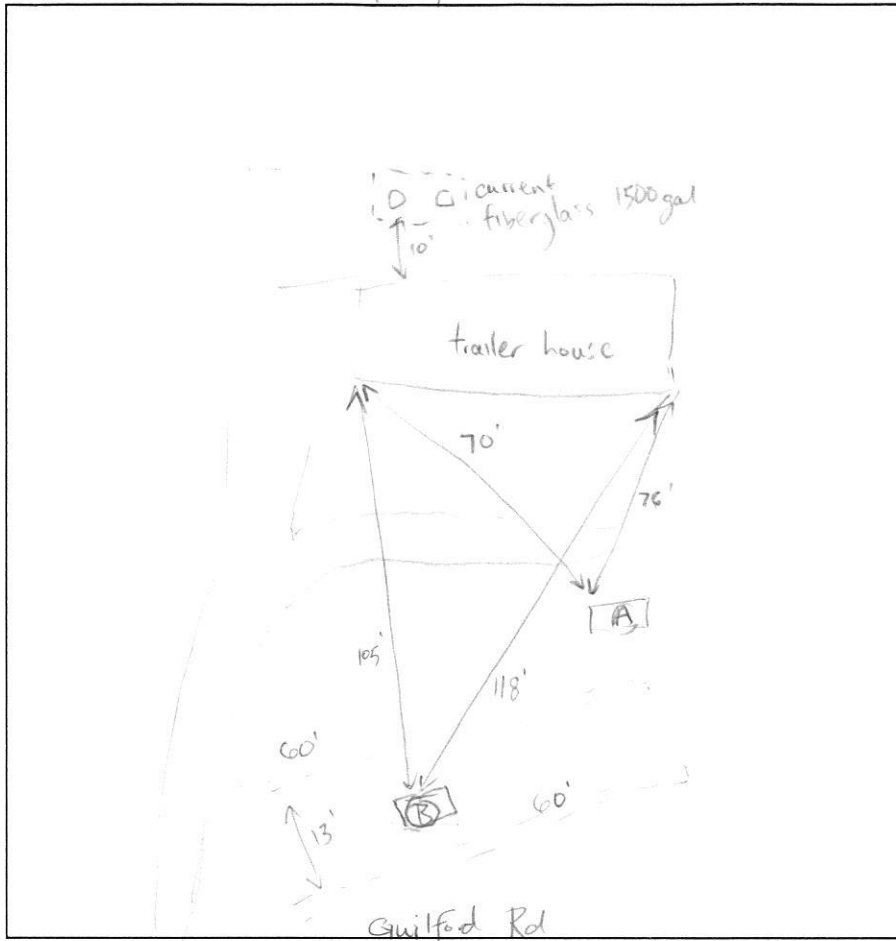
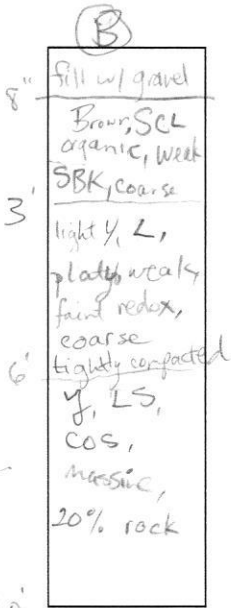
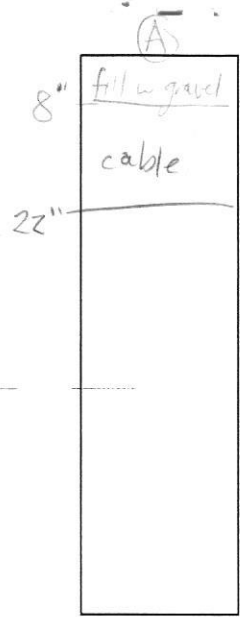
Application: WS-PT-22-01356
Application Type: EnvHealth/Well and Septic/Percolation Test/Application
Address: 10408 Guilford RD,

Receipt No.	3835					
Payment Method	Ref Number	Amount Paid	Payment Date	Cashier ID	Received	Comments
Cash	75675	\$165.00	05/06/2022	JUKING		Perc Repair /10408 Guilford Rd

Work Description: Perc Repair/ 10408 Guilford Rd

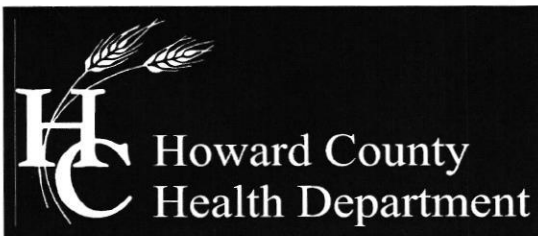
10-108 Guilford Rd

A/P



DATE	TEST #	DEPTH	START	BREAK 1" DROP	STOP 2" DROP	TIME OF 2ND INCH	P/F/H
5/26/22	water pour	at 10' below				~ 3 min/inch	
5/26/22	2	3.6 / 10'	1:57	2:05	2:15	10 min	D 0.8

REMARKS gravel fill in top 8"
 SANITARIAN Susan Thomas BACKHOE Matt OTHERS Connor
 TEST HOLES USED IN SDA 2 AVG. PERC TIME 10 min SQ. FT/BR _____
 TRENCH WIDTH 3' INLET DEPTH 3' MAX. BOT DEPTH 6' EFFECTIVE SW 2.5'



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Maura J. Rossman, M.D., Health Officer

CONSENT AGREEMENT FOR USE OF HOLDING TANKS TO CORRECT FAILING SEWAGE SYSTEM

THIS AGREEMENT made this _____ day of _____, 2022, by and between _____ Kenny Santos _____ HEREINAFTER REFERRED TO AS Owner, and the Howard County Bureau of Environmental Health, HEREINAFTER REFERRED TO AS the Bureau.

WHEREAS, Owner is seized and possessed of a tract of land at _____ 10416 Guilford Rd, Jessup, MD 20794 _____, known as Tax Map ___0048___, Parcel ___0096___, Block ___0007___, the deed to same being recorded among the land records of Howard County, Maryland in Liber ___20278___, Folio ___0076___.

WHEREAS, the Howard County Bureau of Environmental Health has advised the Owner of the need to correct the on-site sewage disposal problems and all parties concerned recognize the only alternative available is a holding tank system to serve the _____ square foot residential dwelling containing 2 bedrooms.

WHEREAS, Owner's land meets requirements of COMAR 26.04.02 for installation of a holding tank. NOW THEREFORE, the parties hereto agree as follows:

- A. The Owner will install a holding tank(s) consistent with the design approved and permitted by the Bureau and follow the relevant provisions of COMAR 26.04.02 in regards to holding tank operation.
- B. Owner agrees to insure reasonable access to the property and system by the Bureau as well as to provide any information requested by the Bureau to assure proper operation and maintenance of the holding tank(s).
- C. Owner agrees that there shall be no liability on the part of the County or Bureau to Owner if the holding tank(s) is not properly maintained.
- D. Owner acknowledges and agrees that neither the Bureau nor any of its agents or employees, either officially or individually underwrites the operation of the holding tank(s) and it is understood that the holding tank(s) is a last resort method to correct existing sewage disposal problems on the property.

- E. The Owner will devote such care and effort to the maintenance of the holding tank(s) so that it shall not malfunction and cause pollution at the ground surface, the waters of the state, or create a nuisance.
- F. The Owner agrees that he shall not alter or tamper with the holding tank(s) in any way that would cause it to malfunction or change it from its extended purpose of sewage storage with the sewage disposal being accomplished by a scavenger.
- G. The Owner agrees that, should the holding tank(s) be determined to pose a threat to the public health, safety or comfort, the Bureau may order any necessary changes or corrections for which the Owner agrees to pay. System modification may include requirements for additional tanks and/or more frequent pumping of the holding tank(s).
- H. The Owner understands that if violations occur from failure to maintain the holding tank(s) properly, the Bureau may take legal action to insure compliance.
- I. The Owner shall contact the Howard County Bureau of Environmental Health at least 24 hours prior to system completion so that the Bureau may inspect the system in the field with the installer. The Owner further agrees that this system will be installed according to the plans and specifications approved by the Bureau and any changes determined to be necessary by the Bureau as a result of reviewing the field conditions.
- J. This agreement shall run with the land and binds the Owner, his heirs, successors or assigns to the provisions of the agreement as long as the property is in existence. Owner further agrees that he/she shall inform any purchaser or lessee of the property of the holding tank(s) and all conditions in association with it.
- K. Owner agrees to record this agreement in the land records of Howard County and assure that it becomes part of the Deed for the subject property in order that prospective buyers may be made aware of the special conditions affecting this property. This agreement shall not be construed to limit any authority of the Bureau to protect the public health, safety or comfort or to issue any other orders or take any other action which is now or may hereinafter be within its authority.
- L. Owner certifies that he has obtained a cost estimate and is financially capable of having the sewage removed from the holding tank(s) by a permitted sewage waste hauler on a regular basis so that the holding tank(s) never overflows. The Owner further agrees to enter into and maintain a written service contract which will be renewed annually with any permitted scavenger and will forward a copy to the Bureau prior to the approval of the permit for the holding tank(s) installation and annually thereafter.
- M. If the Owner installs any new plumbing, he/she shall install only water conserving fixtures (e.g. toilets installed will use no more than 1.6 gallons of water per flush).

HOWARD COUNTY DEPARTMENT OF FINANCE

Legacy Water/Sewer - Master Data

Street Search

Account No 48010910 10408 GUILFORD RD



JESSUP 207940000

Date Created: 2/22/1997

Building:

Tax ID: 6 390552 Land Use: C

Subdivision:

Master Information Application Data Comments

Water Applic No	<input type="text" value="1-88-2680"/>	Sewer Applic No	<input type="text"/>
Water Applic Date	<input type="text" value="6/23/1988"/>	Sewer Applic Date	<input type="text"/>
Water Applic fee	<input type="text" value="0"/>	Sewer Applic fee	<input type="text" value="0"/>
Water Connect Date	<input type="text"/>	Sewer Connect Date	<input type="text"/>
2nd Water Applic No	<input type="text"/>	2nd Sewer Applic No	<input type="text"/>
2nd Water Applic Date	<input type="text"/>	2nd Sewer Applic Date	<input type="text"/>
2nd Water Applic Fee	<input type="text" value="0"/>	2nd Sewer Applic Fee	<input type="text" value="0"/>
Water WO	<input type="text"/>	Sewer WO	<input type="text"/>
WSAddr1	<input type="text"/>	Cash Receipt 1	<input type="text"/>
ADO Number	<input type="text"/>	Cash Receipt 2	<input type="text"/>
PrePDInd	<input type="text"/>	Mtr Size Applied For	<input type="text"/>

HOWARD COUNTY DEPARTMENT OF FINANCE

Legacy Water/Sewer - Master Data

Street Search

Account No: 48010910 10408 GUILFORD RD
JESSUP 207940000

Date Created: 2/22/1997

Building:

Tax ID: 6 390552 Land Use: C

Subdivision:

Master Information Application Data Comments

AccountNo	NoteDate	NoteTime	NoteText
48010910	4/5/2010	1:13:00 PM	HE SHOULD PAY \$7.50 EACH QTR. NO PHONE# R55
48010910	4/5/2010	1:13:00 PM	NOTE FROM HENRY ALLEN-MERKLE. HAS OWN SEPTIC SYSTEM AND DOES NO
48010910	4/5/2010	1:13:00 PM	FT112

Record: 4 No Filter Search

HOWARD COUNTY DEPARTMENT OF FINANCE

Legacy Water/Sewer - Master Data

Street Search

Account No: 48010910 10408 GUILFORD RD
JESSUP 207940000

Date Created: 2/22/1997

Building:

Tax ID: 6 390552 Land Use: C

Subdivision:

Master Information Application Data Comments

Name on Account: HENRY & BERNARD ALLEN

Service Type: Wtr Only Cycle: 3

Pay Status: A Bill Status: B

Primary Billing Address

10408 GUILFORD RD

JESSUP MD 207940000

Secondary Billing Address

Meter Information

Meter No: 5711260

ERT: 21568462

Date Instld: 7/14/1988

Manufact: BADGER

Meter Size: N/A-REMO

Perm Code: I

Compound: 1

Surch Code:

Surch Area: 0

Surch Rate: 0

Meter / SubMeter Info

Master Mtr:

0

0

0

0

0

Meter Location: RADIO INS BACK OF TRAILER

Maura J. Rossman, M.D., Health Officer

NOTICE OF VIOLATION

March 23, 2021

Kenny Santos
Santos Realty LLC
10772 Tucker Street
Beltsville, MD 20705

CERTIFIED MAIL: **7004 1160 0002 3409 5530**

RE: Delayed response to Notice of Violation at **10416 Guilford Rd**

Dear **Kenny Santos**:

On **3/2/21** you received a Notice of Violation regarding your property at **10416 Guilford Rd**. The NOV stated that you had to apply for a septic tank replacement permit for a holding tank or apply for a percolation test by 3/12/2021. You have missed both of these deadlines. You say you have been delayed in applying for connection to public sewer utilities because there are delays in creating the easement with your lawyer and a master plan for the public connection with your engineering company.

On **3/17/21** I observed the holding tank being pumped, and on **3/18/21** I observed that risers had been placed on the holding tank. No sewage effluent was visible at the ground surface.

Due to the delays with the easement and the engineering plan, we will extend the deadline to apply for the connection to public sewer utilities. However we must see evidence of progress in the process to connect to the public sewer.

You are hereby ordered to:

- (1) Apply for connection after easement issues have been resolved and pay the connection fee to public sewer utilities by 5/1/21.
- (2) By 5/1/21, you must find a contractor that will do the public connection, and send this office a copy of the contract and receipt for down payment.
- (3) All work must be completed by 5/31/21.
- (4) You must pump and haul the contents of the sewage disposal system every three weeks or at a frequency that prevents sewage effluent from coming to the ground

Maura J. Rossman, M.D., Health Officer

surface or backing up into the house. Receipts for this pumping must be sent to our office. Weekly site visits will be made to ensure that there is no sewage at ground surface.

Failure to comply will result in the issuance of a civil citation(s). Under Howard County Code, paragraph 12.112, each day this violation is allowed to occur is considered a separate offense. A first offense shall be a Class E violation, a second offense shall be a Class D offense, and subsequent violations shall be Class B offenses.

The associated fines are as follows:

Class of Offense	Minimum Fine	Maximum Fine
A	\$500.00	\$1,000.00
B	250.00	500.00
C	100.00	250.00
D	50.00	100.00
E	25.00	50.00

If you believe that the condition described above is not and could not be a hazard to health, or that the Health Department is not acting in compliance with pertinent laws and regulations, you may request a formal hearing before the Board of Health within 15 (fifteen) days of receipt of this letter. All requests are to be made in writing and directed to the Executive Secretary of the Board of Health at the above address.

If you have any questions regarding this letter, please contact me at 410-313-1771.



Susan Thomas

Environmental Health Specialist I LEHS, REHS/RS
Well and Septic Program

NOTICE OF VIOLATION

March 2, 2021

Kenny Santos
Santos Realty LLC
10772 Tucker Street
Beltsville, MD 20705

CERTIFIED MAIL: **7004 1160 0002 3409 5523**

RE: **Illegal septic modification and repair at 10416 Guilford Rd**

Dear **Kenny Santos**:

On **2/25/21** you informed us that you weren't aware you needed a permit for an emergency septic repair. You told us you had installed a plastic tank behind the house at **10416 Guilford Rd** as a holding tank. You reported that the old concrete tank was cracked. Due to snow, you have not yet installed the risers or an alarm in the plastic tank. You have an agreement with Fogles Septic clean to pump out the tank as needed.

Be advised that performing septic repair work without a permit is a violation of the Howard County Code 3.806.

Sec. 3.806. – Permit Required

(a) Sewage Disposal Permit; Minor Septic Repair Permit.

(1) When required. Where a public sewage disposal system is not available and construction is contemplated for a building for human occupancy or use, or an addition to or alteration of any existing on-site sewage disposal system is proposed, the master plumber, disposal system contractor, or owner shall, prior to beginning any construction, make an application to the approving authority for a minor septic repair permit or an on-site sewage disposal permit in accordance with the requirements of this section and subsection 12.106(a) of the Howard County Code in order to perform the necessary installation or modification to the existing on-site sewage disposal system.

Be advised that because this property isn't against a county right-of-way, an easement will be required to connect to public sewer.

This property is in floodplain soil with no option for an Onsite Sewage Disposal System. If not connected to public sewer, a holding tank will need to be installed on the property.

Maura J. Rossman, M.D., Health Officer

You are hereby ordered to:

(1) Apply for a septic tank replacement permit for a holding tank by 3/12/2021. You are ordered to begin installation of the properly designed holding tank by 3/19/2021 and complete the installation with Health Department approval of the septic permit by 4/4/2021.

Or:

(2) Apply for connection to public sewer utilities by 3/12/2021. Work to connect to the public sewer must begin by 3/19/2021 and be completed by 4/4/2021.

(3) In both situations, you must install a riser and pump and haul the contents of the sewage disposal system by 3/19/2021. You will be responsible for continuing to pump the contents of the system at a frequency that prevents sewage effluent from coming to the ground surface.

Failure to comply will result in the issuance of a civil citation(s). Under Howard County Code, paragraph 12.112, each day this violation is allowed to occur is considered a separate offense.

If you believe that the condition described above is not and could not be a hazard to health, or that the Health Department is not acting in compliance with pertinent laws and regulations, you may request a formal hearing before the Board of Health by 3/20/2021. All requests are to be made in writing and directed to the Executive Secretary of the Board of Health at the above address.

If you have any questions regarding this letter, please contact me at 410-313-1771.



Susan Thomas

Environmental Health Specialist I LEHS, REHS/RS

Well and Septic Program

NOTICE OF VIOLATION

March 2, 2021

Kenny Santos
Santos Realty LLC
10772 Tucker Street
Beltsville, MD 20705

CERTIFIED MAIL: **7004 1160 0002 3409 5523**

RE: **Illegal septic modification and repair at 10408 Guilford Rd**

Dear **Kenny Santos**:

On **2/5/21** we received notice from Bryan Kirk of the Construction Inspection Division that someone was pumping out a hole with a septic smell at **10408 Guilford Rd.** Photographs from that day show evidence of ground disturbance behind the trailer house on the property.

On **2/10/21** a site investigation was conducted at **10408 Guilford Rd.** At the time of the investigation **it was noted that the ground had been disturbed.** The renters at the trailer house reported to us that their septic system had been overflowing and their landlord, Kenny Santos, installed a new tank.

On **2/25/21** you informed us that you weren't aware you needed a permit for an emergency septic repair. You told us you had installed a plastic tank behind the trailer house and connected it to an existing d-box. You reported that the old concrete tank was cracked. Due to snow, you have not yet installed the risers or an alarm in the plastic tank. You have an agreement with Fogles Septic clean to pump out the tank as needed.

Be advised that performing septic repair work without a permit is a violation of the Howard County Code 3.806.

Sec. 3.806. – Permit Required

(a) Sewage Disposal Permit; Minor Septic Repair Permit.

(1) When required. Where a public sewage disposal system is not available and construction is contemplated for a building for human occupancy or use, or an addition to or alteration of any existing on-site sewage disposal system is proposed, the master plumber, disposal system contractor, or owner shall, prior to beginning any construction, make an application to the approving authority for a minor septic repair permit or an on-site sewage disposal permit in

Maura J. Rossman, M.D., Health Officer

accordance with the requirements of this section and subsection 12.106(a) of the Howard County Code in order to perform the necessary installation or modification to the existing on-site sewage disposal system.

Be advised that because this property is over 3 acres, an Onsite Sewage Disposal System is permissible. However, the soils must be tested to determine the location for a septic field. The only soil available to test is located in the front of the property. The rest of the property is in a flood plain.

This property can also be connected to public sewer via an already existing tap.

You are hereby ordered to:

(1) Apply for a percolation test of the soils on this property by 3/12/2021. If the soil is suitable for disposal, you are ordered to begin installation on a septic system under a septic permit by 3/19/2021 and complete the work with Health Department approval of the septic permit by 4/4/2021.

Or:

(2) Apply for connection to public sewer utilities by 3/12/2021. Work to connect to the public sewer must begin by 3/19/2021 and be completed by 4/4/2021.

(3) In both situations, you must install a riser and pump and haul the contents of the sewage disposal system by 3/19/2021. You will be responsible for continuing to pump the contents of the system at a frequency that prevents sewage effluent from coming to the ground surface.

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If you believe that the condition described above is not and could not be a hazard to health, or that the Health Department is not acting in compliance with pertinent laws and regulations, you may request a formal hearing before the Board of by 3/20/2021. All requests are to be made in writing and directed to the Executive Secretary of the Board of Health at the above address.

If you have any questions regarding this letter, please contact me at 410-313-1771.



Susan Thomas
Environmental Health Specialist I LEHS, REHS/RS
Well and Septic Program

Howard County Health Department
Bureau of Environmental Health
5050 Stanford Blvd.
Columbia, Maryland 21045

CERTIFIED MAIL™



7004 1160 0002 3409 5530

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U.S. Postal Service™
CERTIFIED MAIL™ RECEIPT
(Domestic Mail Only; No Insurance Coverage Provided)

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OFFICIAL USE

Postage	\$	Postmark Here
Certified Fee		
Return Receipt Fee (Endorsement Required)		
Restricted Delivery Fee (Endorsement Required)		
Total Postage & Fees	\$	

Sent To Kenny Santos
Street, Apt. No.: 10772 Tucker St
or PO Box No. 20705
City, State, ZIP+4 Beltsville, MD 20705
PS Form 3800, June 2002 See Reverse for Instructions

Maura J. Rossman, M.D., Health Officer

NOTICE OF VIOLATION

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Due to the delays with the easement and the engineering plan, we will extend the deadline to apply for the connection to public sewer utilities. However we must see evidence of progress in the process to connect to the public sewer.

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Maura J. Rossman, M.D., Health Officer

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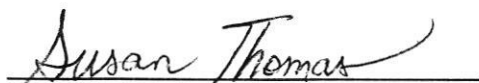
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E	25.00	50.00

If you believe that the condition described above is not and could not be a hazard to health, or that the Health Department is not acting in compliance with pertinent laws and regulations, you may request a formal hearing before the Board of Health within 15 (fifteen) days of receipt of this letter. All requests are to be made in writing and directed to the Executive Secretary of the Board of Health at the above address.

If you have any questions regarding this letter, please contact me at 410-313-1771.



Susan Thomas

Environmental Health Specialist I LEHS, REHS/RS

Well and Septic Program

USPS TRACKING #



CAPITAL DISTRICT 208

26 MAR 2021 PM 1 L



First-Class Mail
Postage & Fees Paid
USPS
Permit No. G-10

9590 9402 5400 9189 1294 64

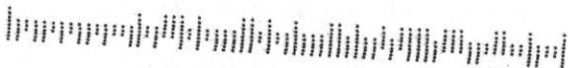
United States
Postal Service

• Sender: Please print your name, address, and ZIP+4® in this box•

Susan Thomas
Bureau of Environmental Health
8930 Stanford Blvd
Columbia, MD 21045

EH 3/29

045-580530



SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Kenny Santos
 Santos Realty LLC
 10772 Tucker St
 Beltsville, MD 20705



9590 9402 5400 9189 1294 64

2. Article Number (Transfer from service label)

04 1160 0002 3409 5530

PS Form 3811, July 2015 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

WAIG C19

 Agent Addressee

B. Received by (Printed Name)

WY

C. Date of Delivery

3/26

D. Is delivery address different from item 1?

 Yes

If YES, enter delivery address below:

 No

HoCo Health Depart

APR 01 2021

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Registered Mail Restricted Delivery

 Priority Mail Express® Registered Mail™ Registered Mail Restricted Delivery Return Receipt for Merchandise Signature Confirmation™ Signature Confirmation Restricted Delivery

Domestic Return Receipt

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT
OF THE RETURN ADDRESS, FOLD AT DOTTED LINE

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Kenny Santos
Santos Realty LLC
10772 Tucker St
Beltsville, MD 20705



9590 9402 5400 9189 1294 64

2. Article Number (Transfer from service label)

7004 1160 0002 3409 5530

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

- Agent
- Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Insured Mail Restricted Delivery (over \$500)
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Return Receipt for Merchandise
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

PS Form 3811, July 2015 PSN 7530-02-000-9053

Domestic Return Receipt

Certified Mail

- A mailing receipt
- A unique identifier
- A record of delivery

Important Remind

- Certified Mail is
- NO INSURANCE
- For an additional
- For an additional

For an additional fee. Endorse mail a duplicate return receipt (PS Form 3811) is required.

- For an addition
- If a postmark on
- If a postmark on

IMPORTANT: Saw
Internet access to
addressed to APC

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Kenny Santos
 Santos Realty LLC
 10772 Tucker Street
 Beltsville, MD 20705



9590 9402 5400 9189 1294 71

COMPLETE THIS SECTION ON DELIVERY**A. Signature**

X Wai 8 C19

 Agent

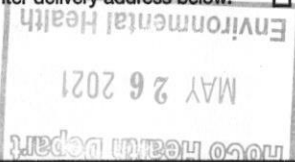
 Addressee
B. Received by (Printed Name)

WY

C. Date of Delivery

3/05

- D. Is delivery address different from item 1?** Yes
 If YES, enter delivery address below: No

**3. Service Type**

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery

- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Return Receipt for Merchandise
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

Domestic Return Receipt

USPS TRACKING #



First-Class Mail
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USPS
Permit No. G-10

9590 9402 5400 9189 1294 71

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Susan Thomas
Bureau of Environmental Health
8930 Stanford Blvd
Columbia, MD 21045-5805

FWD

5-580530



SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Kenny Santos
 10772 Tucker St
 Beltsville, MD 20705



9590 9402 6605 1028 7557 59

2. Article Number (Transfer from service label)

020 1290 0001 2048 2725

COMPLETE THIS SECTION ON DELIVERY

A. Signature

XWAJ 8 CIT

-
- Agent
-
-
- Addressee

B. Received by (Printed Name)

WJ

C. Date of Delivery

12/25

D. Is delivery address different from item 1? YesIf YES, enter delivery address below: No

3. Service Type

- | | |
|--|---|
| <input type="checkbox"/> Adult Signature | <input type="checkbox"/> Priority Mail Express® |
| <input type="checkbox"/> Adult Signature Restricted Delivery | <input type="checkbox"/> Registered Mail™ |
| <input type="checkbox"/> Certified Mail® | <input type="checkbox"/> Registered Mail Restricted Delivery |
| <input type="checkbox"/> Certified Mail Restricted Delivery | <input type="checkbox"/> Signature Confirmation™ |
| <input type="checkbox"/> Collect on Delivery | <input type="checkbox"/> Signature Confirmation Restricted Delivery |
| <input type="checkbox"/> Collect on Delivery Restricted Delivery | |
| <input type="checkbox"/> Insured Mail | |
| <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500) | |

USPS TRACKING #



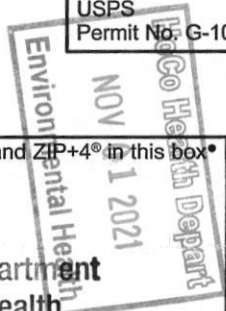
First-Class Mail
Postage & Fees Paid
USPS
Permit No. G-10

9590 9402 6605 1028 7557 59

United States
Postal Service

• Sender: Please print your name, address, and ZIP+4® in this box •

Susan Thomas
Howard County Health Department
Bureau of Environmental Health
8930 Stanford Blvd.
Columbia, Maryland 21045



6Z42258936

UNIFORM CIVIL CITATION

Citation Number

WITNESS

RELATED CASE # / CITATION(S) →

District Court of Maryland for

Howard County, Maryland
3451 Court House Dr., Ellicott City, MD 21043

Address

County/Municipality/State of Maryland vs.

Agency

Defendant's (Last) Name

First

Middle

Current Street Address

Apt. No.

City

County

State

Zip

DOB

Height

Weight

Sex

Race

Hair

Eyes

Telephone No. Day/Night: 240-882-8144

E-mail: kennysantos@rc-1300.net

Based on personal knowledge of the undersigned officer the attached affidavit, the Defendant is charged with

sewage overflow and pollution of ground surface

at 1:00 PM on 10/18/2021

at 10416 Guilford Rd Location of Offense

Howard County, MD in violation of: Md. Ann. Code Municipal Infraction/County Ordinance/Public Local Law/Local Code COMAR

Document/Article MdCo Code Section 18 Sub Section 110 Paragraph (1)(2)

Each day a violation continues is a separate infraction subject to an additional citation.

I sign my name as a receipt of a copy of this Citation and not as an admission of guilt. I will comply with the requirements set forth in this Citation.

X Defendant's Signature

INSTRUCTIONS

YOU MUST APPEAR IN COURT. A notice of trial date will be mailed to you.

YOU MAY PAY A FINE OF \$ 50 (entire amount required) by 11/10/21 to the:

District Court. Payment of the fine will not close the case if abatement action is pending.

Agency/Municipality Director, Office of Finance at 3430 Court House Dr, EC 21043 Payment Location

and AVOID TRIAL. This will be deemed an admission of guilt and a trial date will not be set.

YOU MAY ELECT TO STAND TRIAL by sending your request in writing to the:

District Court Agency/Municipality Director, Office of Finance

in writing by 11/10/21 at 3430 Court House Dr, EC 21043 Date Address

DO NOT SEND PAYMENT OF FINE. The District Court will mail you a notice of your trial date, time, and location. AT TRIAL the Court may impose a fine up to the maximum allowed by statute plus court costs.

IN ADDITION, Agency/Municipality is seeking abatement of this infraction.

You may be ordered to abate this infraction or be assessed the costs for the abatement, as well as a fine of up to \$1,000, plus court costs. Payment of the preset fine will not satisfy the abatement action and an order of abatement may still be entered against you.

FAILING TO APPEAR OR PAY THE FINE MAY RESULT IN A WARRANT BEING ISSUED FOR YOUR ARREST.

FAILING TO PAY THE FINE OR REQUEST A TRIAL DATE:

will deem you liable for the fine assessed; the fine may be doubled and/or a judgment on affidavit may be entered against you including an order of abatement;

you may be found guilty of a Code violation and the maximum fines, court costs, and administrative expenses can be imposed.

FAILURE TO APPEAR FOR A REQUESTED TRIAL DATE:

the fine may be doubled and a judgment on affidavit entered against you;

you may be found guilty of a Code violation and the maximum fines and costs can be imposed.

I solemnly affirm under the penalties of perjury, and based upon personal knowledge or the attached affidavit, that the contents of this citation are true and that I am competent to testify on these matters.

The Defendant is not now in the military service, as defined in the Servicemembers Civil Relief Act.

Issuing Officer's Signature

Officer's Printed Name

Date

Agency

Sub-Agency

I.D. No.

Telephone

DC-028 (Rev. 10/2017) Print Date 07/2017

6Z42258936

UNIFORM CIVIL CITATION

Citation Number

WITNESS

RELATED CASE # / CITATION(S)

[Empty box for related case/citation]

District Court of Maryland for

Howard County, Maryland
3451 Court House Dr, Ellicott City, MD 21043

Address

County/Municipality/State of Maryland vs.

Agency

Defendant's (Last) Name

First

Middle

Current Street Address

Apt. No.

City

County

State

Zip

DOB Height Weight Sex Race Hair Eyes
Telephone No. Day/Night: 240-222-8144 E-mail: kennethsantos@ec.com

Based on personal knowledge of the undersigned officer the attached affidavit, the Defendant is charged with sewage overflow and pollution of ground surface

at 1:00 PM on 10/18/2021

at 10416 Guilford Rd Location of Offense

Howard County, MD in violation of Md. Ann. Code Municipal Infraction/County Ordinance/Public Local Law/Local Code COMAR

Document/Article H.Co Code Section 18 Sub Section 110 Paragraph (2)

Each day a violation continues is a separate infraction subject to an additional citation.

I sign my name as a receipt of a copy of this Citation and not as an admission of guilt. I will comply with the requirements set forth in this Citation.

X Defendant's Signature

INSTRUCTIONS

YOU MUST APPEAR IN COURT. A notice of trial date will be mailed to you.

YOU MAY PAY A FINE of \$ 50 (entire amount required) by 11/10/21 to the:

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Agency/Municipality Director, Office of Finance
at 3430 Court House Dr, EC 21043
Payment Location

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Date Address

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- FAILING TO PAY THE FINE OR REQUEST A TRIAL DATE:
 - will deem you liable for the fine assessed; the fine may be doubled and/or a judgment on affidavit may be entered against you including an order of abatement;
 - you may be found guilty of a Code violation and the maximum fines, court costs, and administrative expenses can be imposed.
- FAILURE TO APPEAR FOR A REQUESTED TRIAL DATE:
 - the fine may be doubled and a judgment on affidavit entered against you;
 - you may be found guilty of a Code violation and the maximum fines and costs can be imposed.

I solemnly affirm under the penalties of perjury, and based upon personal knowledge or the attached affidavit, that the contents of this citation are true and that I am competent to testify on these matters.

The Defendant is not now in the military service, as defined in the Servicemembers Civil Relief Act.

Issuing Officer's Signature: [Signature] Officer's Printed Name: Susan T. [Signature] Date: 10/21/21
Agency: Howard County Health Dept Sub-Agency: I.D. No. 410 Telephone: 217-622-87

Maura J. Rossman, M.D., Health Officer

October 21, 2021

Kenneth Santos
10772 Tucker St
Beltsville, MD 20705

Sent Certified Mail: 7020 1290 0001 2048 2725

RE: 10416 Guilford Rd sewage overflow citation

Mr. Santos:

On October 18, 2021, I conducted a site visit at 10416 Guilford Rd as part of the ongoing inspections of the holding tank on the property. I observed sewage overflow coming out of the second riser of the tank, with liquid flowing downhill into an affected area of approximately 480 sq ft. A citation for this violation is enclosed with this letter. This is the first citation for this violation.

If you have any questions, you may contact me at 410-313-1771.

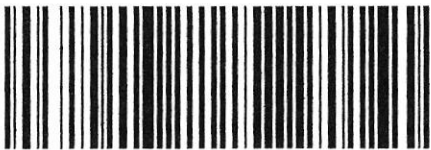


Susan Thomas

Environmental Health Specialist, Well & Septic Program

Howard County Health Department
Bureau of Environmental Health
8000 Stanford Blvd.
Columbia, Maryland 21045

CERTIFIED MAIL®



7020 1290 0001 2048 2725
7020 1290 0001 2048 2725

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Certified Mail Fee

Extra Services & Fees (check box, add fee as appropriate)

- Return Receipt (hardcopy) \$ _____
- Return Receipt (electronic) \$ _____
- Certified Mail Restricted Delivery \$ _____
- Adult Signature Required \$ _____
- Adult Signature Restricted Delivery \$ _____

Postage

Total Postage and Fees

\$ _____

Sent To

Kenny Santos
Street and Apt. No., P.O. Box No.
10772 Tucker St

City, State, ZIP+4®
Beltsville, MD 20705

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

Postmark
Here

PLACE STICKER AT TOP OF ENVELOPE TO THE RIGHT
OF THE RETURN ADDRESS, FOLD AT DOTTED LINE

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Kenny Santos
10772 Tucker St
Beltsville, MD 20705



9590 9402 6605 1028 7557 59

2. Article Number (Transfer from service label)

7020 1290 0001 2048 2725

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X

- Agent
- Addressee

B. Received by (Printed Name)

C. Date of Delivery

D. Is delivery address different from item 1? Yes
If YES, enter delivery address below: No

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail
- Insured Mail Restricted Delivery (over \$500)
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

PS Form 3811, July 2020 PSN 7530-02-000-9053

Domestic Return Receipt

Certified Mail®

- A receipt (this portion of the card)
- A unique identifier for you
- Electronic verification of delivery.
- A record of delivery (includ signature) that is retained for a specified period.

Important Reminders:

- You may purchase Certified First-Class Mail®, First-Class Mail®, or Priority Mail® service.
- Certified Mail service is not international mail.
- Insurance coverage is not with Certified Mail service or Certified Mail service dt insurance coverage autor certain Priority Mail items. For an additional fee, and endorsement on the mailpiece the following services:
 - Return receipt service, v of delivery (including th You can request a hardc electronic version. For a complete PS Form 3811 Receipt; attach PS Form

PS Form 3800, April 2015 (

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Kenny Santos
 Santos Realty LLC
 10772 Tucker St
 Beltsville, MD 20705



9590 9402 6346 0296 3387 70 (57)

2. Article Number (Transfer from service label)

7020 1290 0001 2048 2701

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X W A I S C I G

-
- Agent
-
-
- Addressee

B. Received by (Printed Name)

W. Y

C. Date of Delivery

4/27

 D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type

- | | |
|--|---|
| <input type="checkbox"/> Adult Signature | <input type="checkbox"/> Priority Mail Express® |
| <input type="checkbox"/> Adult Signature Restricted Delivery | <input type="checkbox"/> Registered Mail™ |
| <input checked="" type="checkbox"/> Certified Mail® | <input type="checkbox"/> Registered Mail Restricted Delivery |
| <input type="checkbox"/> Certified Mail Restricted Delivery | <input type="checkbox"/> Signature Confirmation™ |
| <input type="checkbox"/> Collect on Delivery | <input type="checkbox"/> Signature Confirmation Restricted Delivery |
| <input type="checkbox"/> Collect on Delivery Restricted Delivery | |
| <input type="checkbox"/> Insured Mail | |
| <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500) | |

Domestic Return Receipt

USPS TRACKING #



First-Class Mail
Postage & Fees Paid
USPS
Permit No. G-10

9590 9402 6346 0296 3387 70

**United States
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Susan Thomas
Bureau of Environmental Health
8930 Stanford Blvd
Columbia, MD 21045



SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.

1. Article Addressed to:

Kenny Santos
Santos Realty LLC
10772 Tucker Street
Beltsville, MD 20705



9590 9402 6346 0296 3387 87

(ST)

2. Article Number (Transfer from service label)

7020 1290 0001 2048 2534

COMPLETE THIS SECTION ON DELIVERY

A. Signature

X WAI 8 C19

-
- Agent
-
-
- Addressee

B. Received by (Printed Name)

WY

C. Date of Delivery

4/28

- D. Is delivery address different from item 1? Yes
 If YES, enter delivery address below: No

3. Service Type

- | | |
|--|---|
| <input type="checkbox"/> Adult Signature | <input type="checkbox"/> Priority Mail Express® |
| <input type="checkbox"/> Adult Signature Restricted Delivery | <input type="checkbox"/> Registered Mail™ |
| <input checked="" type="checkbox"/> Certified Mail® | <input type="checkbox"/> Registered Mail Restricted Delivery |
| <input type="checkbox"/> Certified Mail Restricted Delivery | <input type="checkbox"/> Signature Confirmation™ |
| <input type="checkbox"/> Collect on Delivery | <input type="checkbox"/> Signature Confirmation Restricted Delivery |
| <input type="checkbox"/> Collect on Delivery Restricted Delivery | |
| <input type="checkbox"/> Insured Mail | |
| <input type="checkbox"/> Insured Mail Restricted Delivery (over \$500) | |

USPS TRACKING #



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Postage & Fees Paid
USPS
Permit No. G-10

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Postal Service**

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Susan Thomas
Bureau of Environmental Health
8930 Stanford Blvd
Columbia, MD 21045

5-580530



SENDER: COMPLETE THIS SECTION

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Kenny Santos
 Santos Realty LLC
 10772 Tucker Street
 Beltsville, MD 20705



9590 9402 6346 0296 3387 87

2. Article Number (Transfer from service label)

7020 1290 0001 2048 2534

PS Form 3811, July 2020 PSN 7530-02-000-9053

COMPLETE THIS SECTION ON DELIVERY

A. Signature Agent Addressee

B. Received by (Printed Name) Date of Delivery

D. Is delivery address different from item 1? Yes No

If YES, enter delivery address below:

3. Service Type

- Adult Signature
- Adult Signature Restricted Delivery
- Certified Mail®
- Certified Mail Restricted Delivery
- Collect on Delivery
- Collect on Delivery Restricted Delivery
- Insured Mail (over \$500)
- Insured Mail Restricted Delivery
- Priority Mail Express®
- Registered Mail™
- Registered Mail Restricted Delivery
- Signature Confirmation™
- Signature Confirmation Restricted Delivery

Domestic Return Receipt

Form 3800, April 2015

electronic version complete PS Form Receipt; attach PS Form 3800, April 2015

Form 3800, April 2015

electronic version complete PS Form Receipt; attach PS Form 3800, April 2015

Domestic Return Receipt

PS Form 3811, July 2020 PSN 7530-02-000-9053

1022 8402 1000 0627 0202

2. Article Number (Transfer from service label)

590 9402 6346 0296 3387 70



Kenny Santos
 Santos Realty LLC
 10772 Tucker St
 Beltsville, MD 20705

1. Article Addressed to:

D. Is delivery address different from item 1? Yes No

If YES, enter delivery address below:

C. Date of Delivery

B. Received by (Printed Name)

A. Signature Agent Addressee

COMPLETE THIS SECTION ON DELIVERY

SENDER: COMPLETE THIS SECTION

- Complete items 1, 2, and 3.
- Print your name and address on the reverse so that we can return the card to you.
- Attach this card to the back of the mailpiece, or on the front if space permits.



7020 1290 0001 2048 2534
7020 1290 0001 2048 2534
7020 1290 0001 2048 2534

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Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
Here

Sent To Kenny Santos
 Street and Apt. No., or PO Box No. 10772 Tucker St
 City, State, ZIP+4® Beltsville, MD 20705

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Kenny Santos
Santos Realty LLC
10772 Tucker Street
Beltsville, MD 20705

Kenny Santos
Santos Realty LLC
10772 Tucker Street
Beltsville, MD 20705

U.S. Postal Service™
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Domestic Mail Only

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OFFICIAL USE

PS Form 3800, April 2015 PSN 7530-02-000-9047

Street and Apt. No., or PO Box No. Kenny Santos
 City, State, ZIP+4® Beltsville, MD 20705

Certified Mail Fee	\$
Extra Services & Fees (check box, add fee as appropriate)	
<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$
Postage	\$
Total Postage and Fees	\$

Postmark
Here

7020 1290 0001 2048 2534
7020 1290 0001 2048 2534
7020 1290 0001 2048 2534



NOTICE OF VIOLATION

April 22, 2022

*Kenny Santos
Santos Realty LLC
10772 Tucker Street
Beltsville, MD 20705*

CERTIFIED MAIL: 7020 1290 0001 2048 2534

RE: **Illegally installed septic system at 10416 Guilford Rd**

Dear Kenny Santos:

On 2/25/2021 you explained to me in person that on 2/5/2021 you had installed an illegal septic system without a permit at your property at 10416 Guilford Rd. On 3/2/2021 you received a Notice of Violation stating that you had to apply for a septic permit for a holding tank or for a connection to public sewer utilities by 3/12/2021. You missed these deadlines and received another NOV on 4/12/2021 stating that you had to apply for connection to the public sewer utilities, find a contractor to do the connection, and have all work completed by 5/31/21. The NOV also stated that you needed to pump and haul the contents of the sewage disposal system to prevent sewage effluent from coming to grade.

You had septic overflows at the property on 9/21/21 and 10/18/21, and received a citation on 10/21/21.

We met with you in our office on 4/5/2022 to discuss the nature of the violation and connection status. It has now been over a year since you received the first NOV for the installation of the illegal septic system.

Be advised that performing septic repair work without a permit is a violation of the Howard County Code 3.806.

Sec. 3.806. – Permit Required

(a) Sewage Disposal Permit; Minor Septic Repair Permit.

Maura J. Rossman, M.D., Health Officer

(1)When required. Where a public sewage disposal system is not available and construction is contemplated for a building for human occupancy or use, or an addition to or alteration of any existing on-site sewage disposal system is proposed, the master plumber, disposal system contractor, or owner shall, prior to beginning any construction, make an application to the approving authority for a minor septic repair permit or an on-site sewage disposal permit in accordance with the requirements of this section and subsection 12.106(a) of the Howard County Code in order to perform the necessary installation or modification to the existing on-site sewage disposal system.

For you to bring the said property into compliance, you are hereby ordered to:

Apply for a septic tank replacement permit for a holding tank by 5/6/22. You are ordered to begin installation of the properly designed holding tank by 5/13/22 and complete the installation with Health Department approval of the septic permit by 5/30/22

or

Connect to public sewer through the Howard County Department of Public Works by 5/6/22

Failure to comply will result in the issuance of a civil citation(s). Under Howard County Code, paragraph 12.112, each day this violation is allowed to occur is considered a separate offense. A first offense shall be a Class E violation, a second offense shall be a Class D offense, and subsequent violations shall be Class B offenses.

The associated fines are as follows:

Class of Offense	Minimum Fine	Maximum Fine
A	\$500.00	\$1,000.00
B	250.00	500.00
C	100.00	250.00

Maura J. Rossman, M.D., Health Officer

Class of Offense	Minimum Fine	Maximum Fine
D	50.00	100.00
E	25.00	50.00

If you believe that the condition described above is not and could not be a hazard to health, or that the Health Department is not acting in compliance with pertinent laws and regulations, you may request a formal hearing before the Board of Health within 15 (fifteen) days of receipt of this letter. All requests are to be made in writing and directed to the Executive Secretary of the Board of Health at the above address.

If you have any questions regarding this letter, please contact me at 410-313-1771.




Susan Thomas


Environmental Health Specialist I LEHS, REHS/RS
Well and Septic Program


20' PUBLIC SEWER & UTILITY EASEMENT LINE TABLE		
LINE	BEARING	DISTANCE
L1	S76° 03' 09"W	139.86'
L2	S76° 03' 09"W	4.78'
L3	S41° 09' 03"W	155.35'
L4	S34° 22' 28"W	24.20'
L5	N55° 37' 08"W	20.00'
L6	N34° 22' 28"E	25.38'
L7	N41° 09' 03"E	162.97'
L8	N76° 03' 13"E	324.53'
L9	S14° 34' 23"E	20.00'
L10	S76° 03' 09"W	173.94'





 20' PUBLIC SEWER & UTILITY EASEMENT TOTAL AREA 10,130 SF (0.2325 AC.)

LEGEND

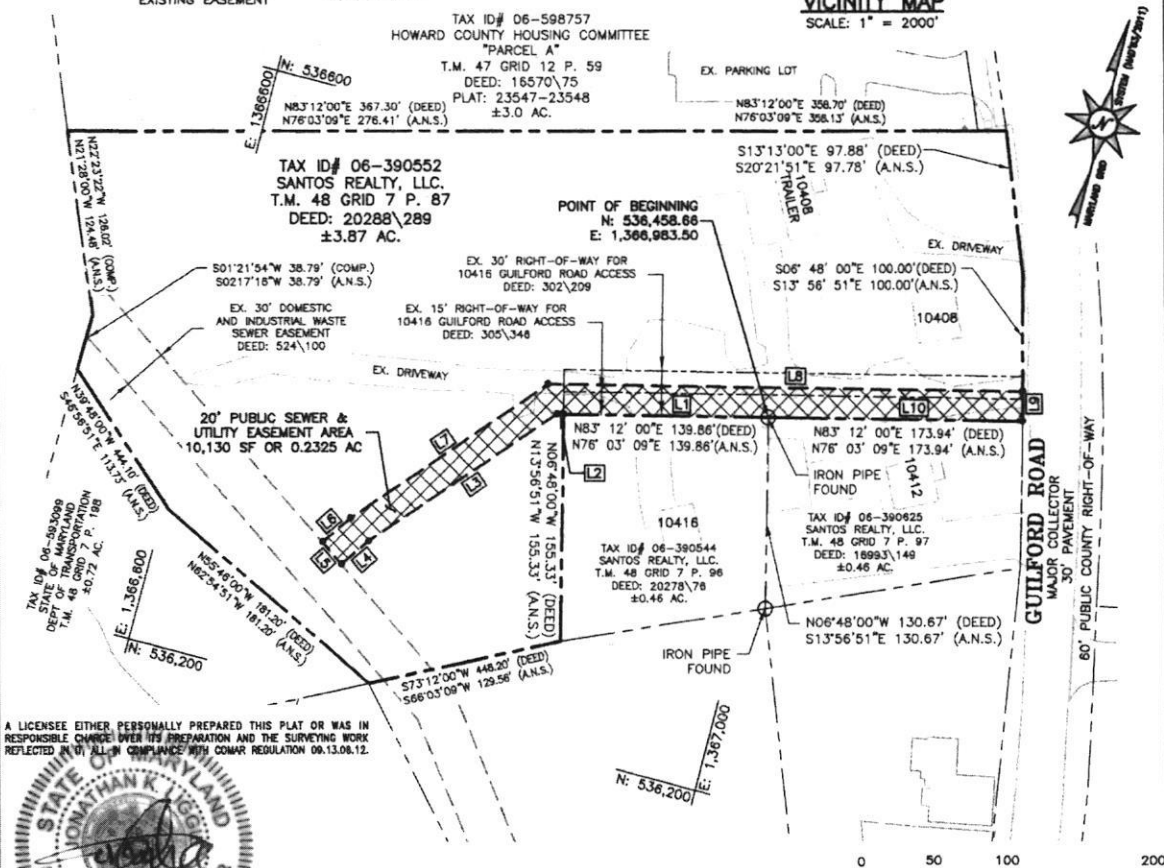
IRON PIPE FOUND 

EXISTING PROPERTY LINE 

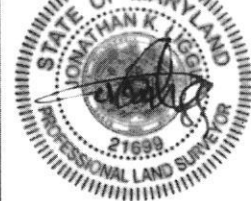
EXISTING RIGHT-OF-WAY 

EXISTING EASEMENT 

HOWARD COUNTY ADC MAP MAP COPYRIGHT © ADC THE MAP PEOPLE, COORDINATES: (800) 829-6277 MAP 20 GRID E-7 PERMITTED USE NUMBER BJED80723



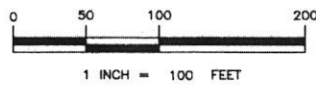
A LICENSEE EITHER PERSONALLY PREPARED THIS PLAT OR WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED IN IT, ALL IN COMPLIANCE WITH COMAR REGULATION 09.13.06.12.



JONATHAN K. LIGGIE RPLS DATE 12/14/2021
 MARYLAND REGISTERED PROFESSIONAL LAND SURVEYOR
 MARYLAND LICENSE NUMBER: 21699
 LICENSE EXPIRATION DATE: 06/04/2024
 LIGGIE SURVEYS, INC.
 5268 NICHOLSON LANE, STE. G234
 KENSINGTON, MARYLAND 20895
 WWW.LIGGIESURVEYS.COM (202) 702-7995

ABBREVIATIONS KEY

- AC. ACRES
- A.N.S. AS NOW SURVEYED
- COMP. COMPUTED
- EX. EXISTING
- FND. FOUND
- GRD. GRID
- MON. MONUMENT
- SF. SQUARE FEET
- P. PARCEL
- T.M. TAX MAP
- TYP. TYPICAL



EASEMENT PLAT PREPARED BY:

Bayland Consultants & Designers, Inc.
"Integrating Engineering and Environment"
 2455 New Ridge Road, Suite T Phone: (410) 694-9481
 Hanover, Maryland 21076 Fax: (410) 694-9485
 www.baylandinc.com

CONTRACT NO: 24-5183-D
PLAT NO. 24-5183-D-1
SCALE: 1" = 100'
DATE: 12/14/2021
DRAWN BY: KR / VG
CHECKED BY: JKL
SHEET NUMBER: 1 OF 1

20' PUBLIC SEWER & UTILITY EASEMENT
 SANTOS REALTY, LLC.
 (LIBER 20288 FOLIO 289)
 TO
 HOWARD COUNTY, MARYLAND
 TAX MAP 48 GRID 7 PARCEL 87
 TAX ID# 06-390552
 6TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND

APPROVED:
DEVELOPMENT ENGINEERING DATE
REAL ESTATE SERVICES DIVISION DATE

application for assignment in Sept

Application for assignment - for 10412 - 2018
Vpu
OP

elastic has invoices

Forgot to pump month

Vpu ops

104108 - 236 gallons

104116 - 1500 gallons - holding tank

↳ not connected opw ops

2160

old concrete tanks - with cracks

- no gauges

- no alarms

16" below grade -
placed in old tank
location

old

real estate developer "snow stopped work"

Larry Santos

10772 TUCKER ST.
BELTSVILLE MD 20705

Cell # 240 882-8144

Santos Realty

owned this property for 1 year

2 weeks ago septic work

6/7/22

10416 Guilford - Holding tank

2 bedrooms

7 days

$$150 \frac{\text{gallons}}{\text{day}} \times 2 \text{ bedrooms} \times 7 \text{ days} = 2,100 \text{ gallons}$$

10408 Guilford - OSDS

2 bedrooms

bottom 6'

effective area starts 3.5'

$$150 \frac{\text{gallons}}{\text{day}} \times 2 \text{ bedrooms} = 300 \frac{\text{gallons}}{\text{day}}$$

$$300 \text{ gpd} \div 0.8 = 375 \text{ sq ft}$$

$$375 \text{ sq ft} / 3 \text{ ft} = 125'$$

$$125' \times 0.55 = 68.75'$$

design

1500 gal tank ¹²⁵⁰~~1500~~ gal pump tank

inlet 3'
bottom 6'

69' trench (2 x 34.5' trenches)

effective area 2.5'

Pump
12' elevation diff from tank to top trench
12' + 5' (pump in tank) = 17' of head
1/2 HP pump

Kenny Santos, John Hendricks, Kevin Wolf, Susan Thomas 4/5/22
Developer's agreement still in process - do not ~~know~~^{ow} when ~~the~~ connection will happen

email to follow up

Letter to HCHD by Tue on when connection happens

• Interim permit -

• Holding tank has agreement signed by ~~the~~ deed property

Follow up email - (summarize)

COB Tuesday

↳ officially in writing from you -

Supply from County (wherever)

make determination about how to proceed

bring well into potability standards

↳ is well connected?? water quality issues? Has it been tested?

well needs to be sealed ~~or~~ unless it's in use



Typical view of wooded floodplain in the rear portion of 10408 Guilford Road.

2/25/21 Pink is a well (not in use) and green is plastic tank and possible ~~ten~~ trenches





2020 Aerial Photo of 10408, 10412, & 10416 Guilford Road



Photo looking down the shared driveway where the sewer line is proposed



Photo along the proposed house connection for 10416 Guilford Road. Note ex. holding tank.

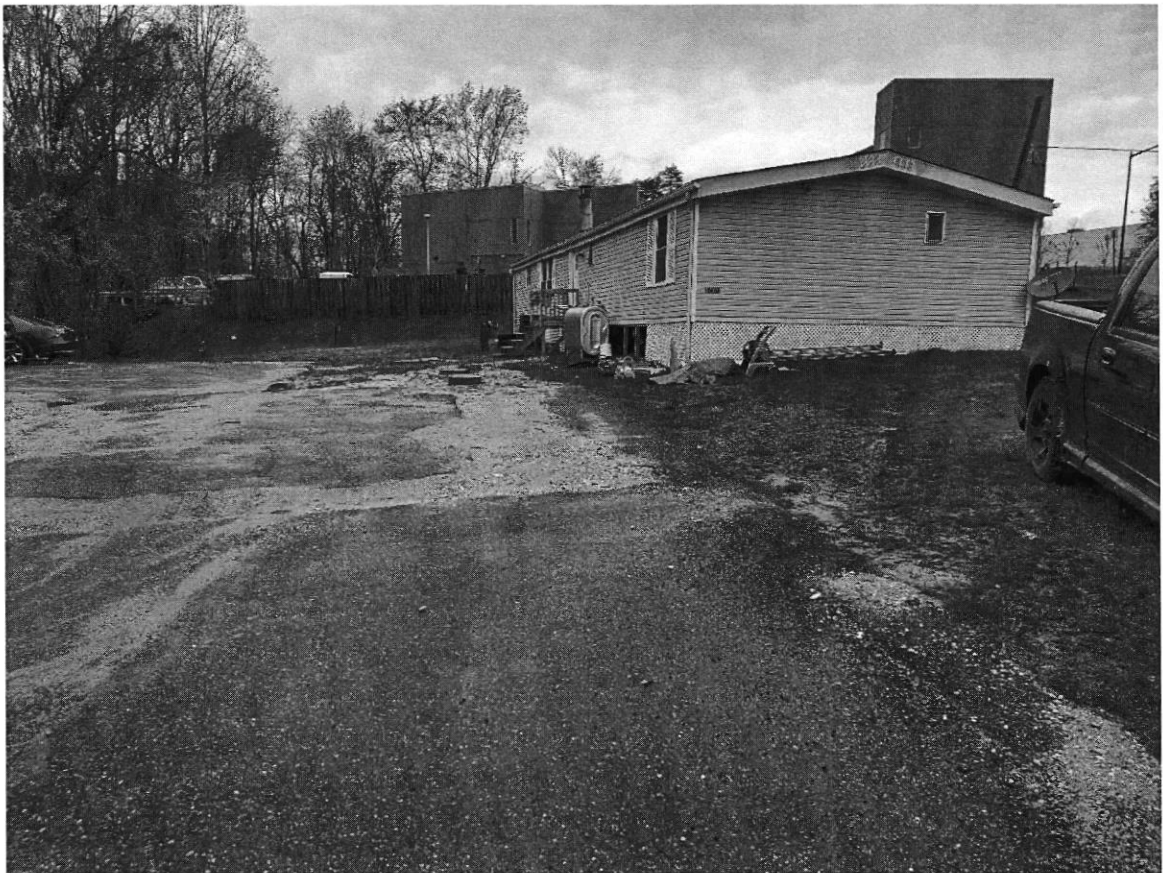


Photo of holding tanks behind the mobile home at 10408 Guilford Road

QUANTITIES				
ITEM	ESTIMATED	QUANTITIES	AS-BUILT	SUPPLIER
SEWER MAIN				
8" SS (PVC SCH-40)	374 LF			
4" SS (PVC SCH-40)	316 LF			
4" MANHOLE (HD CO. STD G-5-12)	3			
DOORHOUSE MANHOLE (HD CO. STD G-5-14)	1			
CLEANOUT	5			
4" A/R	1			
NAME OF UTILITY CONTRACTOR:				
SURVEY & DRAFTING DIVISION AS-BUILT DATE:				

GUILFORD ROAD

10408, 10412 AND 10416 GUILFORD ROAD

SEWER CONNECTIONS

HOWARD COUNTY, MARYLAND

PRELIMINARY CONSTRUCTION PLANS

CONTRACT NO. 24-5183-D



SHEET INDEX	
SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	PLAN & PROFILE
3	EROSION SEDIMENT CONTROL NOTES

GENERAL NOTES

- APPROPRIATE LOCATIONS OF EXISTING MAINS ARE SHOWN. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT EXISTING MAINS AND SERVICES AND MAINTAIN UNINTERRUPTED SERVICE. ANY DAMAGE INCURRED SHALL BE REPAIRED IMMEDIATELY TO THE SATISFACTION OF THE ENGINEER AT THE CONTRACTOR'S EXPENSE.
- TOPOGRAPHIC SURVEY PERFORMED BY BERLAND CONSULTANTS & DESIGNERS, INC., DATED APRIL 1, 2021 AND APRIL 12, 2021.
- HORIZONTAL AND VERTICAL CONTROL ESTABLISHED FROM REAL TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) CONTROL POINTS. BENCHMARKS ARE AS SPECIFIED. COORDINATES AND ELEVATIONS SHOWN HEREON ARE REFERRED TO THE NAD83 DATUM. ELEVATIONS SHOWN HEREON ARE REFERRED TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83).
- THE PROJECT IS WITHIN FEMA FLOODPLAIN LIMITS (ZONE AE), SHOWN ON FEMA FIRMS MAP #2402701700 EFFECTIVE NOVEMBER 6, 2015.
- THERE ARE NON-TREE WETLANDS AND ASSOCIATED BUFFERS WITHIN THE PROJECT LIMITS. LETTERS REQUESTING NECESSARY DISTURBANCE AND AUTHORIZATION FOR TEMPORARY DISTURBANCE IN THESE ENVIRONMENTALLY SENSITIVE AREAS HAVE BEEN SUBMITTED.
- THE PROJECT SITE IS NOT LOCATED WITHIN THE CHESAPEAKE BAY CRITICAL AREA.
- ALL PIPE ELEVATIONS SHOWN ARE INVERT ELEVATIONS UNLESS OTHERWISE NOTED ON THE PLANS.
- CLEAR ALL UTILITIES BY A MINIMUM OF 12 INCHES. CLEAR ALL POLES BY 3'-0" MINIMUM OR TUNNELS AS REQUIRED UNLESS OTHERWISE NOTED. THE OWNER HAS CONDUCTED THE UTILITY COMPASS AND HAS MARKED MANHOLE VOLUMES. STANDARD SPECIFICATIONS AND DETAILS FOR CONNECTION (LATEST EDITION). THE CONTRACTOR SHALL HAVE A COPY OF "VOLUME 9" ON THE SITE.
- FOR DETAILS NOT SHOWN ON THE DRAWING AND FOR MATERIALS AND CONSTRUCTION METHODS, USE HOWARD COUNTY DESIGN MANUAL, VOLUME 9, STANDARD SPECIFICATIONS AND DETAILS FOR CONNECTION (LATEST EDITION). THE CONTRACTOR SHALL HAVE A COPY OF "VOLUME 9" ON THE SITE.
- WHERE TEST PITS HAVE BEEN MADE ON EXISTING UTILITIES, THEY ARE NOTED BY THE SYMBOL AT THE LOCATIONS OF THE TEST & NOTE OR NOTES CONTAINING THE RESULTS OF THE TEST PIT OR PITS INCLUDING THE DRAWING. EXISTING UTILITIES IN THE VICINITY OF THE PROPOSED WORK FOR WHICH TEST PITS HAVE NOT BEEN DONE SHALL BE LOCATED BY THE CONTRACTOR TWO WEEKS IN ADVANCE OF CONSTRUCTION OPERATIONS AT HIS OWN EXPENSE.
- THE CONTRACTOR SHALL NOTIFY THE FOLLOWING UTILITY COMPANIES OR AGENCIES AT LEAST FIVE WORKING DAYS BEFORE STARTING WORK SHOWN ON THESE PLANS:

STATE	410-221-1133
WATER	410-637-8713
SEWER (CONTRACTOR SERVICES)	410-688-0112
SEWER (EMERGENCY)	410-313-4800
BUREAU OF UTILITIES	410-362-1390
COLORADO PIPELINE CO.	800-257-7777
MISC. UTILITIES	410-531-5513
STATE HIGHWAY ADMINISTRATION	800-743-0033
- TREES AND SHRUBS ARE TO BE PROTECTED FROM DAMAGE TO THE MAXIMUM EXTENT. TREES AND SHRUBS LOCATED OUTSIDE THE LIMIT OF DISTURBANCE ARE NOT TO BE REMOVED OR DAMAGED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL REMOVE TREES, STUMPS AND ROOTS ALONG THE LINE OF EXCAVATION. PERMIT FOR SUCH REMOVAL SHALL BE INCLUDED IN THE UNIT PRICE AND FOR CONSTRUCTION OF THE MAIN.
- THE CONTRACTOR SHALL NOTIFY THE BUREAU OF HIGHWAYS, HOWARD COUNTY, AT (410) 213-7800 AT LEAST FIVE WORKING DAYS BEFORE OPEN CUTTING OR BOMBING/JACKING OF ANY COUNTY ROAD FOR LIVING WATER/SEWER MAINS OR HOUSE CONNECTIONS. THE APPROVAL OF THESE CHANGES WILL CONSTITUTE COMPLIANCE WITH DPM REQUIREMENTS PER SECTION 18.11(A) OF THE HOWARD COUNTY CODE.

PART 1 - WATER MAINS

THERE ARE NO WATER MAINS ON THIS PROJECT.

PART 2 - SEWER MAINS

- ALL SEWER MAINS SHALL BE 8" OR 12" P.V.C. UNLESS OTHERWISE NOTED.
- ALL MANHOLES SHALL BE 4'-0" HOSE DIAMETER UNLESS OTHERWISE NOTED.
- FORCE MAINS SHALL BE 8" OR 12" ONLY.
- MANHOLES SHALL BE 12" AND 18" WALLS ARE FOR BRICK MANHOLES ONLY.
- MANHOLES DESIGNATED W.T. IN PLAN AND PROFILE SHALL HAVE WATERPROOF FRAME AND COVER. STANDARD DETAIL 05-52 WHERE WATERPROOF FRAME AND COVER ARE USED, SET TOP OF FRAME 1'-6" ABOVE FINISHED GRADE UNLESS OTHERWISE NOTED ON THE DRAWINGS.
- HOUSES WITH THE SYMBOL C.N.S. INDICATES THAT CELLAR CANNOT BE SERVED.

SEQUENCE OF CONSTRUCTION

- | | |
|--|----------------|
| STEP 1 - ESTABLISH ALL PERMITS HAVE BEEN OBTAINED. PERMITS SHALL BE DISPLAYED ON SITE AT ALL TIMES THROUGHOUT THE DURATION OF THE PROJECT. | 1 DAY |
| STEP 2 - CONTRACTOR SHALL CONTACT AREA UTILITY A MINIMUM OF 7 DAYS BEFORE PLACING CONSTRUCTION MARKS OR INSTALLING TURN ARROWS TO MARK THE LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ACCESS ROUTE. CONTRACTOR SHALL MAINTAIN CLEAR MARKINGS OF ALL UNDERGROUND UTILITY LOCATIONS THROUGHOUT THE PROJECT. | 1 DAY |
| STEP 3 - NOTIFY THE DEPARTMENT OF INSPECTIONS AND PERMITS (410-313-2400) FORTY-EIGHT (48) HOURS PRIOR TO COMMENCING WORK, AND ADE. INSPECTIONS AND COMPLIANCE (202-685-2850) AT LEAST TEN (10) DAYS PRIOR TO COMMENCING ANY WORK. WORKING COMMENCEMENT MUST BE PERMITTED BY THE RESPONSIBLE PERSONNELS HAVE MET ON SITE WITH THE SEGMENT AND EROSION CONTROL INSPECTOR TO REVIEW THE APPROVED PLANS. | 1 DAY |
| STEP 4 - HOLD A PRE-CONSTRUCTION MEETING BETWEEN PROJECT REPRESENTATIVES, INCLUDING BUT NOT LIMITED TO SAVITS REALTY, LLC, REPRESENTATIVES, ENGINEERS, CONTRACTORS, UTILITY REPRESENTATIVES, GRADING INSPECTOR, ETC. | 1 DAY |
| STEP 5 - CLEAR PROJECT AREA OF ANY TRASH AND DEBRIS. DISPOSE OFF-SITE TO AN APPROVED DISPOSAL SITE. | 2 DAYS |
| STEP 6 - CONSTRUCT SEWER MAINS CONNECTIONS AS PER PLANS. OPEN TRENCHES SHALL BE BACKFILLED AND ALL DISTURBED AREAS SHALL BE STABILIZED AND ACCURATE WITH THE STABILIZATION NOTES ON SHEET 3 OF 3 AT THE END OF EACH WORK DAY. NO MORE THAN 3 PIPE LENGTHS OF TRENCH MAY BE OPEN AT ANY ONE TIME. | 20 DAYS |
| STEP 7 - PERMANENTLY STABILIZE THE PROJECT SITE ACCORDING TO SPECIFICATIONS. | 2 DAYS |
| STEP 8 - ONCE THE SITE IS FULLY STABILIZED AND APPROVED BY THE INSPECTOR, REMOVE SEWER MAIN PILES, AND SEGMENT & EROSION CONTROL MEASURES. STABILIZE REMAINING AREAS DISTURBED. | 2 DAYS |
| TOTAL: | 30 DAYS |



LOCATION MAP
SCALE: 1" = 800'

TYPE OF BUILDING:	SINGLE FAMILY HOMES (S.F.H.)
NUMBER OF SEWER HOUSE CONNECTION (SHC):	4
NUMBER OF WATER HOUSE CONNECTION (WHC):	0
DRAINAGE AREA:	LITTLE PATUXENT
TREATMENT PLANT:	LITTLE PATUXENT WATER RECLAMATION PLANT

ABBREVIATIONS

- BF - BASEMENT FLOOR
- C.E. - CELLAR ELEVATION
- CO. - CLANDID
- CONTR. - CONTRACT
- ELEV. - ELEVATION
- EX. - EXISTING
- FF - FINISHED FLOOR
- FT. - FEET
- HD. CO. - HOWARD COUNTY
- HW. - WATER
- LF - LINEAR FEET
- PR. - PROPOSED
- SHC - SEWER HOUSE CONNECTION
- STD. - STANDARD
- STA. - STATION
- TYP. - TYPICAL
- WHC - WATER HOUSE CONNECTION

LEGEND

- 8" P.V.C. SCH-40
- 12" P.V.C. SCH-40
- 4" MANHOLE
- 4" CLEANOUT
- 4" A/R
- 4" W.P. MANHOLE
- 4" W.P. CLEANOUT
- 4" W.P. A/R
- 4" W.P. MANHOLE
- 4" W.P. CLEANOUT
- 4" W.P. A/R

PROJECT INFORMATION

- OWNER/DEVELOPER: SAVITS REALTY, LLC
CONTACT: KENNETH SANTOS
- OWNER/DEVELOPER INFORMATION: 10772 FUCHER STREET
BELTSVILLE, MD 20705
240-982-8144
- ENGINEER: BERLAND CONSULTANTS & DESIGNERS, INC.
8/10/21
- ENGINEER INFORMATION: 7455 NEW RIDGE ROAD, SUITE T
HANOVER, MARYLAND 21078
PH: 410-684-9401
- TAX MAP: 48
- PARCEL: 87 (10408)
87 (10412)
86 (10416)
- DEED REF.: 2008/289 (10408)
1893/149 (10412)
20278/74 (10416)
- DISTRICT: 06
- ZONING: M-2
- USE: COMMERCIAL/RESIDENTIAL
- PROPERTY AREA: 3.87 ACRES (10408)
0.48 ACRES (10412)
0.45 ACRES (10416)
- WATERSHED: LITTLE PATUXENT RIVER

ENGINEER'S CERTIFICATION

I HEREBY CERTIFY THAT THIS PLAN FOR SEGMENT AND EROSION CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

JORRIS RAY HENRICHS
PRINTED NAME

OWNER'S/DEVELOPER'S CERTIFICATION

I/WE CERTIFY THAT ALL DEVELOPMENT AND/OR CONSTRUCTION WILL BE DONE ACCORDING TO THESE PLANS FOR SEGMENT AND EROSION CONTROL, AND THAT ALL RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEGMENT AND EROSION BEFORE BEGINNING THE PROJECT. I ALSO AUTHORIZE PERIODIC ON-SITE INSPECTIONS BY THE HOWARD SOIL CONSERVATION DISTRICT.

OWNER/DEVELOPER SIGNATURE: _____ DATE: _____

KENNETH SANTOS
PRINTED NAME

SEWER SERVICE AS-BUILT LOCATION TABLE

LOT NO.	STREET ADDRESS	LOCATION DIMENSION #1	LOCATION DIMENSION #2
1	10408 GUILFORD ROAD		
2	10412 GUILFORD ROAD		
3	10416 GUILFORD ROAD		

THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.	APPROVED FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS
HOWARD SOIL CONSERVATION DISTRICT	COUNTY HEALTH OFFICER HOWARD COUNTY HEALTH DEPARTMENT
APPROVED: DEPARTMENT OF PUBLIC WORKS	APPROVED: DEPARTMENT OF PLANNING AND ZONING
CHEF, BUREAU OF UTILITIES	CHEF, DEPARTMENT OF ENGINEERING SERVICES

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14920, EXPIRATION DATE: 09/12/2022.

Berland Consultants & Designers, Inc.
"Integrating Engineering and Environment"

7455 New Ridge Road, Suite T Phone: (410) 684-9401
Hanover, Maryland 21076 Fax: (410) 684-9495
www.berlandinc.com
BAYLAND JOB NO. 8-37301

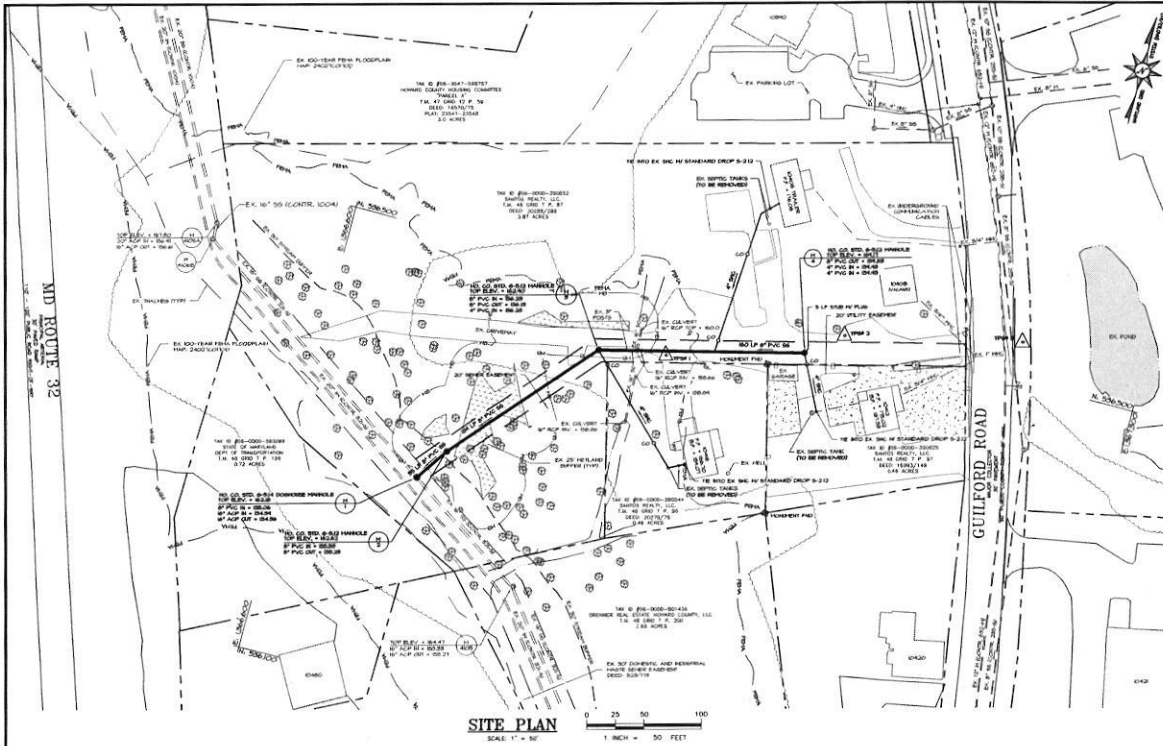
DESIGNED BY: JH			
DRAWN BY: KR			
CHECKED BY: JH			
DATE: 08/10/21	BY NO.	REVISION	DATE

SEWER CONNECTIONS
COVER SHEET

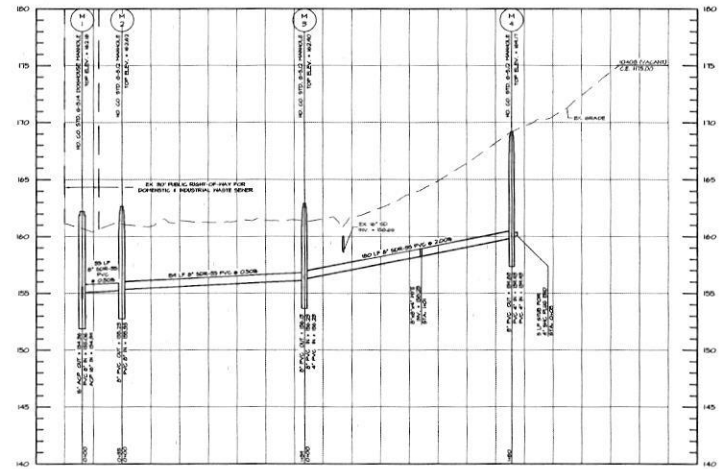
600 SCALE MAP NO. 20 BLOCK NO. 7

GUILFORD ROAD
10408, 10412 AND 10416
TAX MAP 48 GRID 7 PARCEL 87, 97, & 96
ZONE: M-2 ELECTION DISTRICT, 6TH
HOWARD COUNTY, MARYLAND
CONTRACT NO. 24-5183-D

SCALE: AS NOTED
SHEET NO. 1 OF 3



SEWER STRUCTURE TABLE		
STRUCTURE NAME	STRUCTURE DETAILS	COORDINATES
M 1	HO. CO. STD. G-5.14 DOORHOUSE MANHOLE RM = 162.19 8" PVC INV IN = 155.08 18" ACP INV IN = 154.39 16" ACP INV OUT = 154.36	N: 536284.18 E: 1366713.37
M 2	HO. CO. STD. G-5.12 MANHOLE RM = 162.82 8" PVC INV IN = 155.53 8" PVC INV OUT = 155.23	N: 536312.86 E: 1366732.86
M 3	HO. CO. STD. G-5.12 MANHOLE RM = 162.80 8" PVC INV IN = 156.23 4" PVC INV IN = 156.23 8" PVC INV OUT = 156.13	N: 536432.78 E: 1366837.58
M 4	HO. CO. STD. G-5.12 MANHOLE RM = 158.71 4" PVC INV IN = 159.93 4" PVC INV IN = 159.93 8" PVC INV OUT = 159.83	N: 536476.16 E: 1367012.47



PROFILE PR. MAIN SEWER LINE

SCALE: HORIZ. 1" = 50'
VERT. 1" = 5'

SEWER HOUSE CONNECTION CHART								
NOTE: SEWER HOUSE CONNECTIONS OUTSIDE THE UTILITY EASEMENT ARE TO BE PRIVATE								
STATION	LOT/ADDRESS	INVERT AT MAIN/MANHOLE	INVERT AT EASEMENT	INVERT AT SHC	M.C.E.	B.F.	F.F.	NOTES
+106.78	10408 (TRAILER)	158.25	158.48	161.02	163.52	-	176.06	SHC @ 2.0K
0	MANHOLE M4	159.83	160.13	161.76	165.03	167.53	175.02	SHC @ 2.0K
0	MANHOLE M3	156.23	156.35	157.57	160.07*	159.07	166.70	SHC @ 2.0K

* EXISTING SHC INVERT FOR 10416 AT THE BUILDING WALL IS +161.1

APPROVED: DEPARTMENT OF PUBLIC WORKS
APPROVED: DEPARTMENT OF PLANNING AND ZONING

Bayland
Consultants & Designers, Inc.
"Integrating Engineering and Environment"
7455 New Ridge Road, Suite T Phone: (410) 694-9401
Hanover, Maryland 21076 Fax: (410) 694-9485
www.baylandinc.com
BAYLAND JOB NO. 8.37501

DESIGNED BY: JH
DRAWN BY: KR
CHECKED BY: JH
DATE: 08/10/21 BY NO. REVISION DATE 600 SCALE MAP NO. 20. BLOCK NO. 7

SEWER CONNECTIONS
PLAN & PROFILE

GUILFORD ROAD
10408, 10412 AND 10416
TAX MAP 48 GRID 7 PARCEL 87, 97, & 96
ZONE: M-2 ELECTION DISTRICT: 6TH
HOWARD COUNTY, MARYLAND
CONTRACT NO. 24-5183-D

SCALE: AS NOTED
SHEET NO. 2 OF 3

B-4-2 STANDARDS AND SPECIFICATIONS FOR SOIL PREPARATION, TOPSOILING, AND SOIL AMENDMENTS

DEFINITION: THE PROCESS OF PREPARING THE SOILS TO SUSTAIN ADEQUATE VEGETATIVE STABILIZATION.
PURPOSE: TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH.
CONDITIONS WHERE PRACTICE APPLIES: WHERE VEGETATIVE STABILIZATION IS TO BE ESTABLISHED.

CRITERIA

A. SOIL PREPARATION

1. **TEMPORARY STABILIZATION**
 - a. SEEDING PREPARATION CONSISTS OF LOOSENING SOIL TO A DEPTH OF 3 TO 8 INCHES BY MEANS OF SUITABLE EQUIPMENT OR CONSTRUCTION EQUIPMENT, SUCH AS DISC HARROWS OR CHISEL PLOWS OR RIPPERS MOUNTED ON THE REAR OF A TRACTOR OR OTHER POWERED EQUIPMENT. DISKS OR CHISELS SHOULD BE SET IN THE REARWARD POSITION, SLOPES 3:1 OR FLATTER ARE TO BE TRACKED WITH RIGIDS RUNNING PARALLEL TO THE CONTOUR IF THE SLOPE.
 - b. APPLY FERTILIZER AND LIME AS PRESCRIBED ON THE PLANS.
 - c. INCORPORATE LIME AND FERTILIZER INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
2. **PERMANENT STABILIZATION**
 - a. SOIL TEST IS REQUIRED FOR EVERY EARTH DISTURBANCE OF 5 ACRES OR MORE. THE MINIMUM SOIL CONDITIONS REQUIRED FOR PERMANENT VEGETATIVE STABILIZATION ARE:
 - i. SOIL PH BETWEEN 6.0 AND 7.0.
 - ii. SOLUBLE SALTS LESS THAN 500 PARTS PER MILLION (PPM).
 - b. SOIL CONTAINS SUFFICIENT PORE SPACE TO PERMIT ADEQUATE ROOT PENETRATION.
 - c. APPLICATION OF AMENDMENTS OR TOPSOIL IS REQUIRED IF ON-SITE TESTS DO NOT MEET THE ABOVE CONDITIONS.
 - d. GRADED AREAS MUST BE MAINTAINED IN A TIGHT AND EVEN GRADE AS SPECIFIED ON THE APPROVED PLAN, THEN SLOPED OR OTHERWISE SLOPED TO A DEPTH OF 3 TO 5 INCHES.
 - e. APPLY SOIL AMENDMENTS AS SPECIFIED ON THE APPROVED PLAN OR AS INDICATED BY THE RESULTS OF A SOIL TEST.
 - f. SOIL AMENDMENTS INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS. MAKE LAWN AREAS TO REMAIN THE SURFACE. REMOVE LARGE ROCKS, LIMB STUMPS AND BRANCHES, AND REAR THE AREA FOR SEED APPLICATION. LOOSEN SURFACE SOIL BY DISKING WITH A HEAVY CHAIN OR OTHER EQUIPMENT TO REDUCER THE DEPTH WHERE SEEDS WILL BE PLACED. SOIL MUST BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS.
 - g. WITH TRACKED EQUIPMENT (LEAVING THE SOIL IN AN UNBROKEN CONDITION WITH RIDGES RUNNING PARALLEL TO THE CONTOUR OF THE SLOPE) LEAVE THE TOP 1 TO 5 INCHES OF SOIL LOOSE AND FRIABLE. SEEDING/ LOGGING MAY BE UNNECESSARY ON NEWLY DISTURBED AREAS.

3. **TOPSOILING**
 - a. TOPSOIL IS PLACED OVER PREPARED SUBSTRUM PRIOR TO ESTABLISHMENT OF PERMANENT VEGETATION. THE PURPOSE IS TO PROVIDE A SUITABLE SOIL MEDIUM FOR VEGETATIVE GROWTH. SOILS OF CONCERN HAVE LOW MOISTURE CONTENT, LOW NUTRIENT LEVELS, LOW PH, MATERIALS TOXIC TO PLANTS, AND/OR UNACCEPTABLE SOIL GRAIN SIZE.
 - b. TOPSOIL SALVAGED FROM AN EXISTING SITE MAY BE USED PROVIDED IT MEETS THE STANDARDS AS SET FORTH IN THESE SPECIFICATIONS. TYPICALLY, THE DEPTH OF TOPSOIL TO BE SALVAGED FOR A GIVEN SOIL TYPE CAN BE FOUND IN THE REPRESENTATIVE SOIL PROFILE SECTION IN THE SOIL SURVEY PUBLISHED BY USDA-NRCS.
 - c. TOPSOILING IS LIMITED TO AREAS HAVING 2:1 OR FLATTER SLOPES WHERE:
 - i. THE TEXTURE OF THE EXPOSED SUBSTRUM/ WENT MATERIAL IS NOT ADEQUATE TO PRODUCE VEGETATIVE GROWTH.
 - ii. THE SOIL MATERIAL IS SO SHALLOW THAT THE ROOTING ZONE IS NOT DEEP ENOUGH TO SUPPORT PLANTS OR FURNISH CONTAINING SUPPLIES OF MOISTURE AND PLANT NUTRIENTS.
 - iii. THE ORIGINAL SOIL TO BE VEGETATED CONTAINS MATERIAL TOXIC TO PLANT GROWTH.
 - iv. THE SOIL IS SO ACIDIC THAT TREATMENT WITH LIMESTONE IS NOT FEASIBLE.
 - d. AREAS HAVING SLOPES STEEPER THAN 2:1 REQUIRE SPECIAL CONSIDERATION AND DESIGN.
 - e. TOPSOIL SPECIFICATIONS: SOIL TO BE USED AS TOPSOIL MUST MEET THE FOLLOWING CRITERIA:
 - i. TOPSOIL MUST BE A LOAM, LOAMY LOAM, CLAY LOAM, SBT LOAM, SANDY CLAY LOAM, OR LOAMY SAND. OTHER SOILS MAY BE USED IF RECOMMENDED BY AN AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY. TOPSOIL MUST NOT BE A MATURE OF CONTRASTING TEXTURED SUBSOILS AND MUST CONTAIN LESS THAN 5 PERCENT BY VOLUME OF COARSE STONES, SLAG, COARSE FERTILIZER, GRAVEL, ROCKS, TRUNKS, OR OTHER MATERIALS LARGER THAN 1 1/2 INCHES IN DIAMETER.
 - ii. TOPSOIL MUST BE FREE OF NOXIOUS PLANTS OR PLANT PARTS SUCH AS BERBERIS GRASS, QUACK GRASS, JOHNSON GRASS, NET BEED, POISON IVY, THISTLE, OR OTHER AS SPECIFIED.
 - iii. TOPSOIL SUBSTITUTES OR AMENDMENTS, AS RECOMMENDED BY A QUALIFIED AGRONOMIST OR SOIL SCIENTIST AND APPROVED BY THE APPROPRIATE APPROVAL AUTHORITY, MAY BE USED IN LIEU OF NATURAL TOPSOIL.
 - iv. EROSION AND SEDIMENT CONTROL PRACTICES MUST BE MAINTAINED WHEN APPLYING TOPSOIL.
 - v. UNIFORMLY DISTRIBUTED TOPSOIL IN A 3 TO 8 INCH LAYER AND LIGHTLY COMPACT TO A MINIMUM THICKNESS OF 4 INCHES. DISKING IS TO BE PERFORMED IN SUCH A MANNER THAT SOILING OR SEEDING CAN PROCEED WITH A MINIMUM OF ADDITIONAL SOIL PREPARATION AND TILLAGE. ANY IRREGULARITIES IN THE SURFACE RESULTING FROM DISKING OR OTHER OPERATIONS MUST BE CORRECTED IN ORDER TO PREVENT THE FORMATION OF DEPRESSIONS OR "POCKET" SOCKETS.
 - vi. TOPSOIL MUST NOT BE PLACED IF THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MADDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET OR IN A CONDITION THAT MAY OTHERWISE BE DETRIMENTAL TO PROPER GRADING AND SEEDING PREPARATION.

4. **SOIL AMENDMENTS (FERTILIZER AND LIME SPECIFICATIONS)**
 - a. SOIL TESTS MUST BE PERFORMED TO DETERMINE THE EXACT RATES AND APPLICATION RATES FOR BOTH LIME AND FERTILIZER ON TESTS HAVING DISTURBED AREAS OF 5 ACRES OR MORE. SOIL ANALYSIS MAY BE PERFORMED BY A RECOGNIZED PRIVATE OR COMMERCIAL LABORATORY. SOIL SAMPLES TAKEN FOR ENGINEERING PURPOSES MAY ALSO BE USED FOR CHEMICAL ANALYSIS.
 - b. FERTILIZERS MUST BE UNIFORM IN COMPOSITION, FREE FLOWING AND SUITABLE FOR ACCURATE APPLICATION BY APPROPRIATE EQUIPMENT. MANURE MAY BE SUBSTITUTED FOR FERTILIZER WITH PRIOR APPROVAL FROM THE APPROPRIATE APPROVAL AUTHORITY. FERTILIZERS MUST ALL BE DELIVERED TO THE SITE FULLY LABELED ACCORDING TO THE APPLICABLE LAWS AND MUST BEAP THE NAME, TRADE NAME OR TRADEMARK AND WARRANTY OF THE PRODUCER.
 - c. LIME MATERIALS MUST BE GROUND LIMESTONE (HYDRATED OR BURNT LIME) MAY BE SUBSTITUTED EXCEPT WHEN HYDROSEEDING WHICH CONTAINS AT LEAST 50 PERCENT TOTAL OXIDES (CALCIUM OXIDE PLUS MAGNESIUM OXIDE). LIMESTONE MUST BE GROUND TO SUCH FINENESS THAT AT LEAST 90 PERCENT WILL PASS THROUGH A #100 MESH SIEVE AND 95 TO 100 PERCENT WILL PASS THROUGH A #20 MESH SIEVE.
 - d. LIME AND FERTILIZER ARE TO BE EVENLY DISTRIBUTED AND INCORPORATED INTO THE TOP 3 TO 5 INCHES OF SOIL BY DISKING OR OTHER SUITABLE MEANS.
 - e. WHERE THE SOIL IS EITHER HEAVILY ACIDIC OR COMPOSED OF HEAVY CLAYS, SPREAD GROUND LIMESTONE AT THE RATE OF 4 TO 8 TONS/ACRE (200-400 POUNDS PER 1,000 SQUARE FEET) PRIOR TO THE PLACEMENT OF TOPSOIL.

B-4-4 STANDARDS AND SPECIFICATIONS FOR TEMPORARY STABILIZATION

DEFINITION: TO STABILIZE DISTURBED SOILS WITH VEGETATION FOR UP TO 6 MONTHS.
PURPOSE: TO USE FAST GROWING VEGETATION THAT PROTECTS COVER ON DISTURBED SOILS.
CONDITIONS WHERE PRACTICE APPLIES: EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR A PERIOD OF 6 MONTHS OR LESS. FOR LONGER DURATION OF TIME, PERMANENT STABILIZATION PRACTICES ARE REQUIRED.

CRITERIA

1. SELECT ONE OR MORE OF THE SPECIES OR SEED MIXTURES LISTED IN TABLE B.1 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND ENTER THEM IN THE PERMANENT SEEDING SUMMARY BELOW ALONG WITH APPLICATION RATES, SEEDING DATES AND SEEDING DEPTHS. THIS SUMMARY IS NOT PUT ON THE PLAN AND COMPLETED. THEN TABLE B.1 PLUS FERTILIZER AND LIME RATES MUST BE PUT ON THE PLAN.
2. FOR SITES HAVING SOIL TESTS PERFORMED, USE AND SHOW THE RECOMMENDED RATES BY THE TESTING AGENCY. SOIL TESTS ARE NOT REQUIRED FOR TEMPORARY SEEDING.
3. WHEN STABILIZATION IS REQUIRED OUTSIDE OF A SEEDING SEASON, APPLY SEED AND MULCH OR STRAW MULCH ALONG AS PRESCRIBED IN SECTION B-4-4.3.1.8 AND MAINTAIN UNTIL THE NEXT SEEDING SEASON.

TEMPORARY SEEDING SUMMARY

HARDINESS ZONE (FROM FIGURE B.3): 6B		SEED MIXTURE (FROM TABLE B.1): COOL-SEASON GRASSES		FERTILIZER RATE (10-20-20)	LIME RATE
NO.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	SEEDING DEPTHS	
2	BARLEY	95	3/1 - 5/15 8/1 - 10/15	1"	
3	GRASS	72		1"	435 LB/AC (10 LB/1000 SF)
5	CERIAL RYE	112	3/1 - 5/15 8/1 - 11/15	1"	

STANDARD STABILIZATION NOTE

- FOLLOWING WITHIN THE DISTURBANCE OR IS-CONTAMINATED, PERMITS OR TIGHTENING STABILIZATION MUST BE COMPLETED WITHIN:
1. THREE (3) CALENDAR DAYS IN TO THE SURFACE OF ALL PERMITS, DITCHES, DROPPERS, PERMETER SLOPES AND ALL SLOPES STEEPER THAN 1:1 HORIZONTAL TO 1 VERTICAL (D:1 AND S:1).
 2. SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED OR GRADED AREAS ON THE PROJECT SITE NOT UNDER ACTIVE GRADING.

B-4-5 STANDARDS AND SPECIFICATIONS FOR PERMANENT STABILIZATION

DEFINITION: TO STABILIZE DISTURBED SOILS WITH PERMANENT VEGETATION.
PURPOSE: TO USE LONG-LIVED PERENNIAL GRASSES AND LEGUMES TO ESTABLISH PERMANENT GROUND COVER ON DISTURBED SOILS.
CONDITIONS WHERE PRACTICE APPLIES: EXPOSED SOILS WHERE GROUND COVER IS NEEDED FOR 6 MONTHS OR MORE.

CRITERIA

1. **GENERAL SPECIFICATIONS**
 - a. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED IN TABLE B.3 FOR THE APPROPRIATE PLANT HARDINESS ZONE (FROM FIGURE B.3) AND BASED ON THE SITE CHARACTER OR PURPOSES FURNISH FOUR TABLE (ENTER SELECTED SPECIES, APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY). THE SUMMARY IS TO BE PLACED ON THE PLAN.
 - b. ADDITIONAL PLANTING SPECIFICATIONS FOR VEGETATION SUCH AS SHOWNELLS, STRAW MULCH, OR MULCH IS TO BE SPECIFIED ON THE PLAN. PLANTING SHALL BE ACCORDING TO THE SPECIFICATIONS FOR PERMANENT VEGETATION, FIELD OFFICE SOILS, AND LOCAL AGENCY PLANTING.
 - c. FOR SITES HAVING DISTURBED AREA OVER 5 ACRES, USE AND SHOW THE RATES RECOMMENDED BY THE SOIL TESTING AGENCY.
 - d. FOR AREAS BEING LOW MAINTENANCE, APPLY LIME AND FERTILIZER (14-0-0) AT 3 LBS PER 1000 SQUARE FEET (150 POUNDS PER ACRE) AT THE TIME OF SEEDING IN ADDITION TO THE SOIL AMENDMENTS SHOWN IN THE PERMANENT SEEDING SUMMARY.
2. **FERTILIZERS AND LIME**
 - a. AREAS WHERE TOPSOILS MAY BE DESIRED INCLUDE LAWNS, PAVEMENTS, AND COMMERCIAL SITES WHICH WILL RECEIVE A HIGH TO HIGH LEVEL OF MAINTENANCE.
 - b. SELECT ONE OR MORE OF THE SPECIES OR MIXTURES LISTED BELOW BASED ON THE SITE CONDITIONS OR PURPOSE. ENTER SELECTED MIXTURES, APPLICATION RATES, AND SEEDING DATES IN THE PERMANENT SEEDING SUMMARY. THE SUMMARY IS TO BE PLACED ON THE PLAN.
 - c. KENTUCKY BLUEGRASS: FULL SUN MIXTURE FOR USE IN AREAS THAT RECEIVE INTERMEDIATE MANAGEMENT INCLUDING THE AREAS OF CENTRAL HIGHLAND AND EASTERN SHORE. RECOMMENDED CERTIFIED KENTUCKY BLUEGRASS CULTIVARS INCLUDING WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL WEIGHT BY WEIGHT:
 - i. KENTUCKY BLUEGRASS: FULL SUN MIXTURE FOR USE IN FULL SUN AREAS WHERE HIGH MAINTENANCE IS NECESSARY AND WHEN TURF WILL RECEIVE MEDIAN TO INTENSIVE MANAGEMENT. CERTIFIED PERENNIAL GRASSES CONTAINING AT LEAST 90 PERCENT CERTIFIED KENTUCKY BLUEGRASS SEEDING RATE: 3 POUNDS MIXTURE PER 1000 SQUARE FEET. CHOOSE A MIXTURE OF THREE KENTUCKY BLUEGRASS CULTIVARS WITH EACH RANGING FROM 10 TO 35 PERCENT OF THE TOTAL WEIGHT BY WEIGHT.
 - ii. TALL FESCUE: FULL SUN MIXTURE FOR USE IN BROADWAY PROBE AREAS AND/OR FOR AREAS REQUIRING TURF TO WITHSTAND THE APPROVAL OF A HIGH MAINTENANCE. RECOMMENDED MIXTURE INCLUDES CERTIFIED TALL FESCUE CULTIVARS TO 10 TO 100 PERCENT. CERTIFIED KENTUCKY BLUEGRASS CULTIVARS TO 0 TO 8 PERCENT. SEEDING RATE: 2 TO 3 POUNDS PER 1000 SQUARE FEET. ONE OF TWO CULTIVARS MAY BE REPLACED.
 - iii. KENTUCKY BLUEGRASS/TALL FESCUE: SHADE MIXTURE FOR USE IN AREAS WITH SHADE IN BLUEGRASS ESTABLISHMENT. RECOMMENDED MIXTURES INCLUDES TALL FESCUE CULTIVARS TO 10 TO 100 PERCENT. CERTIFIED KENTUCKY BLUEGRASS CULTIVARS TO 0 TO 40 PERCENT AND VARIETIES TALL FESCUE AND NO TO 70 PERCENT SEEDING RATE: 1.5 TO 3 POUNDS PER 1000 SQUARE FEET.

3. **SOILS SELECT TURFGRASS VARIETIES FROM THOSE LISTED IN THE MOST CURRENT UNIVERSITY OF MARYLAND PUBLICATION, AGRONOMY NEWS #773 "TURFGRASS CULTIVAR RECOMMENDATIONS FOR MARYLAND" CHOICE CERTIFIED PERENNIAL, CERTIFIED MATERIAL IS THE BEST GUARANTEE OF CULTURE PURITY. THE CERTIFICATION PROGRAM OF THE MARYLAND DEPARTMENT OF AGRICULTURE, TURF AND SEED SECTION, PROVIDES A RELIABLE MEANS OF CONSUMER PROTECTION AND ASSURES A PURE GENETIC LINE.**
 - a. SOIL TESTS OF SEEDING FOR TURF GRASS MATTERS:
 - i. WESTERN MARYLAND: 15 TO JUNE 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONES 6B, 6A)
 - ii. CENTRAL AND EASTERN MARYLAND: 15 TO OCTOBER 15 TO DECEMBER 15 (HARDINESS ZONES 6B)
 - iii. SOUTHERN AND EASTERN SHORE: MARCH 1 TO MAY 15, AUGUST 15 TO OCTOBER 15 (HARDINESS ZONES 7A, 7B)
 - b. TALL GRASS TO BE SEEDING BY DISKING OR OTHER APPROVED METHODS TO A DEPTH OF 2 TO 4 INCHES. LEVEL AND RAKE THE AREA TO RECEIVE A PROPER SEEDING. REMOVE STONES AND DEBRIS OVER 1/8 INCHES IN DIAMETER. THE SEEDING MATERIALS ARE IN SUCH CONDITION THAT FUTURE WORKING OF GROUND WILL NOT BE NECESSARY.
 - c. IF SOIL MOISTURE IS DEFICIENT, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER FOR PLANT GROWTH TO 1 INCH EVERY 3 TO 4 DAYS (DRAINAGE AND SOIL TENSURE) UNTIL THEY ARE FULLY ESTABLISHED. THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE LATE IN THE PLANTING SEASON, IN ANOMALY DRY OR HOT SEASONS, OR ON ADVERSE SITES.

PERMANENT SEEDING SUMMARY

HARDINESS ZONE (FROM FIGURE B.3): 6B		SEED MIXTURE (FROM TABLE B.3): 8		FERTILIZER RATE (10-20-20)			LIME RATE
NO.	SPECIES	APPLICATION RATE (LB/AC)	SEEDING DATES	N	P2O5	K2O	
8	TALL FESCUE	100	3/1 - 5/15 8/1 - 10/15	45 POUNDS PER ACRE (1.0 LB/1000 SF)	80 LB/AC (2.0 LB/1000 SF)	80 LB/AC (2.0 LB/1000 SF)	2 TONS/AC (500 LB/1000 SF)

1. **GENERAL SPECIFICATIONS**
 - a. CLASSES OF IMPERVIOUS SOILS MUST BE UNPAVED SLATE CERTIFIED 500 LBS/AC MUST BE MADE AVAILABLE TO THE JOB FOREMAN AND INSPECTOR.
 - b. SOIL MUST BE MACHINE CUT AT A MINIMUM SOIL THICKNESS OF 1/4 INCH PLUS OR MINUS 1/8 INCH. AT THE TIME OF CUTTING, RECOMMENDED MIXTURES MUST EXCLUDE TURF GRASSES AND PASTURE BROKER PADS AND TURF OF UNDESIRABLE TYPE WILL NOT BE ACCEPTED.
 - c. STAMENETS ARE RECOMMENDED FOR SOILS WITH EXCESSIVE DRAINAGE TO SUPPORT NEW SOIL HEIST AND RETAIN THEIR SIZE AND SHAPE WHEN DISRUPTED VERTICALLY WITH A FIRM GRASP UP TO THE UPPER 10 PERCENT OF THE SECTION.
 - d. SOIL MUST NOT BE UNPAVED OR TRANSPORTED WHEN MOISTURE CONTENT EXCEEDS DRY OR WET WAYS HOWEVER, IT MUST BE HARVESTED, DELIVERED, AND INSTALLED WITHIN A PERIOD OF 30 HOURS. SOIL NOT TRANSPORTED WITHIN THIS PERIOD MUST BE APPROVED BY AN AGRONOMIST OR SOIL SCIENTIST PRIOR TO ITS INSTALLATION.
 - e. SOIL INSTALLATION:
 - i. DURING PERIODS OF EXCESSIVELY HIGH TEMPERATURE OR IN AREAS HAVING DRY SURFACES, LIGHTLY MIST THE SURFACE IMMEDIATELY PRIOR TO LAYING THE SOIL.
 - ii. LAY THE FIRST SOIL OF SOIL IN A STRAIGHT LINE WITH SUBSEQUENT ROWS PLACED PARALLEL TO IT AND LIGHTLY RIGGED AGAINST EACH OTHER. STAGGER LAYERS, AVERTS TO PROVIDE MORE UNIFORM COVER AND STRUCTURE. ENSURE THAT SOIL IS NOT STRETCHED OR OVERLAPPED AND THAT ALL AREAS ARE BUTTED TIGHT IN ORDER TO PREVENT WIND WHICH WOULD CAUSE AN OPENING OF THE ROWS.
 - iii. WHENEVER POSSIBLE, LAY SOIL WITH THE LONG EDGE PARALLEL TO THE CONTOUR AND WITH STAGGERED ROWS AND TIGHT JOINTS ON OTHERWISE BLENDED THE SOIL TO PREVENT SURFACE OR SUBSURFACE EROSION. CONTACT LINES BETWEEN SOIL ROWS AND THE UNDERLYING SOIL SURFACE.
 - iv. WATER THE SOIL IMMEDIATELY FOLLOWING MULCHING AND TAMPING UNDER THE UNDERSIDE OF THE NEW SOIL PAD AND SOIL SURFACE BELOW THE SOIL. ARE TROUBLESHOOTING THE COMPLETE OPERATIONS OF LAYING, TAMPING AND BRUSHING FOR ANY FEET OF SOIL WITHIN EIGHT HOURS.
2. **SOIL MAINTENANCE**
 - a. IN THE ABSENCE OF ADEQUATE RAINFALL, WATER ONLY DURING THE FIRST WEEK ON AS OFTEN AND DIFFERENTIALLY AS NECESSARY TO MAINTAIN MOIST SOIL TO A DEPTH OF 4 INCHES. WATER SOIL DURING THE HEAT OF THE DAY TO PREVENT WETTING.
 - b. AFTER THE FIRST WEEK, SOIL WATERING IS REQUIRED AS NECESSARY TO MAINTAIN ADEQUATE MOISTURE CONTENT.
 - c. DO NOT WALK UNTIL THE SOIL IS FIRMLY ROOTED. NO MORE THAN 1/8 OF THE GRASS LEAF MUST BE REMOVED BY THE MOWER, CUTTING OR SUBSEQUENT CUTTINGS. MAINTAIN A GRASS HEIGHT OF AT LEAST 1/2 INCHES UNLESS OTHERWISE SPECIFIED.

HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

1. A PRE-CONSTRUCTION MEETING MUST OCCUR WITH THE HOWARD COUNTY DEPARTMENT OF PUBLIC WORKS CONSTRUCTION INSPECTION DIVISION (CID), 416-311-1865 AFTER THE FUTURE LOG AND PROTECTED AREAS ARE MARKED CLEARLY IN THE FIELD. A MINIMUM OF 48 HOURS NOTICE TO CID MUST BE GIVEN AT THE FOLLOWING STAGES:

- a. PRIOR TO THE START OF EARTH DISTURBANCE.
 - b. UPON COMPLETION OF THE INSTALLATION OF PERMETER EROSION AND SEDIMENT CONTROLS, BUT BEFORE PROCEEDING WITH ANY OTHER EARLY DISTURBANCE OR GRADING.
 - c. PRIOR TO THE START OF ANOTHER PHASE OF CONSTRUCTION OR OPENING OF ANOTHER GRADING UNIT.
 - d. PRIOR TO THE FINAL OR MODIFICATION OF SEDIMENT CONTROL PRACTICES.
- OTHER BUILDING OR GRADING INSPECTION APPROVALS MAY NOT BE AUTHORIZED UNTIL THIS INITIAL APPROVAL BY THE INSPECTION DIVISION IS OBTAINED. STATE AND FEDERAL PERMITS SHALL BE REFERENCED TO THE ENSURE COORDINATION AND TO AVOID CONFLICTS WITH THIS PLAN.
2. ALL VEGETATION AND STRUCTURAL PRACTICES ARE TO BE INSTALLED ACCORDING TO THE PROVISIONS OF THIS PLAN AND ARE TO BE IN CONFORMANCE WITH THE CIVIL HIGHLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND REVISIONS THERETO.
 3. FOLLOWING WITHIN SOIL DISTURBANCE OR IS-CONTAMINATED, PERMITS OR TIGHTENING STABILIZATION IS REQUIRED WITHIN THREE (3) CALENDAR DAYS AS TO THE SURFACE OF ALL PERMITS, DITCHES, DROPPERS, PERMETER SLOPES, AND ALL SLOPES STEEPER THAN 1:1 HORIZONTAL TO 1 VERTICAL (D:1) AND SEVEN (7) CALENDAR DAYS AS TO ALL OTHER DISTURBED AREAS ON THE PROJECT SITE EXCEPT FOR THOSE AREAS UNDER ACTIVE GRADING.

4. ALL DISTURBED AREAS MUST BE STABILIZED WITHIN THE TIME PERIOD SPECIFIED ABOVE, IN ACCORDANCE WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL FOR TOPSOIL (SEC. 8-4-2), PERMANENT SEEDING (SEC. 8-4-3), TEMPORARY SEEDING (SEC. 8-4-4) AND MOWING (SEC. 8-4-5). TEMPORARY STABILIZATION WITH MULCH ALONE CAN ONLY BE APPLIED BETWEEN THE FALL AND SPRING SEEDING DATES OF THE GRADING. IT PROVIDES IMMEDIATE STABILIZATION (SEC. 8-4-1) SPECIFICATIONS SHALL BE BENEFIT WITH STABLE OUTLET. ALL CONCENTRATED FLOW, STEEP SLOPES, AND HIGHLY ERODIBLE AREAS SHALL RECEIVE SOIL STABILIZATION MATTING (SEC. 8-4-4).
5. ALL SEDIMENT CONTROL STRUCTURES ARE TO REMAIN IN PLACE, AND ARE TO BE MAINTAINED IN OPERATIVE CONDITION THROUGHOUT THE PERIOD OF THEIR PERMITS. RECORD DRAWING HAS BEEN OBTAINED FROM THE CID.

- SITE ANALYSIS:**
- TOTAL AREA OF SITE: 1.72 ACRES (3 PARCELS)
- AREA TO BE VEGETATED/STABILIZED: 0.14 ACRES
- AREA TO BE ROOFED OR PAVED: 0.00 ACRES
- AREA TO BE REPAIRED: 0.00 ACRES
- TOTAL CUT: 787 CU. YD.
- TOTAL FILL: 787 CU. YD.
- OFFSITE WASTE/STORAGE AREA LOCATION: NA

6. ANY SEDIMENT CONTROL PRACTICE WHICH IS DISTURBED BY GRADING ACTIVITY FOR PLACEMENT OF UTILITIES MUST BE REPAIRED ON THE SAME DAY OF DISTURBANCE.
7. ADDITIONAL SEDIMENT CONTROL MUST BE PROVIDED, IF DEEMED NECESSARY BY THE CID, THE SITE AND ALL CONTROLS SHALL BE INSPECTED BY THE CONTRACTOR WEEKLY, AND THE NEXT DAY AFTER EACH RAIN EVENT. A WRITTEN REPORT BY THE CONTRACTOR, MADE AVAILABLE UPON REQUEST, IS PART OF EVERY INSPECTION AND SHOULD INCLUDE:
 - i. INSPECTION TIME (DROUGHT, PRE-Storm EVENT, DURING RAIN EVENT)
 - ii. NAME AND TITLE OF INSPECTOR
 - iii. WEATHER INFORMATION (CURRENT CONDITIONS AS WELL AS TIME AND AMOUNT OF LAST RECORDED PRECIPITATION)
 - iv. BRIEF DESCRIPTION OF PROJECT STATUS (E.G., COMPLETE) AND/OR CURRENT ACTIVITIES
 - v. EVIDENCE OF SEDIMENT DISCHARGES
 - vi. IDENTIFICATION OF PLAN DEFICIENCIES
 - vii. IDENTIFICATION OF SEDIMENT CONTROLS THAT REQUIRE MAINTENANCE
 - viii. IDENTIFICATION OF MISSING OR IMPROPERLY INSTALLED SEDIMENT CONTROLS
 - ix. COMPLIANCE WITH REGARDING THE SEQUENCE OF CONSTRUCTION AND STABILIZATION REQUIREMENTS
 - x. PHOTOGRAPHS
 - xi. MONITORING/SAMPLING
 - xii. MAINTENANCE AND/OR CORRECTIVE ACTION PERFORMED

8. OTHER MODIFICATION ITEMS AS REQUIRED BY THE GENERAL PERMIT FOR STORMWATER ASSOCIATED WITH CONSTRUCTION ACTIVITIES (PERMITS, 405).
9. TRENCHES FOR THE CONSTRUCTION OF UTILITIES IS LIMITED TO THREE FEET LENGTHS OR THAT WHICH CAN AND SHALL BE BACK-FILLED AND STABILIZED BY THE END OF EACH WORKDAY, WHICHEVER IS SHORTER.
10. ANY MAJOR CHANGES OR REVISIONS TO THE PLAN OR SEQUENCE OF CONSTRUCTION MUST BE REVIEWED AND APPROVED BY THE CID BEFORE PROCEEDING WITH CONSTRUCTION. WORK REVISIONS MAY ALLOWED BY THE CID PER THE LIST OF HSCD-APPROVED FIELD CHANGES.
11. DISTURBANCE SHALL NOT OCCUR OUTSIDE THE LOG. A PROJECT IS TO BE SEQUENCED SO THAT GRADING ACTIVITIES BEGON ON ONE GRADING UNIT (MINIMUM AREA OF 25 AC PER GRADING UNIT) AT A TIME. WORK MAY PROCEED TO A SUBSEQUENT GRADING UNIT WHEN AT LEAST 50 PERCENT OF THE DISTURBED AREA IN THE PRECEDING GRADING UNIT HAS BEEN VEGETATED AND APPROVED BY THE CID. LESS CONFORMANCE SPECIFIED AND APPROVED BY THE CID, NO MORE THAN 30 ACRES CUMULATIVELY MAY BE DISTURBED AT A ONE TIME.
12. WASH WATER FROM ANY EQUIPMENT, VEHICLES, WHEELS, PAVEMENT, AND OTHER SOURCES MUST BE TREATED IN A SEDIMENT BASIN OR OTHER APPROVED WASHOUT STRUCTURE.
13. TOPSOIL SHALL BE STOCKPILED AND PRESERVED ON-SITE FOR REDISTRIBUTION ON-SITE DURING CONSTRUCTION.
14. ALL SBT FENCE AND SUPER SBT FENCE SHALL BE PLACED ON-THE-COUNTOUR, AND BE MARKED AT 25 FOOT INTERVALS, WITH LOWER ENDS COULDED UP BY 2 IN. ELEVATION.
15. STREAM CHANNELS MUST NOT BE DISTURBED DURING THE FOLLOWING RESTRICTED TIME PERIODS (INCLUDES):
 - i. USE 1 AND 9 BY MARCH 1 - JUNE 15
 - ii. USE 1 AND 9 BY OCTOBER 1 - APRIL 30
 - iii. USE 1 AND 9 BY MARCH 1 - MAY 31

16. A COPY OF THIS PLAN, THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND ASSOCIATED PERMITS SHALL BE ON-SITE AND AVAILABLE WHEN THE SITE IS ACTIVE.

APPROVED: DEPARTMENT OF PUBLIC WORKS

APPROVED: DEPARTMENT OF PLANNING AND ZONING

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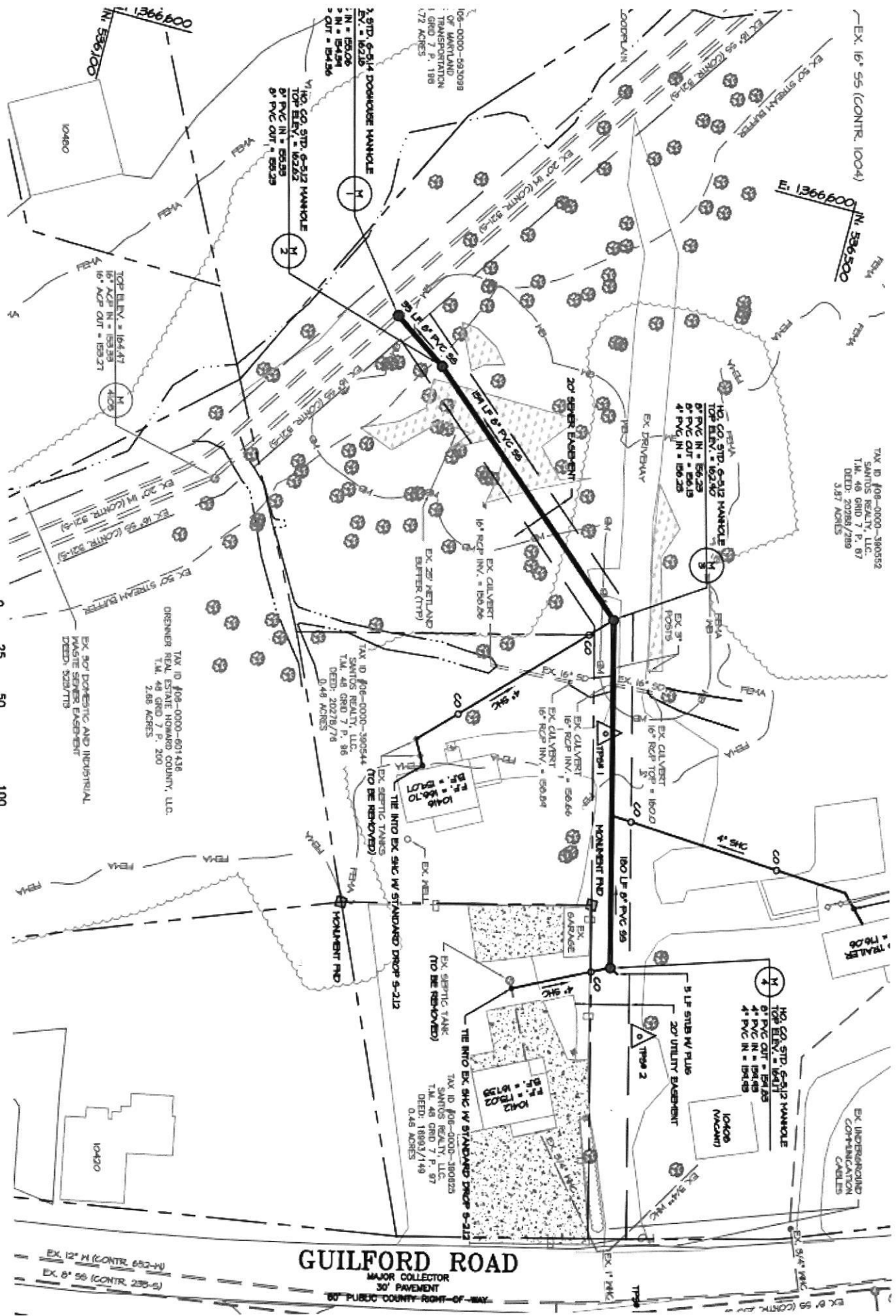
DESIGNED BY:	JH
DRAWN BY:	KR
CHECKED BY:	JH
DATE: 08/10/21	BY NO.

SEWER CONNECTIONS
 EROSION SEDIMENT CONTROL NOTES

GUILFORD ROAD
 10408, 10412 AND 10416
 TAX MAP 48 GRID 7 PARCEL 87, 97, & 98
 ZONE: M-2 ELECTION DISTRICT: 6TH
 HOWARD COUNTY, MARYLAND
 CONTRACT NO. 24-5183-D

SCALE: AS NOTED
 SHEET NO. 3 OF 3

CITIZEN PLAN



GUILFORD ROAD

MAJOR COLLECTOR
30' PAVEMENT
80' PUBLIC COUNTY RIGHT-OF-WAY

EX. 12" M (CONTR. 652-4)
EX. 8" S6 (CONTR. 233-5)

TAX ID #08-0000-380552
SANTOS REALTY, LLC
T.M. 48 GRID 7 P. 87
DEED: 20288/289
0.317 ACRES

TAX ID #08-0000-001438
DRENNER REAL ESTATE HOWARD COUNTY, LLC
T.M. 48 GRID 7 P. 200
2.88 ACRES

TAX ID #08-0000-300544
SANTOS REALTY, LLC
T.M. 48 GRID 7 P. 86
DEED: 20278/78
0.48 ACRES

TAX ID #08-0000-380873
SANTOS REALTY, LLC
T.M. 48 GRID 7 P. 97
DEED: 18093/149
0.48 ACRES

NO. 00 STD. 6-912 MANHOLE
TOP ELEV. = 162.10
8" PVC IN. = 154.85
4" PVC IN. = 154.85

NO. 00 STD. 6-912 MANHOLE
TOP ELEV. = 162.80
8" PVC IN. = 156.23
4" PVC IN. = 156.23

NO. 00 STD. 6-912 MANHOLE
TOP ELEV. = 162.82
8" PVC IN. = 156.23
4" PVC OUT. = 156.23

NO. 00 STD. 6-912 MANHOLE
TOP ELEV. = 162.82
8" PVC IN. = 156.23
4" PVC OUT. = 156.23

TOP ELEV. = 164.47
16" RCP IN. = 153.93
16" RCP OUT. = 153.27

EX. 30' DOMESTIC AND INDUSTRIAL
WASTE SERVER EASIMENT
DEED: 5023/775

THE INTO EX. S/C W/ STANDARD DROP 5-212
EX. S/NTIC TANK
(NO BE REMOVED)

THE INTO EX. S/C W/ STANDARD DROP 5-212
EX. S/NTIC TANK
(NO BE REMOVED)

EX. UNRECORDED
CONVEYANCE
CALLEE

EX. 16" S5 (CONTR. 100-4)
N. 536.500
E. 1366.600

N. 536.100
E. 1366.600

E. 1366.600
N. 536.500

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VACANT

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