

PERMIT NUMBER: B 21000418

DATE ACCEPTED:



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 6010 Briker Road, City: Dayton, State: MD, Zip Code: 21036, Subdivision/Village/Complex Name: Willowshire, SDP/WP/BA #: , Lot: 6, Tax Map: , Parcel: , Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: vacant lot, Proposed Use: SFD, Estimated Cost: \$ 300,000, Trade Work to Be Completed: Mechanical (HVACR), Electrical, Plumbing, None. Now 2 story "Ridgeview" Modern Farmhouse etc, with 2 car garage, grand master bedroom suite addition, and unfinished lower level.

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s): TOLL Mid Atlantic Lp Co Inc, Primary Residence: No, Owner's Street Address: 250 Gibraltar Rd, City: Harsham, State: PA, Zip Code: 19044, Phone: 410-872-9105, Email: sriley1@tollbrothers.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Decatur Building Services, Contact Name: Jim Kemmer, Street Address: PO Box 552, City: Woodbine, State: MD, Zip Code: 21797, Phone: 443-309-7792, Email: jim@decaturbuilding.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Toll Brothers, License #: 8220, Licensee's Name: Toll Mid Atlantic Lp Co Inc, Street Address: 7164 Columbia Gateway Dr, Ste 230, City: Columbia, State: MD, Zip Code: 21046, Phone: 410-872-9105, Email: sriley1@tollbrothers.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: , Name: , Street Address: , City: , State: , Zip Code: , Phone: , Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling, Utilities: Gas, Water Supply: Public, Sewage Disposal: Public, Heating System: Electric, Roadside Tree Project: No, Sprinkler System: NFPA 13, Fire Alarm System: No

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: "Ridgeview" Modern Farmhouse, 3 car garage, grand master bedroom suite addition and unfinished lower level. # of Bedrooms (SF): 6, # of efficiency units (MF*): , # of 1 BR (MF*): , # of 2 BR (MF*): , # of 3 BR (MF*): , # Rooms: 14, # Full Baths: 5, # Half Baths: 1, # Fireplaces: 1, Garage/Carport Info: Attached Garage, Basement/Foundation Info: Unfinished Basement, 1st Fl Width: 88, 1st Fl Depth: 69, 2nd Fl Width: 64, 2nd Fl Depth: 59, Bsmt Width: 8, Bsmt Depth: 69, Energy Method: Performance, Gross Area: 9206 sq ft, Occupiable Area: 9206 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: Jim Kemmer, DATE SIGNED: 2/5/2021

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR, DPZ, DED, Health, SHA, CID. SUBMITTAL FEES: \$150.00, PAYMENT: CK #10399512, ACCEPTED BY: DROFBOX

REVISED
 Date: 6-16-2021
 Comments: per DEP

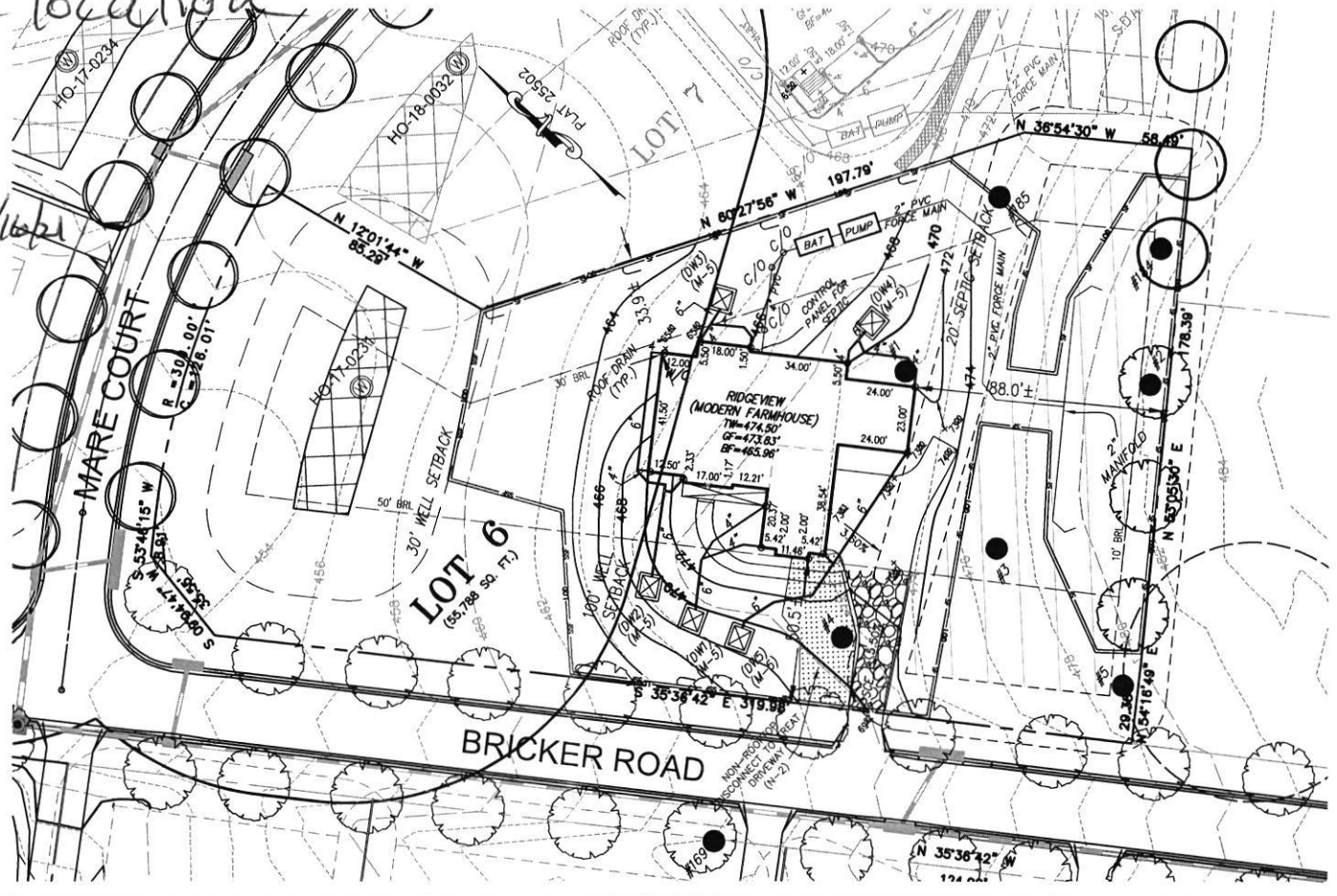
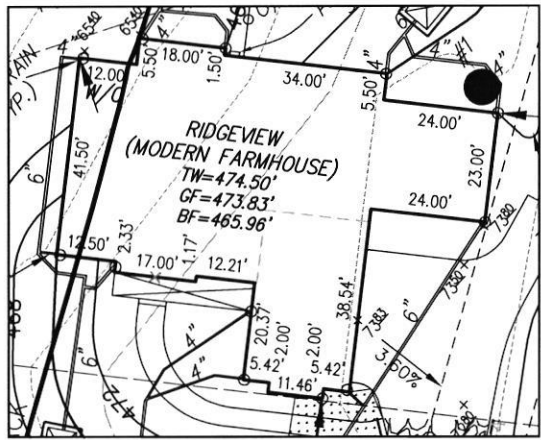
B21000418

Revision for silt fence location
OK' re 7/8/21 approved 6/16/21 JS

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/23.

- LEGEND:
- BRL BUILDING RESTRICTION LINE
 - W WELL LOCATION
 - T.W. TOP OF WALL
 - G.F. GARAGE FLOOR
 - B.F. BASEMENT FLOOR
 - PASSED PERC LOCATION
 - FAILED PERC LOCATION
 - SILT FENCE
 - SUPER SILT FENCE
 - SCE STONE CONSTRUCTION ENTRANCE
 - SEPTIC RESERVE AREA
 - WELL BOX AREA
 - PROPOSED TREE
 - PROPOSED TREE
 - PROPOSED TREE

NOTE:
 TOTAL LIMITS OF DISTURBANCE (LOD) = 32,570 SQ. FT.



BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN
 SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.



HOUSE TYPE: RIDGEVIEW (MODERN FARMHOUSE)

- THREE CAR SIDE ENTRY GARAGE
- WALK-OUT BASEMENT
- GRAND MULTI-GENERATIONAL SUITE ADDITION
- ADDITIONAL POWDER ROOM
- WET-BAR ROUGH-IN IN BASEMENT
- 4 HOPPER WINDOWS INCLUDED IN BASEMENT
- DRIVEWAY TAIL

- OPTION No. 001
- OPTION No. 017
- OPTION No. 263075
- OPTION No. 377
- OPTION No. 90006001
- OPTION No. 90006003
- OPTION No. 90006004

WELL NUMBER: HO-17-0231
 ADDRESS: 6010 BRICKER ROAD
 DAYTON, MD 21036

PLOT PLAN
 LOT 6
WILLOWSHIRE
 LIBER 18479, FOLIO 296
 PLAT NO. 25502
 5th ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

ESE CONSULTANTS
 ENGINEERING • PLANNING • SURVEYING • ENVIRONMENT

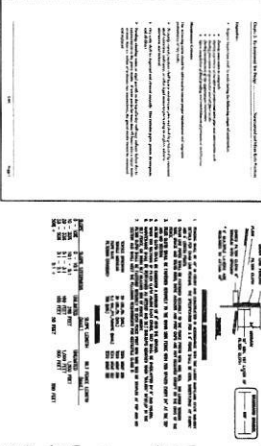
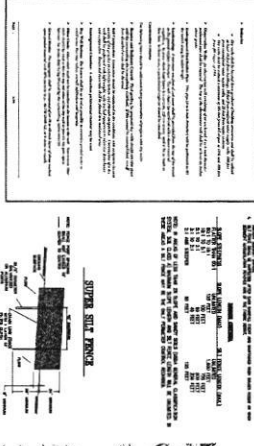
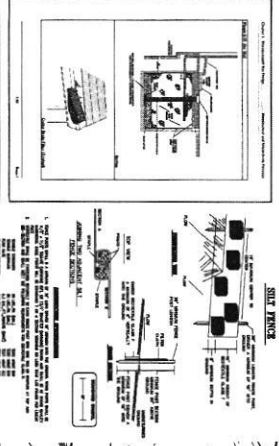
ESE Consultants, Inc.
 7164 Columbia Gateway Drive • Suite 230 • Columbia, MD 21046
 T: 410-872-9105

DATE: 06/03/2021 SCALE: 1" = 50' FILE: PP LOT 6 - RIDGEVIEW M.F._rev3
 CHK'D: M.J.B. JOB NO: 4520 DRAWN: RWA

Jun 03, 2021 - 12:28 pm A:\Projects\Mapwork\AS20_Willeshire\ (Willeshire) [Simpson] [S:\DWG] [Lot Plans] [Lot 6] [PP Lot 6 - Ridgeview Modern Farmhouse.mxd] [R12] [R12]

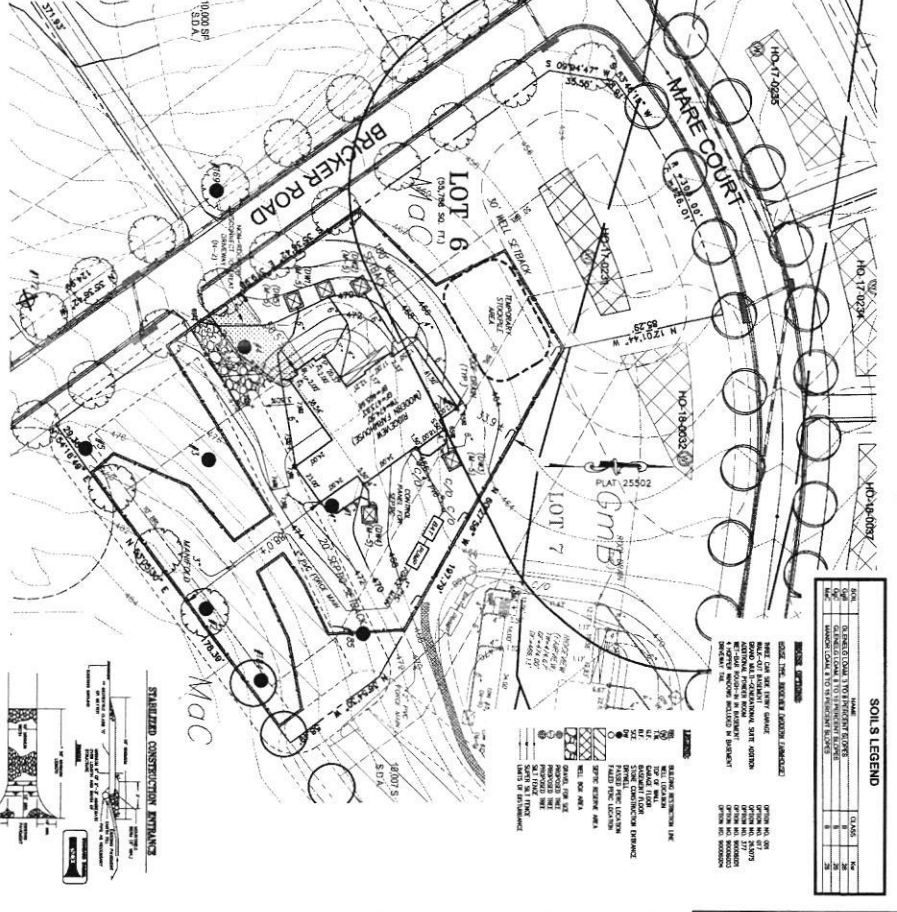
STANDARD SUBMITTAL CONTROL NOTES:

- 1) ALL CONSTRUCTION SHALL BE ACCORDING TO THE PERMITS AND CONDITIONS OF THE PERMIT. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONDITIONS OF THE PERMIT. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONDITIONS OF THE PERMIT.
- 2) ALL CONSTRUCTION SHALL BE ACCORDING TO THE PERMITS AND CONDITIONS OF THE PERMIT. THE PERMITTEE SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND CONDITIONS OF THE PERMIT.
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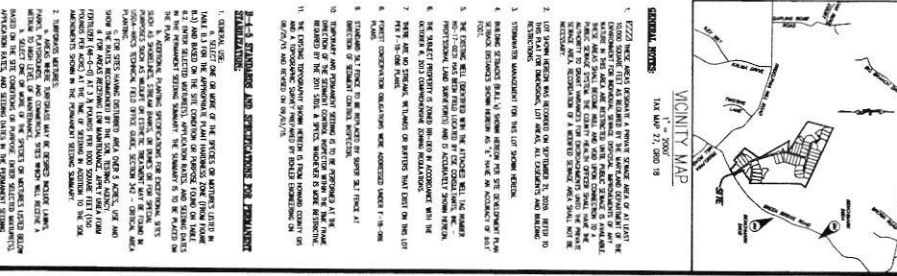
B-4-4 STANDARDS AND SPECIFICATIONS FOR STORMWATER

- 1) THE STORMWATER MANAGEMENT SYSTEM SHALL BE DESIGNED TO PREVENT EROSION AND TO MAINTAIN THE STABILITY OF THE SOILS AND TO PREVENT POLLUTION OF THE SURFACE WATER.
- 2) THE STORMWATER MANAGEMENT SYSTEM SHALL BE DESIGNED TO PREVENT EROSION AND TO MAINTAIN THE STABILITY OF THE SOILS AND TO PREVENT POLLUTION OF THE SURFACE WATER.
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SOIL LEGEND

NO.	SYMBOL	DESCRIPTION	CLASS	NO.	SYMBOL	DESCRIPTION	CLASS
1	[Symbol]	2	[Symbol]
3	[Symbol]	...	...	4	[Symbol]	...	...
5	[Symbol]	...	...	6	[Symbol]	...	...
7	[Symbol]	...	...	8	[Symbol]	...	...
9	[Symbol]	...	...	10	[Symbol]	...	...



REQUIREMENTS OF CONSTRUCTION:

NO.	DESCRIPTION	REMARKS
1
2
3
4
5
6
7
8
9
10

B-4-4 STANDARDS AND SPECIFICATIONS FOR STORMWATER MANAGEMENT:

NO.	DESCRIPTION	REMARKS
1
2
3
4
5
6
7
8
9
10

WILMONTSHIRE
 LOT 6
 1000 WILMONTSHIRE DRIVE
 WILMONTSHIRE, VA 22187

ENGINEERING
 DATE: 05/10/21
 SCALE: AS SHOWN
 PROJECT NO: 21-009

ESE CONSULTANTS
 ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL
 1000 WILMONTSHIRE DRIVE
 WILMONTSHIRE, VA 22187
 TEL: 703-441-4444
 FAX: 703-441-4444

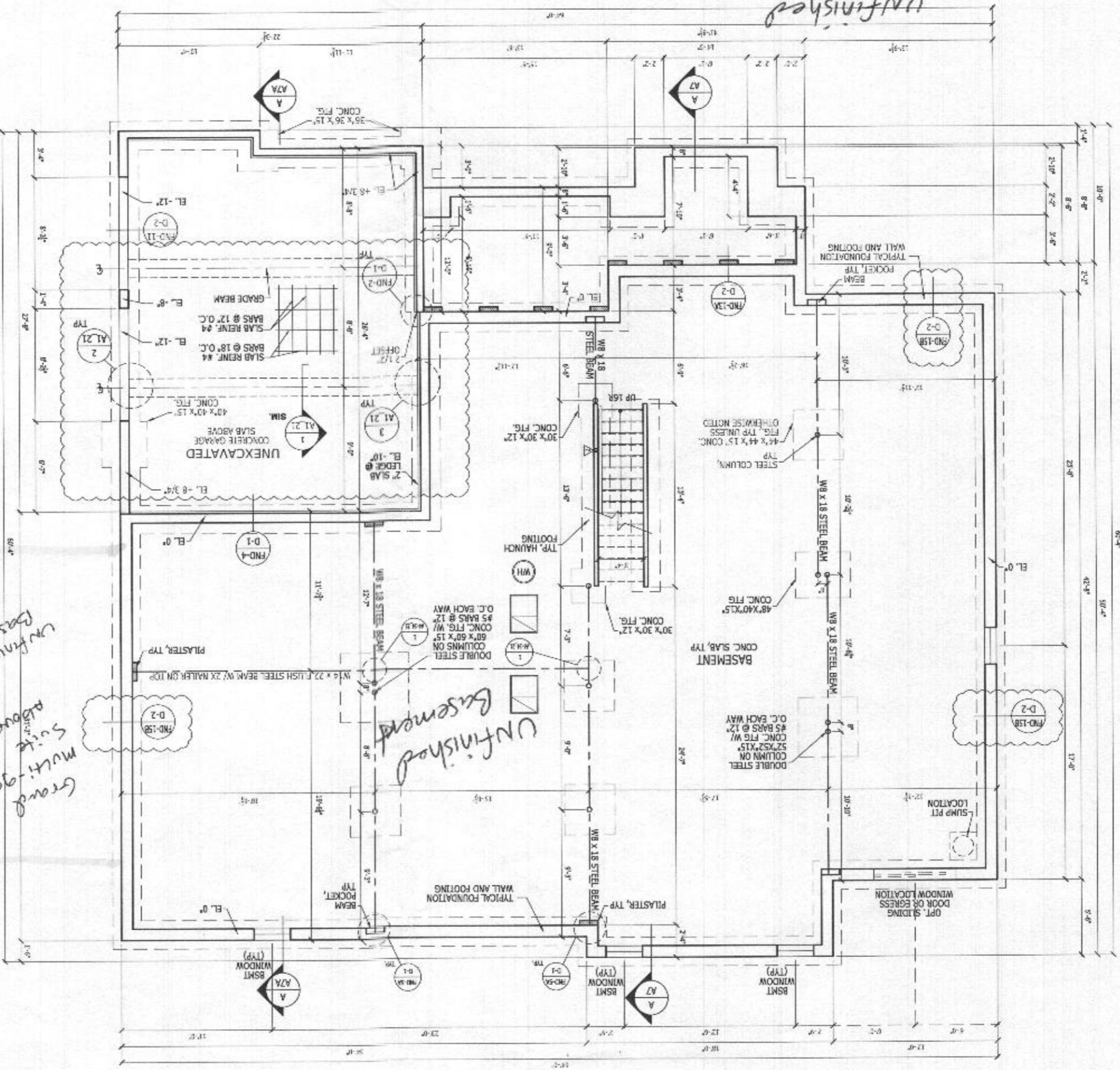
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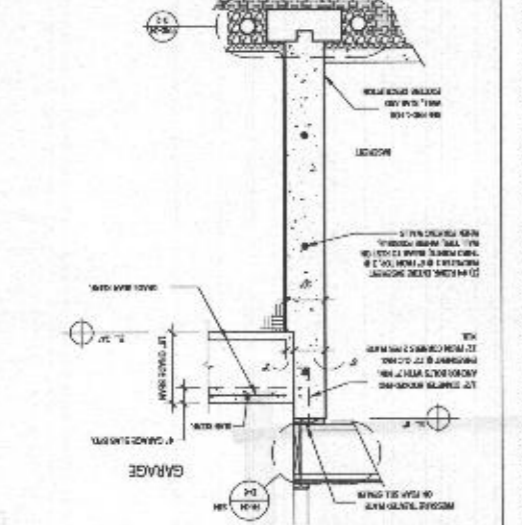
BASEMENT FOUNDATION PLAN

SCALE: 1/4" = 1'-0"

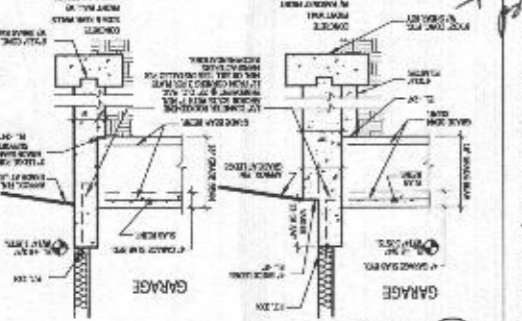
COUNTRY MANOR



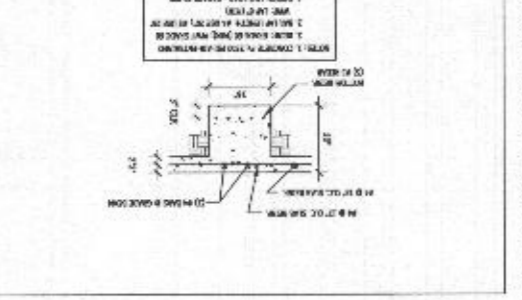
3 GARAGE GRADE BEAM AND SLAB DETAIL
SCALE: 1/2" = 1'-0"



2 GARAGE GRADE BEAM AND SLAB DETAIL
SCALE: 1/2" = 1'-0"



1 GARAGE GRADE BEAM AND SLAB DETAIL
SCALE: 1/2" = 1'-0"

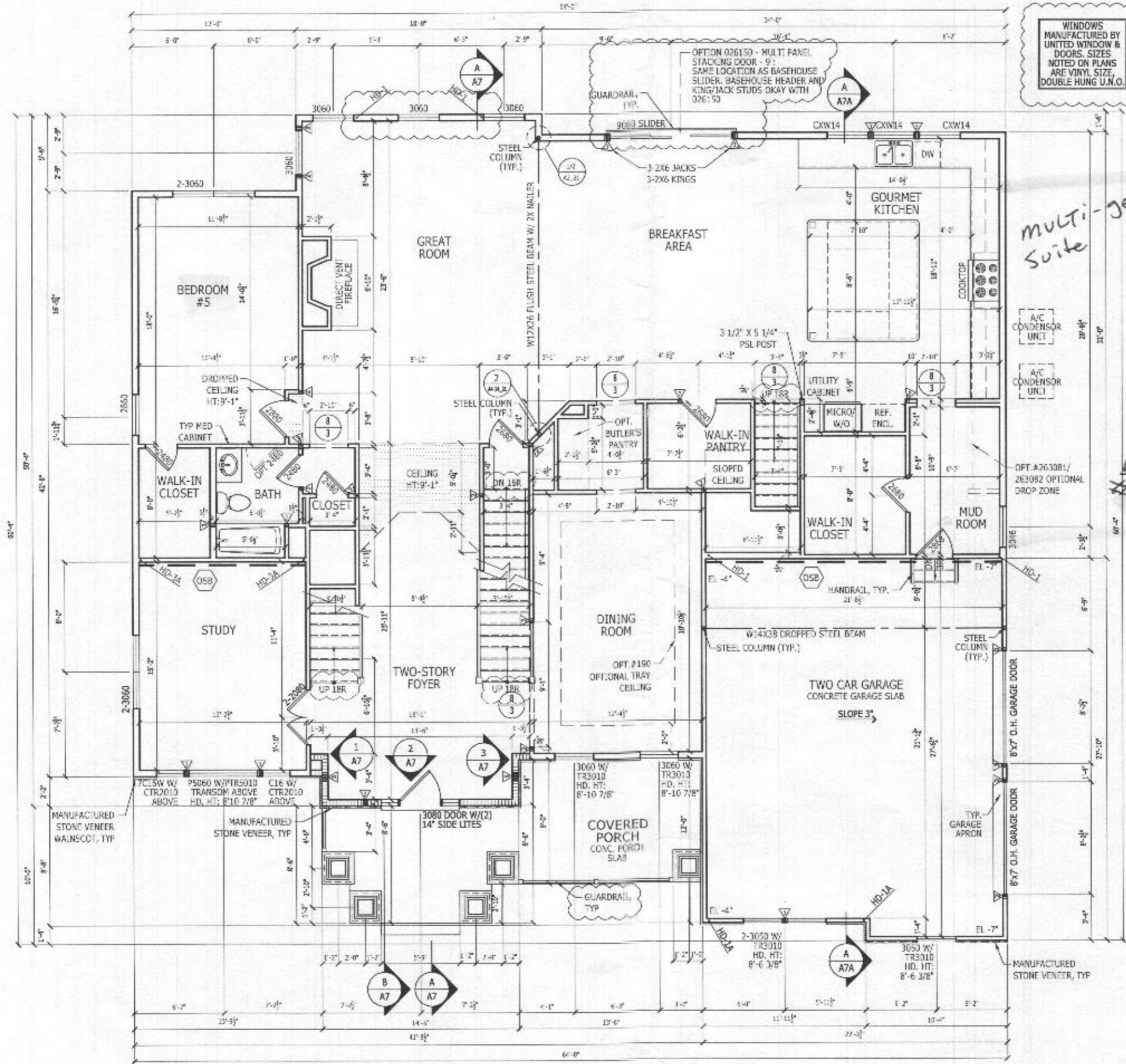


RIGHT HAND SET

SHEET NUMBER A1 21	SHEET DESCRIPTION BASEMENT FOUNDATION FLOOR PLAN (BASE HOUSE)		DRAWN BY - R. DAUTRICH	PRODUCT LINE ESTATE	SHEET REVISION INFO AO 211064	TOLLARCHITECTURE PHILADELPHIA - ORLANDO DALLAS - LOS ANGELES - SEATTLE 250 Gibraltar Road, Horsham, PA 19044 P 215-293-5300 | F 215-293-5314 A Division of Toll Brothers
	CHECKED BY - R. DAGLIVA		MODEL/PROJECT NAME RIDGEVIEW	SET REVISION INFO EQI_166420 01/29/18 D.BUTTRICK/VORCHECK		
1015.1			COUNTRY MANOR			

B21000418

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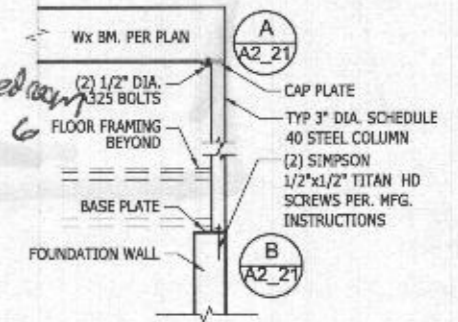
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

COUNTRY MANOR

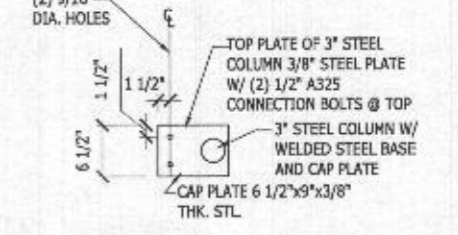
LATERAL BRACING
THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOADS USING AN ENGINEERED METHOD FOR 130 MPH BASIC WIND SPEED.
FOR OSB + DRYWALL ATTACHMENT SEE A411 DETAIL SHEET

WINDOWS MANUFACTURED BY UNITED WINDOW & DOORS. SIZES NOTED ON PLANS ARE VINYL. SIZE DOUBLE HUNG U.N.O.

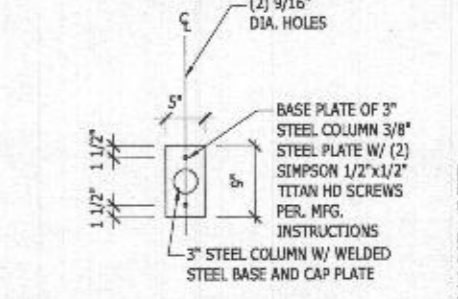
1 CORNER DETAIL
A2_21 Scale: 1" = 1'-0"



2 H.S.S. COLUMN DETAIL
A2_21 Scale: 1/2" = 1'-0"



A CAP PLATE DETAIL
A2_21 Scale: 1" = 1'-0"



B BASE PLATE DETAIL
A2_21 Scale: 1" = 1'-0"

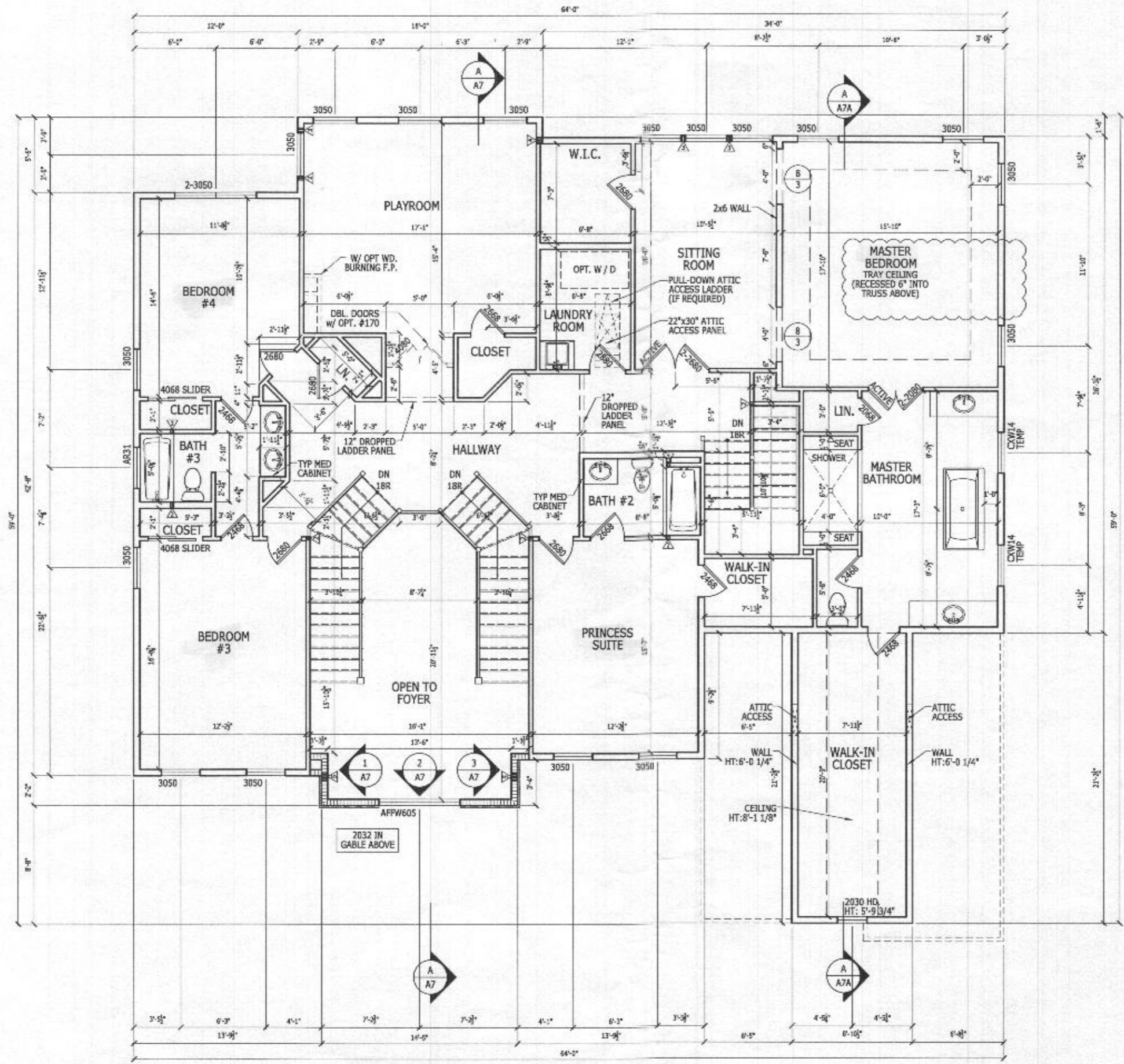
RIGHT HAND SET

TOLLARCHITECTURE	
PHILADELPHIA · ORLANDO DALLAS · LOS ANGELES · SEATTLE	
250 Gibraltar Road, Horsham, PA 19044 P 215-293-5300 | F 215-293-5314 A Division of Toll Brothers	
SHEET REVISION INFO AO 211064	SET REVISION INFO ECL_166420 01/29/18 D.BUTRIGLI.VOICHECK
PRODUCT LINE ESTATE	MODEL/PROJECT NAME RIDGEVIEW
	ELEVATION NAME COUNTRY MANOR
DRAWN BY - R. DAUTRICH	CHECKED BY - R. DASILVA
	SHEET DATE - 06/08/17
SHEET DESCRIPTION FIRST FLOOR PLAN (BASE HOUSE)	
SHEET NUMBER	A2_21
SERIAL NUMBER	1015.1

1/16" (Scale) January 10, 2006 - 11/18/07

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SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

COUNTRY MANOR

LATERAL BRACING
THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOAD USING AN ENGINEERED METHOD FOR 130 MPH BASIC (130 MPH ULTIMATE) WIND SPEED.
FOR OSB + DRYWALL ATTACHMENT SEE A4L1 DETAIL SHEET

RIGHT HAND SET

SHEET DESCRIPTION SECOND FLOOR PLAN (BASE HOUSE)		SHEET REVISION INFO AO 195844 AO 207155 AO 211064 AO 222351 SET REVISION INFO ECS_166420 01/29/18 D.BUTRICH.VOICHECK		TOLLARCHITECTURE PHILADELPHIA · ORLANDO DALLAS · LOS ANGELES · SEATTLE 250 Gibraltar Road, Horsham, PA 19044 P 215-293-5300 | F 215-293-5314 A Toll Brothers Company	
DRAWN BY - R. DAUTRICH CHECKED BY - R. DASTILVA SHEET DATE - 06/08/17		PRODUCT LINE ESTATE MODEL/PROJECT NAME RIDGEVIEW ELEVATION NAME COUNTRY MANOR			
SERIAL NUMBER		SHEET NUMBER		A3 21	
				1015.1	

Menu Save Reset Cancel Help

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B21002866	08/04/2021
Description of Work		
SFD/ INSTALL (1) 1,000 GALLON UNDERGROUND PROPANE TANK		

check spelling

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
6010	BRICKER	RD	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-76.99998	39.22692
City	State	Zip Code	Primary
DAYTON	MD	21036	Yes

Approved 8/10/21
fk

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *		Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
11060760			0	0	0	0	RURAL

Legal Description

check spelling

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
13	6	605101	5				
Plan Area	State Tax Id	Subdivision Name					
		Willowshire					
Section	Area	Tax Map					
		28					
Grid	Zoning District	ADC Map					
28-13	RR-DEO	4932-K4					
SDP No.	Final Plan No.	WP File No.					
	ECP-16-025						
Record Plat No.	WS Contract No.	FDP No.	Primary				
25500-2550			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	5-01	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner * (This section is required.)

Search Reset Clear

Name *

TOLL MID ATLANTIC LP COMPANY INC

Address Line 1

250 GIBALTAR RD

Address Line 2

Address Line 3

Mail City

HORSHAM

Mail State

PA

Mail Zip Code

19044

Phone

301-725-3232

Primary

Yes

E-mail

Cell Number

Fax Number

Professionals (This section is not required.)

Search Reset Clear

License # * Business Name

License Type * First Name Middle Name Last Name

Primary Address Line 1

Address Line 2

City State ZIP Code

Phone 1 Phone 2 Fax

E-mail

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type * First Name Mi Last Name

Relationship Full Name

Primary Organization Name

Street Address

Address Line 2

City State Zip Code

Phone Cell Fax

E-mail *

Addtl Info

Est Construction Cost * Housing Units * Number of Buildings * Public Owned

Construction Type

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

Capital Project-No Fee * Yes No Capital Project Number Fee Exempt * Yes No Roadside Tree Project Permit * Yes No Roadside Tree Permit #

Existing Use Number of Tanks Installed * Number of Tanks Removed *

Water Supply Sewage Disposal Expiration Date Relocate Existing Tank *

PAYMENT INFORMATION

Check 1 Payee 1 Check 2 Payee 2 SAP Doc No SAP Entered

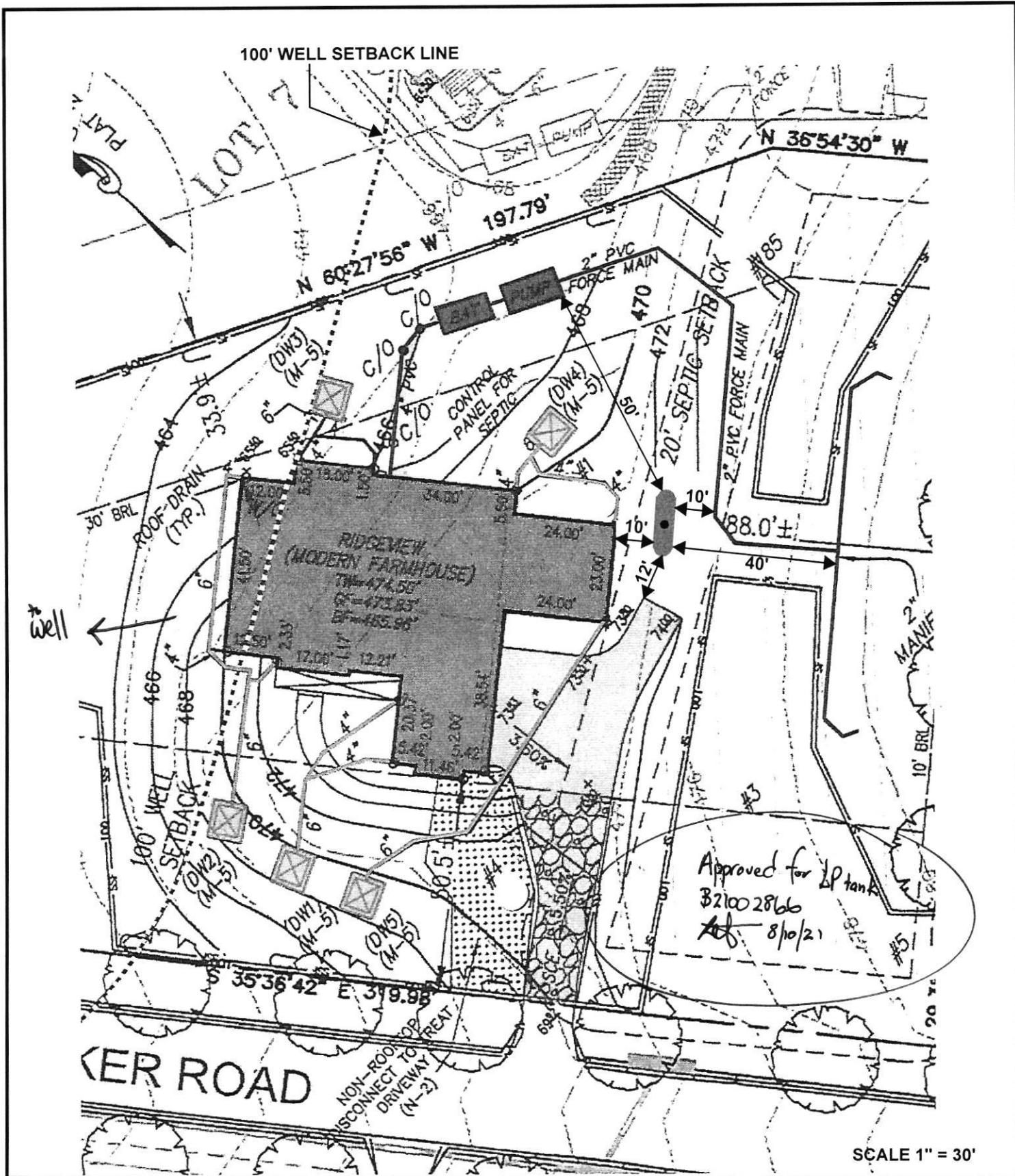
Related Records

Showing 1-3 of 3

Permit Number	Record Type Alias	Status	Number	Street Name	Opened Date	Description
B21000418	Residential New Single Family Dwelling Permit	Issued	6010	BRICKER	02/08/2021	SFD/ MODEL 'RIDGEVIEW' MODERN FAMRHOUSE/, 2 STORY
P21002446	Residential New Plumbing Permit	Issued	6010	BRICKER	06/17/2021	NEW SFD/// 'RIDGEVIEW/' INSTALL GAS AND PLUMBING FIXT
B21002866	Residential Tank Permit	Review In Process	6010	BRICKER	08/04/2021	SFD/ INSTALL (1) 1,000 GALLON UNDERGROUND PROPANE

Page 1 of 1

Submit Cancel



Approved for LP tank
 \$2100 2866
 Ad 8/10/21

SCALE 1" = 30'



1,000-GALLON UNDERGROUND TANK LOCATION PLAN
 LOT # 6 WILLOWSHIRE SUBDIVISION
 6010 BRICKER RD., DAYTON, MD 21036

POIST GAS COMPANY ~ 360 MAIN ST., LAUREL, MD 20707 ~ (301) 725-3232 ~ WWW.POISTGAS.COM