



**Howard County
Health Department**

Bureau of Environmental Health

8930 Stanford Boulevard, Columbia, MD 21045

Main: 410-313-2640 | Fax: 410-313-2648

TDD 410-313-2323 | Toll Free 1-866-313-6300

www.hchealth.org

Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 4/13/22 **ONSITE SEWAGE DISPOSAL SYSTEM**

P 571497

APPROVAL DATE: 5/12/22 **PERMIT: CONSTRUCTION**

A _____

PROPERTY ADDRESS: 1948 Davis Branch Road, Woodstock, MD 21163

SUBDIVISION: Myrtue Property LOT: 26 TAX ID: 03-352609

CONTRACTOR: Form + Home EMAIL: _____

CONTRACTOR ADDRESS: _____ PHONE: _____

PROPERTY OWNER: SONSHINE MD LP EMAIL: _____

OWNER ADDRESS: 227 Granite Run Road, Lancaster, PA 17601 PHONE: _____

SEPTIC TANK SIZE (GALLONS): 2000 TANK MANUFACTURER: Mayer Bros., Inc.

PUMP MODEL: N/A PUMP SIZE N/A PUMP TANK CAPACITY: N/A

DISTRIBUTION SYSTEM: GRAVITY PRESSURE DOSED BEDROOMS: 6 APPLICATION RATE: 1.2

TRENCHES:	LINEAR FEET REQUIRED: <u>125</u> <u>3 x 42</u>	INLET DEPTH: <u>4.0</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8.0</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>10</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>5.0</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:	INSTALL AT LEAST TWO CLEANOUTS IN SHC.	

ISSUED BY: R. BRICKER ISSUE DATE: 4/13/22 EXPIRATION DATE: 4/13/23

NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION

NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING

NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.

NOTE: WATERTIGHT TANKS REQUIRED

NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL

NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS

NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM

ELECTRICAL PERMIT ISSUED E N/A

NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

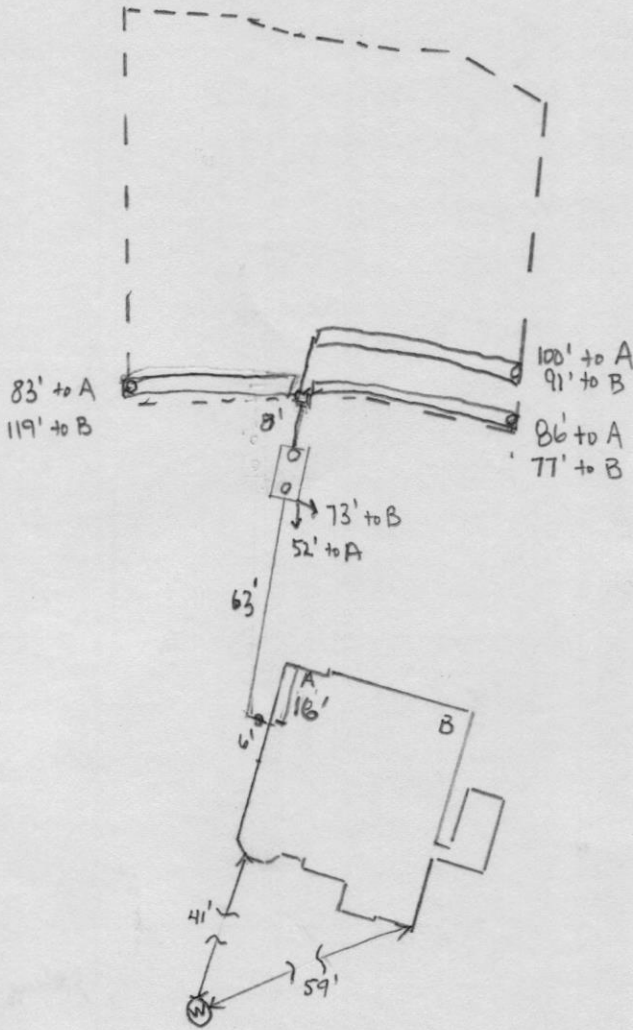
NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.

CALL 410-313-1771 TO SCHEDULE INSPECTIONS.

1948 Davis Branch Rd

NOT TO SCALE scale 1" = 50'



ROAD NAME Davis Branch Rd

TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
3'	4'	8'
NUMBER OF TRENCHES		3
TOTAL LENGTH		134'
ABSORPTION AREA		402 sqft + sidewalk
DISTRIBUTION BOX LEVEL		yes
DISTRIBUTION BOX BAFFLE		yes
DISTRIBUTION BOX PORT		yes

SEPTIC TANK DATA

SEPTIC TANK 1 LEVEL	yes
MANUFACTURER	Babylon
CAPACITY	2000 GAL
SEAM LOC	top
TANK LID DEPTH	2.5'
BAFFLES	6" front / 4" back
BAFFLE FILTER	-
MANHOLE LOC	front / back
6" PORT LOC	-
WATERTIGHT TEST	-
SLOTTED	yes
DATE ON LID	3/23/22

PUMP/SEPTIC TANK LEVEL

MANUFACTURER	
CAPACITY	GAL
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	
SLOTTED	
DATE ON LID	

PRE-CONSTRUCTION:

NOTE: Completed by J. Cobahug on 4/14/22

INSTALLATION: 5/12/22 - system called in for final inspection, system installed according to plan except the sewer line coming out of the house. The sewer out was raised (hung sewer) and moved closer (approx 12') to the septic tank to make fall. All three trenches slightly longer than 42', (T1 - 44', T2 - 46', T3 - 44'), trenches look ok, geotextile fabric in place, stone ok, soils consistent w/ perc rates. OK to backfill.

FINAL INSPECTOR

R. Rappaport

DATE OF APPROVAL

5/12/22



HOWARD COUNTY HEALTH DEPARTMENT

71497

DATE 4/13/22

Received From

Fairview Home

PHONE #

410-442-2139

excavating etc.

For

Septic Permits (3) 1948, 1945, 1951 Davis Branch Rd.

CASH

CHECK

NO. 1904

Tank Replacement / 15064 Busby Rd. One thousand three hundred and thirty

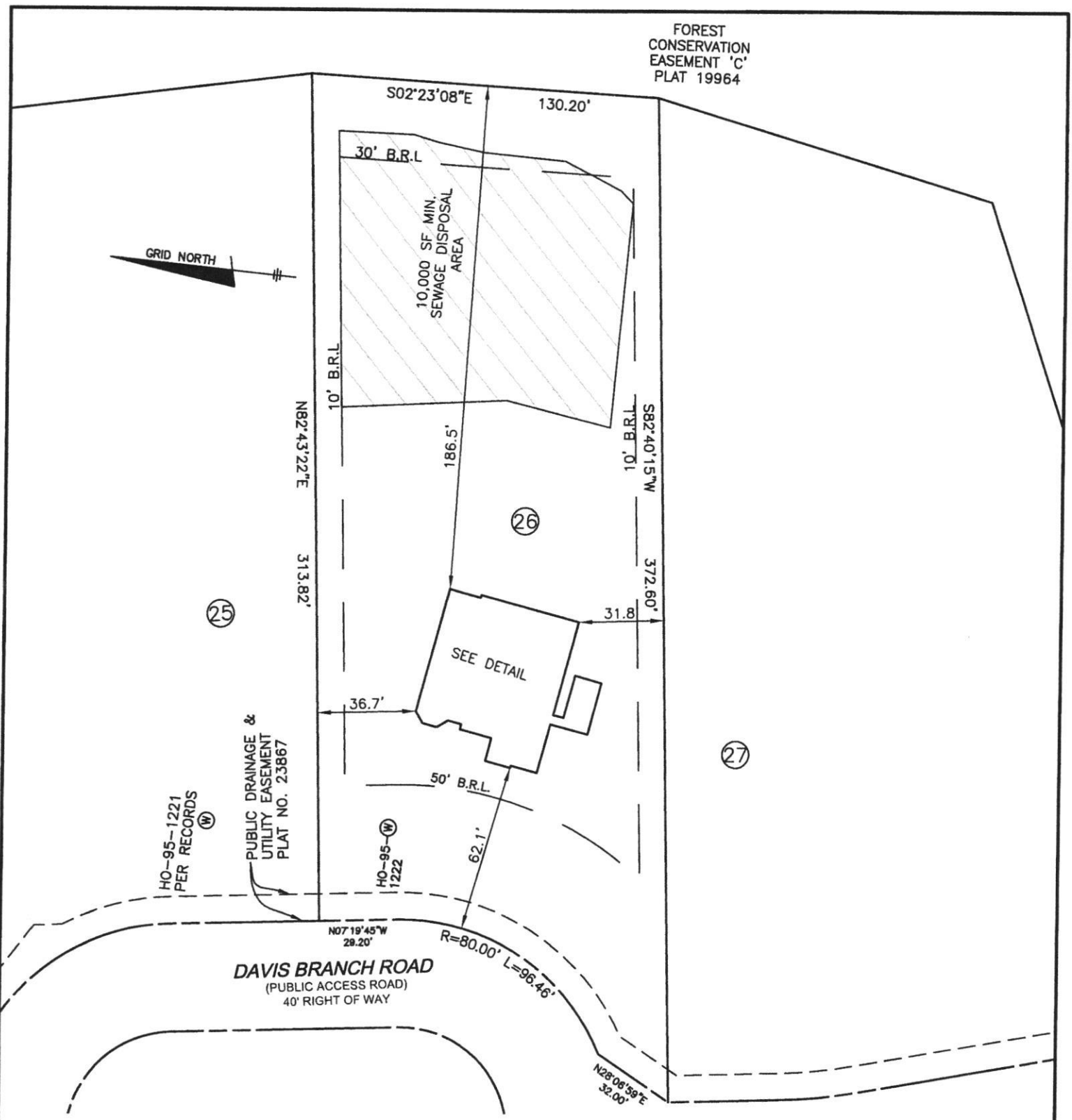
Dollars

\$ 1350

Received By

Kent

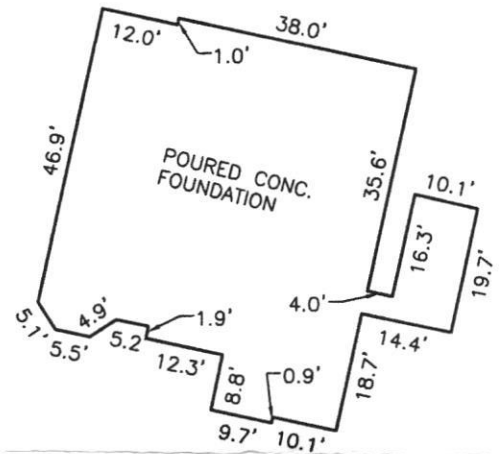
FOREST
CONSERVATION
EASEMENT 'C'
PLAT 19964



TOP OF FOUNDATION WALL = 406.6'
OFFSET DIMENSIONS TO PROPERTY LINES ARE ± 0.1'

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY THAT THESE DOCUMENTS, WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21320, EXPIRATION DATE 1-7-2023 AND TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THAT THE DIMENSIONS OF THE BUILDING WALLS SHOWN HEREON ARE CORRECT; THAT THEY ARE BASED ON A FIELD RUN SURVEY PERFORMED BY BENCHMARK ENGINEERING, INC. ON 01/05/22.



FOUNDATION DETAIL
SCALE: 1" = 30'

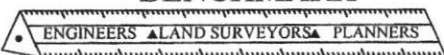
Donald A. Mason
11/06/22

DONALD A. MASON
PROFESSIONAL LAND SURVEYOR
MARYLAND REG. No. 21320

FEMA FIRM No. 24027C0080D
ZONE: X
DATED: 11/06/2013

*7.13.22
wall check approved
- Ho.*

BENCHMARK



ENGINEERING, INC.

8480 BALTIMORE NATIONAL PIKE SUITE 315
ELLCOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644

WWW.BEI-CMLENGINEERING.COM

**WALL CHECK
MYRTUE PROPERTY
PLAT No. 23867
LOT No. 26**

1948 DAVIS BRANCH ROAD

3rd ELECTION DISTRICT

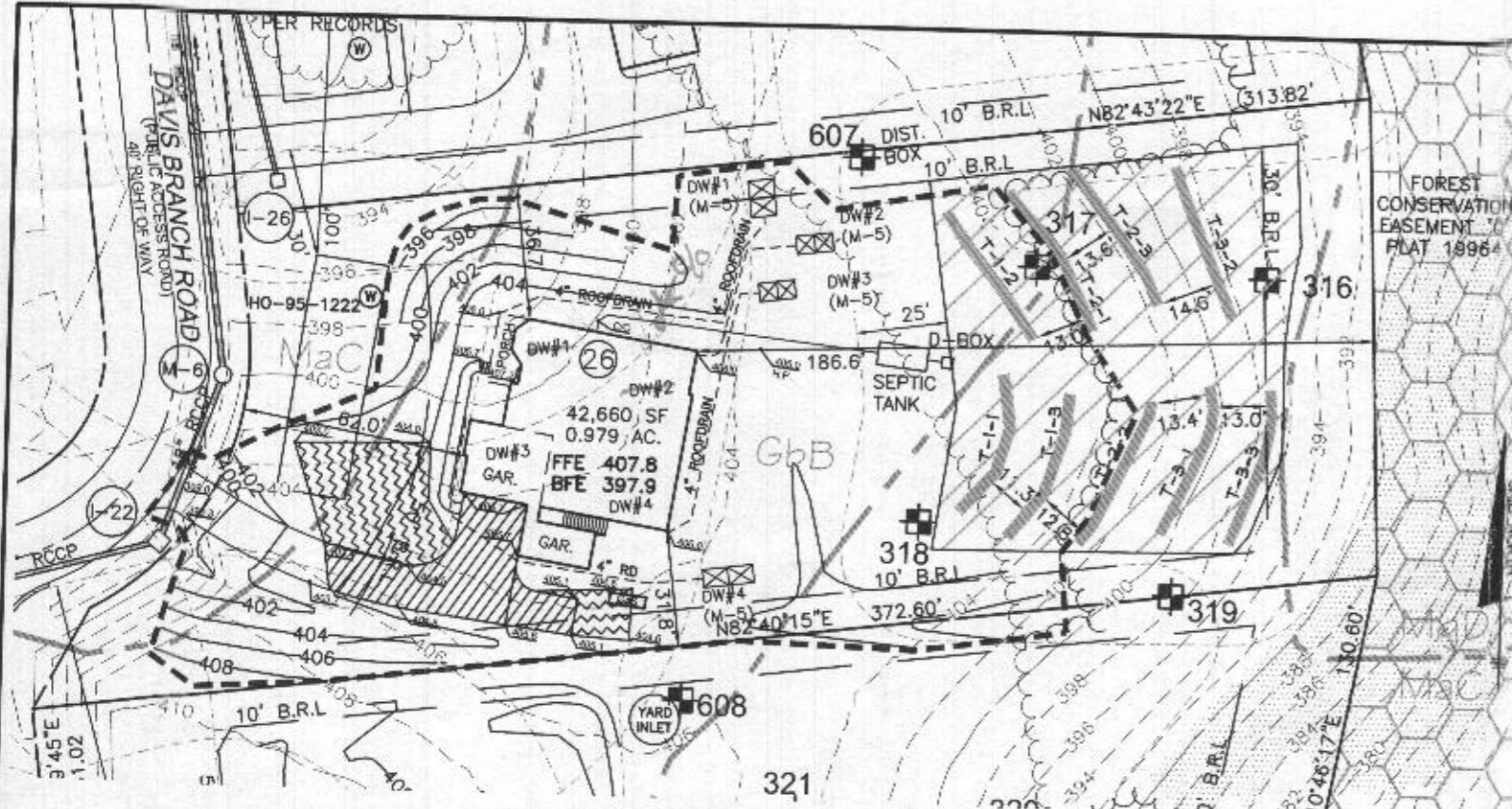
HOWARD COUNTY, MARYLAND

SCALE: 1" = 50' DATE: 1-6-22

FIELD OBS. BY AS
COMP. BY DAM
DRAWN BY DAM

Doug Burns
15064 Bushy Park Rd.
Woodbine

Richard Talley property



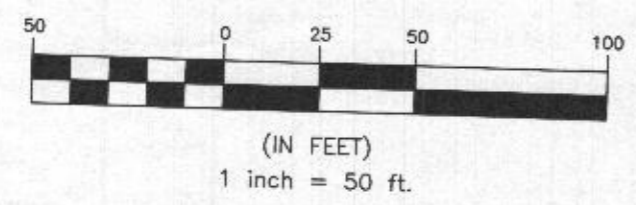
PLAN VIEW

1" = 50'

- LEGEND**
- PROPOSED CONTOURS
 - EXISTING CONTOURS
 - EXISTING PRIVATE SEWAGE DISPOSAL AREA
 - EXISTING WELL BOX
 - PROPOSED TREELINE
 - EXISTING TREELINE
 - SOILS MAP SYMBOL
 - SOILS DELINEATION LINE
 - PERC TEST PASSED

GENERAL NOTES

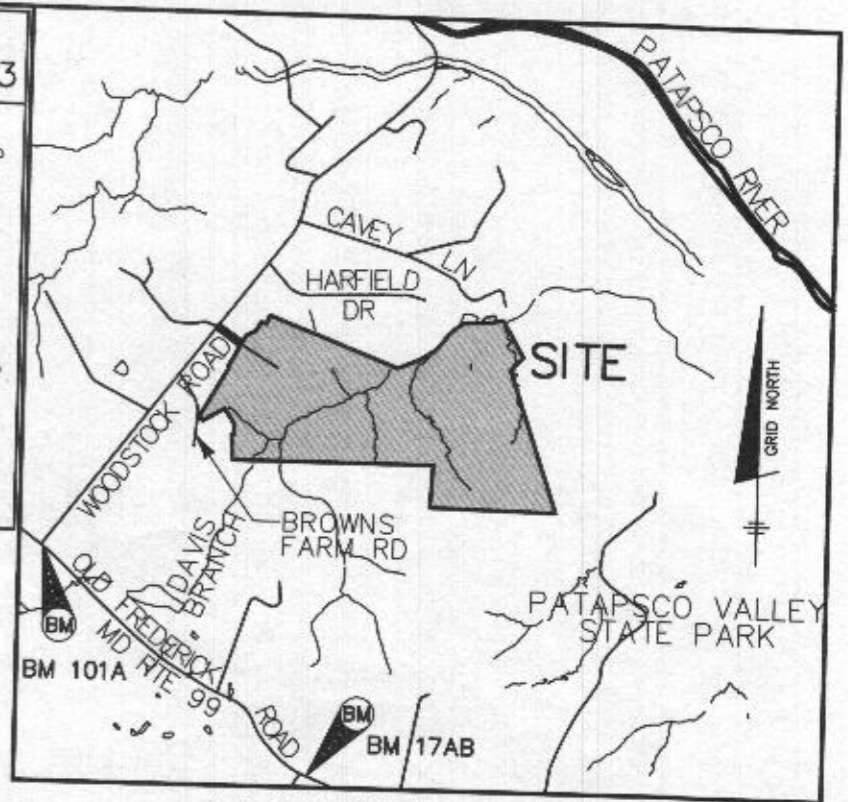
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2. THE EXISTING WELL SHOWN ON THIS PLAN (HO-98-1222) HAS BEEN FIELD LOCATED BY DAFT, McCUNE WALKER, INC. AND IS SHOWN IN ACCORDANCE WITH THEIR SURVEY.
3. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
4. TOPOGRAPHY SHOWN WAS FLOWN BY VIRGINIA RESOURCE MAPPING, INC. DATED FEBRUARY 2003 AND SUPPLEMENTED WITH FIELD SURVEY BY DMW, INC. DATED 2005.
5. SEDIMENT AND EROSION CONTROLS WILL BE SUBMITTED BY HOWARD SOILS CONSERVATION DISTRICT AS A CUSTOM GRADING PLAN.
6. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED BUILDING PERMIT AND CUSTOM GRADING PLANS.
7. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
8. ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
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10. THE SEPTIC TANK WILL BE A 2000 GALLON TWO COMPARTMENT TANK.
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13. ANY FUTURE WELLS SHALL BE 10' FROM DRIVEWAY.



BENCHMARK INFORMATION NAD83

Ho. Co. STATION 17AB
STAMPED DISC SET ON TOP OF CONCRETE COLUMN
NORTHING: 564468.943'
EASTING: 1318257.375'
ELEVATION: 561.105'

Ho. Co. STATION 101A
STAMPED DISC SET ON TOP OF CONCRETE COLUMN
NORTHING: 565347.937'
EASTING: 1319266.269'
ELEVATION: 588.708'



VICINITY MAP

SCALE: 1"=2000'

*Approved Septic System Plan
Howard County Health Department
2000-gallon Septic Tank
to Gravity Drainfield
for 6-bedroom residence*

Signature *7/14/21*
Date

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 28376, Expiration Date: 01-01-2023.



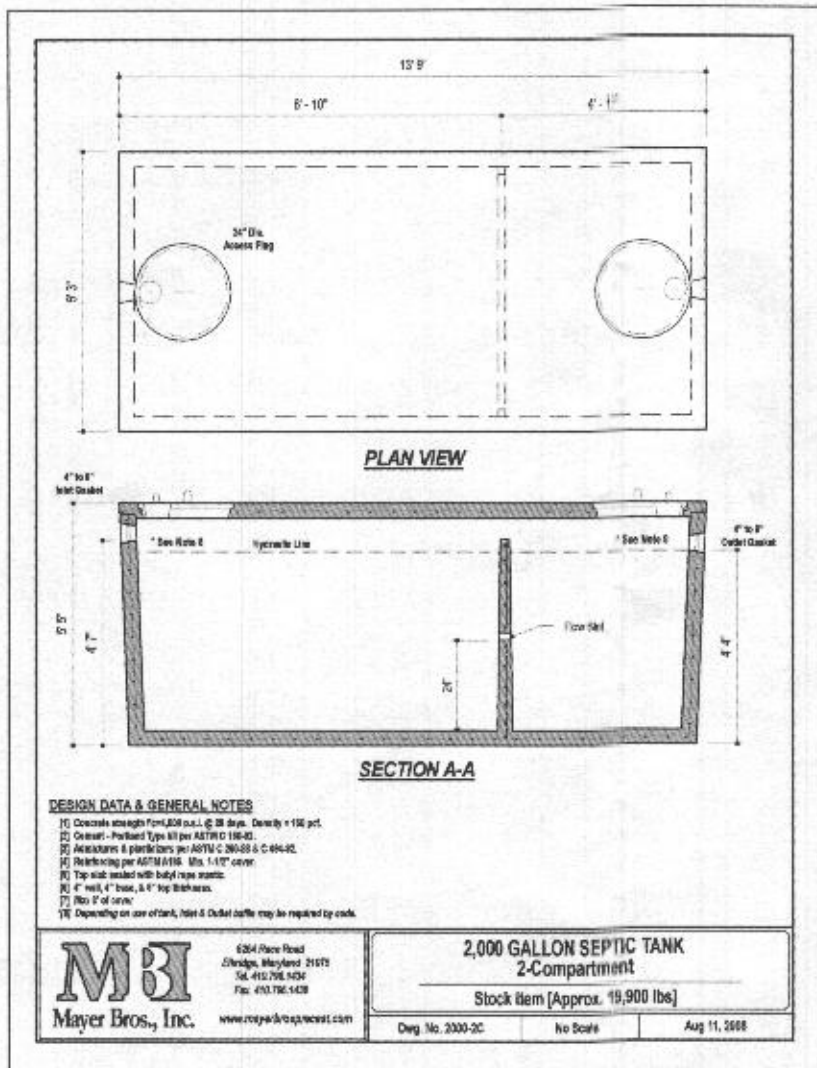
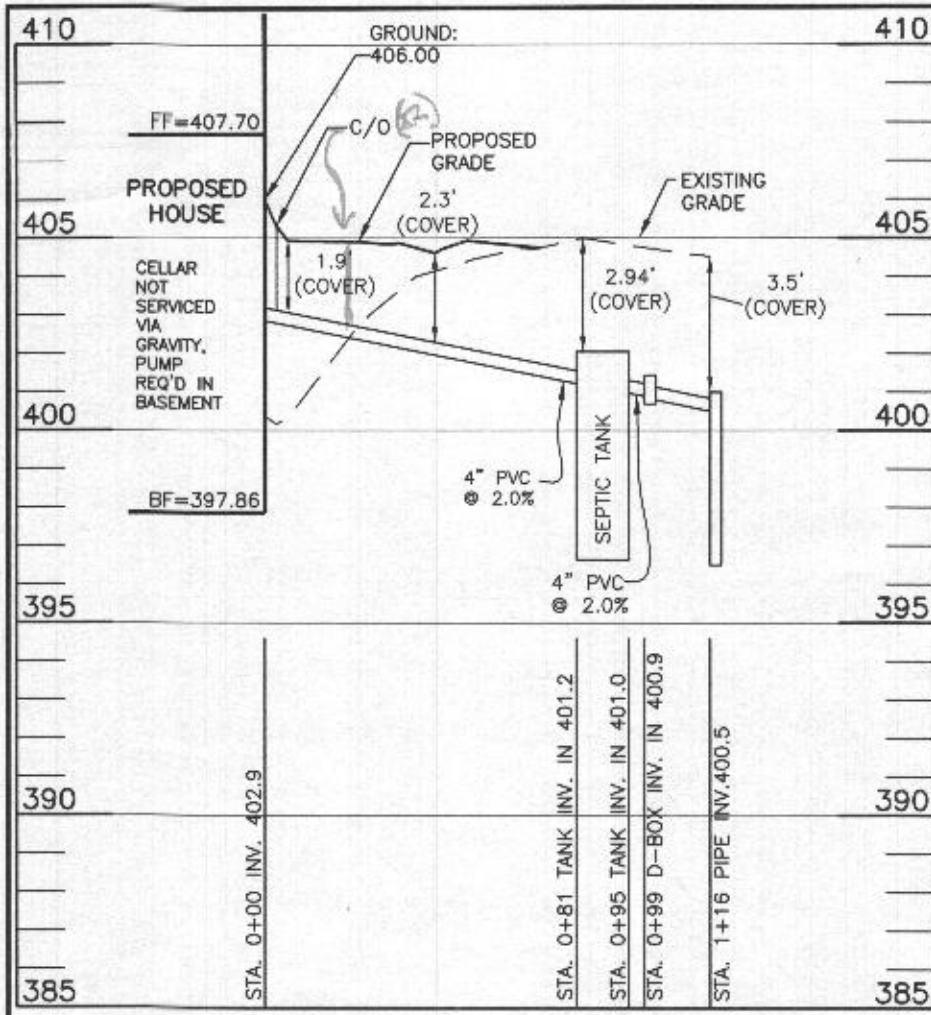
AAM-BEI

2021.06.30 10:32:26 -04'00

OWNER/BUILDER:
KEYSTONE CUSTOM HOMES, INC.
227 GRANITE RUN DR.
SUITE 100
LANCASTER, PA 17601
717-464-9060

BENCHMARK
ENGINEERS & LAND SURVEYORS & PLANNERS
ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE SUITE 315
ELLCOTT CITY, MARYLAND 21043
(P) 410-465-6105 (F) 410-465-6644
WWW.BEI-CVILENGINEERING.COM

PROJECT:		MYRTUE PROPERTY LOT 26	
LOCATION:		TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1948 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD. TAX ID 352609	
TITLE:		ONSITE SEWAGE DISPOSAL PLAN	
HOUSE TYPE:		CUSTOM - KEYSTONE HOMES	
DATE:	MAY, 2021	PROJECT NO.	2099
SCALE:	AS SHOWN	DRAWING	<u>1</u> OF <u>2</u>



INITIAL SYSTEM		
Number of Bedrooms	6	
Application Rate	1.2	gpd/sf
Effective Area Beginning Depth	5.0	ft
Bottom Max Depth	8.0	ft
Design Flow	900	gpd
Drainage Field square footage	750	sf
Sidewall Reduction Credit	0.50	
Trench width	3	ft
Effective Area Depth	3	ft
Trench Spacing	10	ft
Linear Length of trench Required	125	lf

1ST REPLACEMENT SYSTEM		
Number of Bedrooms	6	
Application Rate	0.8	gpd/sf
Effective Area Beginning Depth	3.0	ft
Bottom Max Depth	8.0	ft
Design Flow	900	gpd
Drainage Field square footage	1125	sf
Sidewall Reduction Credit	0.36	
Trench width	3	ft
Effective Area Depth	5	ft
Trench Spacing	13	ft
Linear Length of trench Required	134	lf

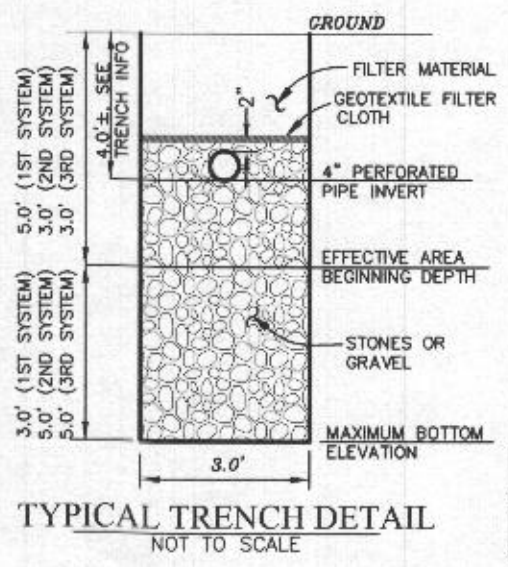
2ND REPLACEMENT SYSTEM		
Number of Bedrooms	6	
Application Rate	0.8	gpd/sf
Effective Area Beginning Depth	3.0	ft
Bottom Max Depth	8.0	ft
Design Flow	900	gpd
Drainage Field square footage	1125	sf
Sidewall Reduction Credit	0.36	
Trench width	3	ft
Effective Area Depth	5	ft
Trench Spacing	13	ft
Linear Length of trench Required	134	lf

SEPTIC INVERT CHART - Lot 26	
INV @ HOUSE	403.0
GROUND @ HOUSE	406.0
INV IN SEPTIC TANK	401.3
INV OUT SEPTIC TANK	401.1
TOP OF SEPTIC TANK	402.2
GROUND OVER SEPTIC TANK	405.1
INV IN DIST BOX	400.9
INV OUT DIST BOX	400.8
GROUND AT DIST BOX	404.7

Approved Septic System Plan
 Howard County Health Department
 2000-gal Septic Tank
 to Gravity Drain Field
 for 6-bedroom residence
 [Signature]
 Date 7/14/2021

LOT 26 OSDS
 SCALE: 1"=50' HORIZ., 1"=5' VERT.

TRENCH DESIGN - Lot 23					
INITIAL SYSTEM					
T-1-1	LENGTH	41.7 ft	T-1-2	LENGTH	41.7 ft
	GROUND ELEVATION	404.5		GROUND ELEVATION	404.2
	INVERT ELEVATION	400.5		INVERT ELEVATION	400.2
	MAX BOTTOM ELEVATION	396.5		MAX BOTTOM ELEVATION	396.2
T-1-3	LENGTH	41.7 ft		GROUND ELEVATION	404.1
	GROUND ELEVATION	404.1		INVERT ELEVATION	400.1
	INVERT ELEVATION	400.1		MAX BOTTOM ELEVATION	396.1
1ST REPLACEMENT SYSTEM					
T-2-1	LENGTH	44.7 ft	T-2-2	LENGTH	44.7 ft
	GROUND ELEVATION	403.5		GROUND ELEVATION	402.9
	INVERT ELEVATION	401.5		INVERT ELEVATION	400.9
	MAX BOTTOM ELEVATION	395.5		MAX BOTTOM ELEVATION	394.9
T-2-3	LENGTH	44.7 ft		GROUND ELEVATION	401.6
	GROUND ELEVATION	401.6		INVERT ELEVATION	399.6
	INVERT ELEVATION	399.6		MAX BOTTOM ELEVATION	393.6
2ND REPLACEMENT SYSTEM					
T-3-1	LENGTH	44.7 ft	T-3-2	LENGTH	44.7 ft
	GROUND ELEVATION	400.5		GROUND ELEVATION	398.5
	INVERT ELEVATION	398.5		INVERT ELEVATION	396.5
	MAX BOTTOM ELEVATION	392.5		MAX BOTTOM ELEVATION	390.5
T-3-3	LENGTH	44.7 ft		GROUND ELEVATION	397.3
	GROUND ELEVATION	397.3		INVERT ELEVATION	395.3
	INVERT ELEVATION	395.3		MAX BOTTOM ELEVATION	389.3



HEALTH DEPARTMENT SPEC SHEET INFORMATION - Lot 26			
System	Application Rate	Effective Depth	Bottom Depth
1st System	1.2	5.0	8.0
2nd system	0.8	3.0	8.0
3rd System	0.8	3.0	8.0

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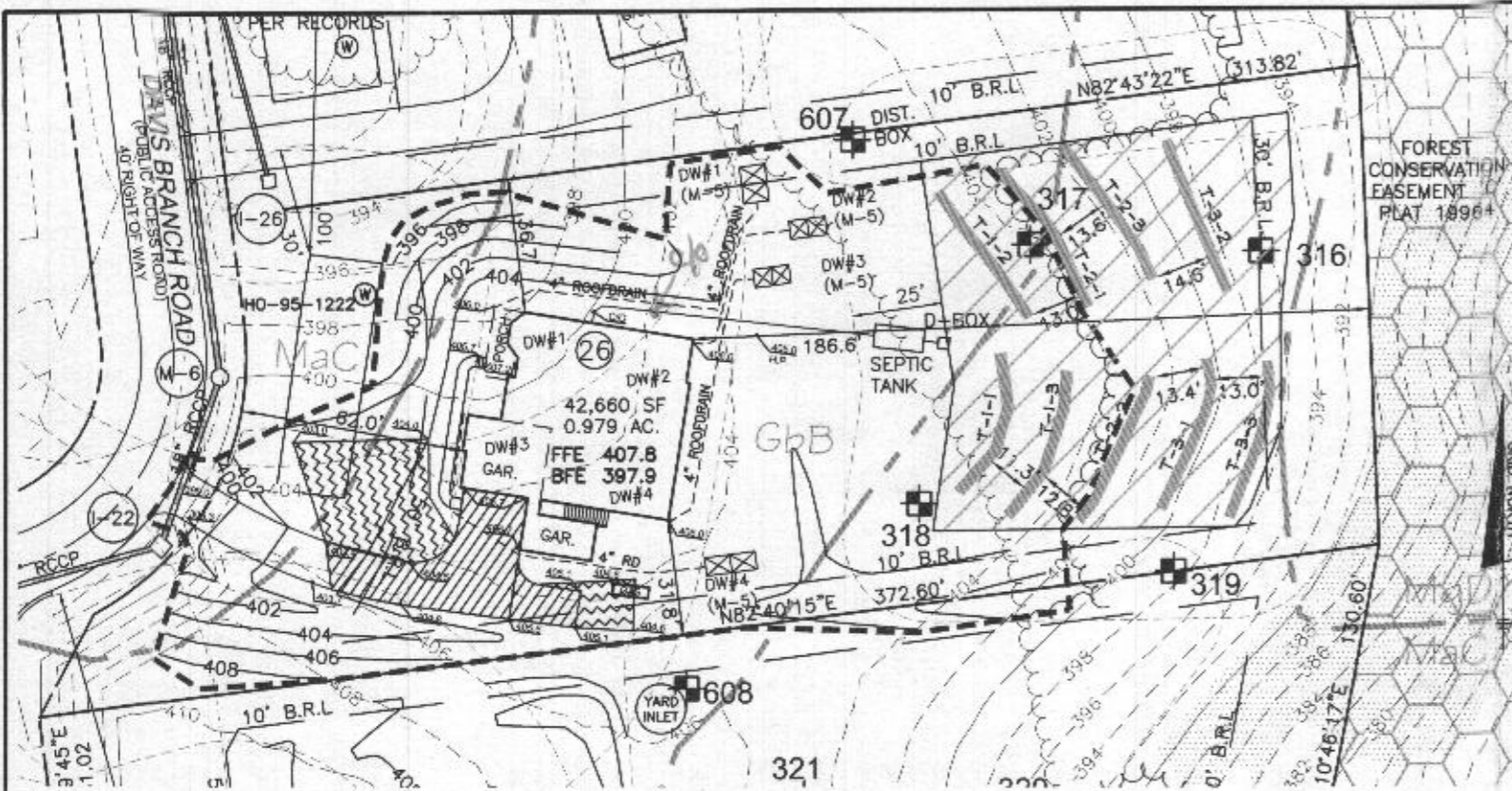
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DATE:	MAY, 2021	PROJECT NO.	2099
SCALE:	AS SHOWN	DRAWING	2 OF 2

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01-01-2023.



AAM-BEI

2021.06.30 13:46:04 -04'00



PLAN VIEW

1" = 50'

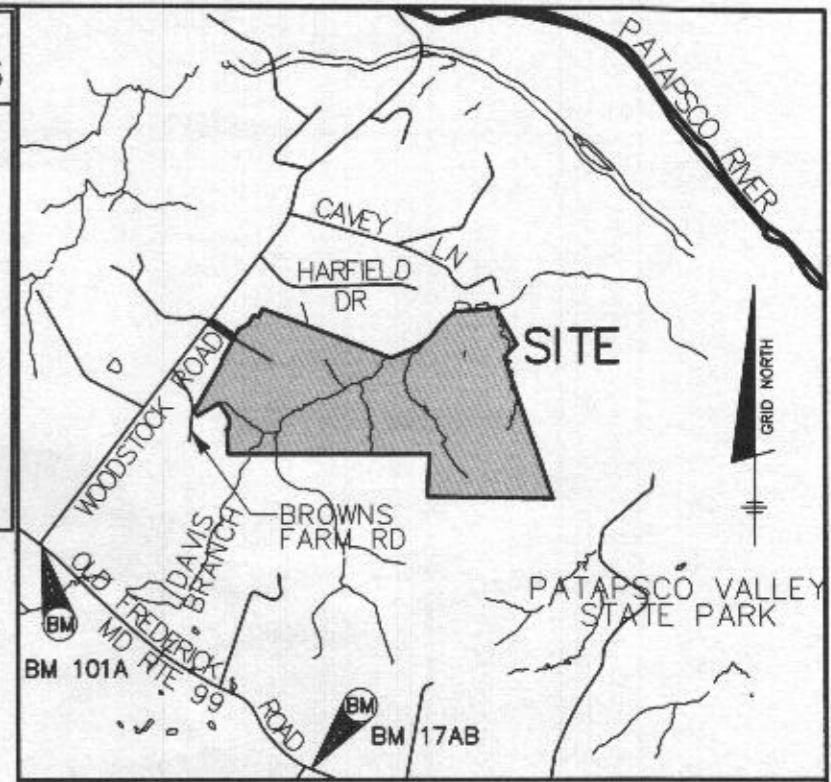
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VICINITY MAP

SCALE: 1" = 2000'

*Approved Septic System Plan
 Howard County Health Department
 2000-gallon Septic Tank
 to Gravity Drain Field
 for 6-bedroom residence*

Beck
 Signature

7/14/21
 Date

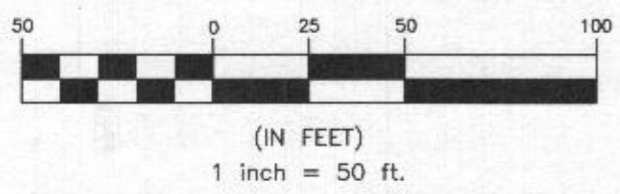
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AAM-BEI

2021.06.30 10:32:26 -04'00

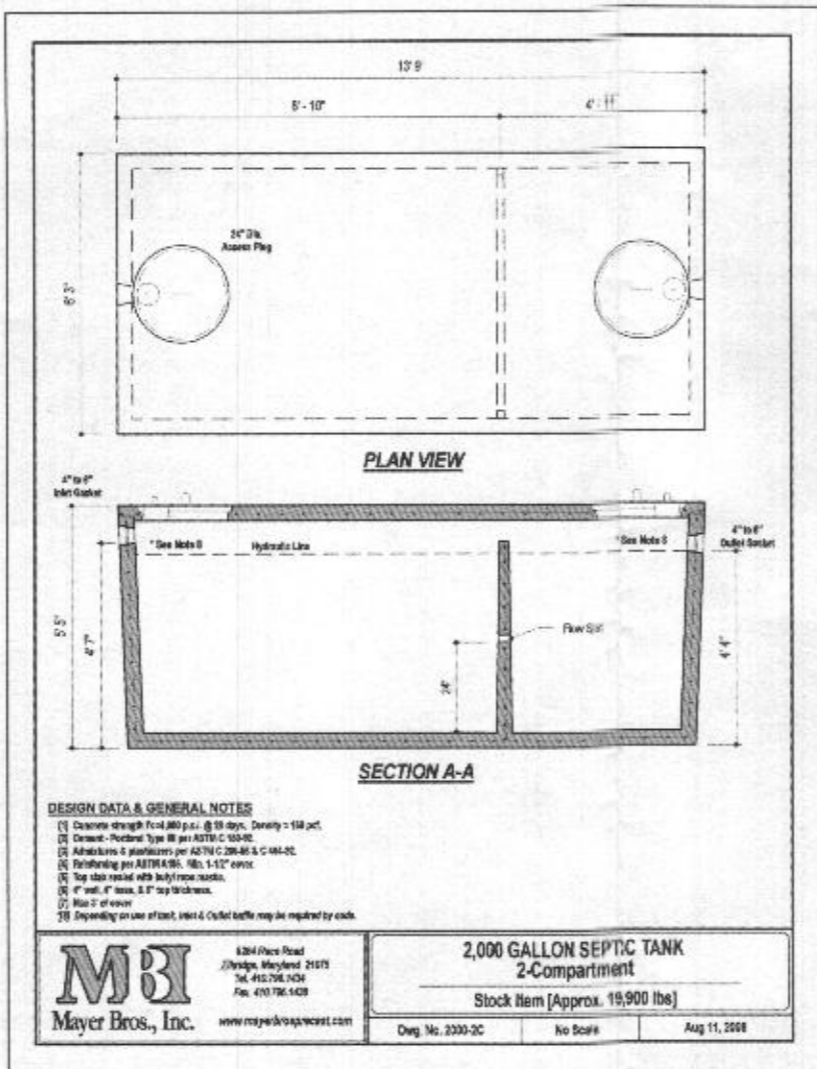
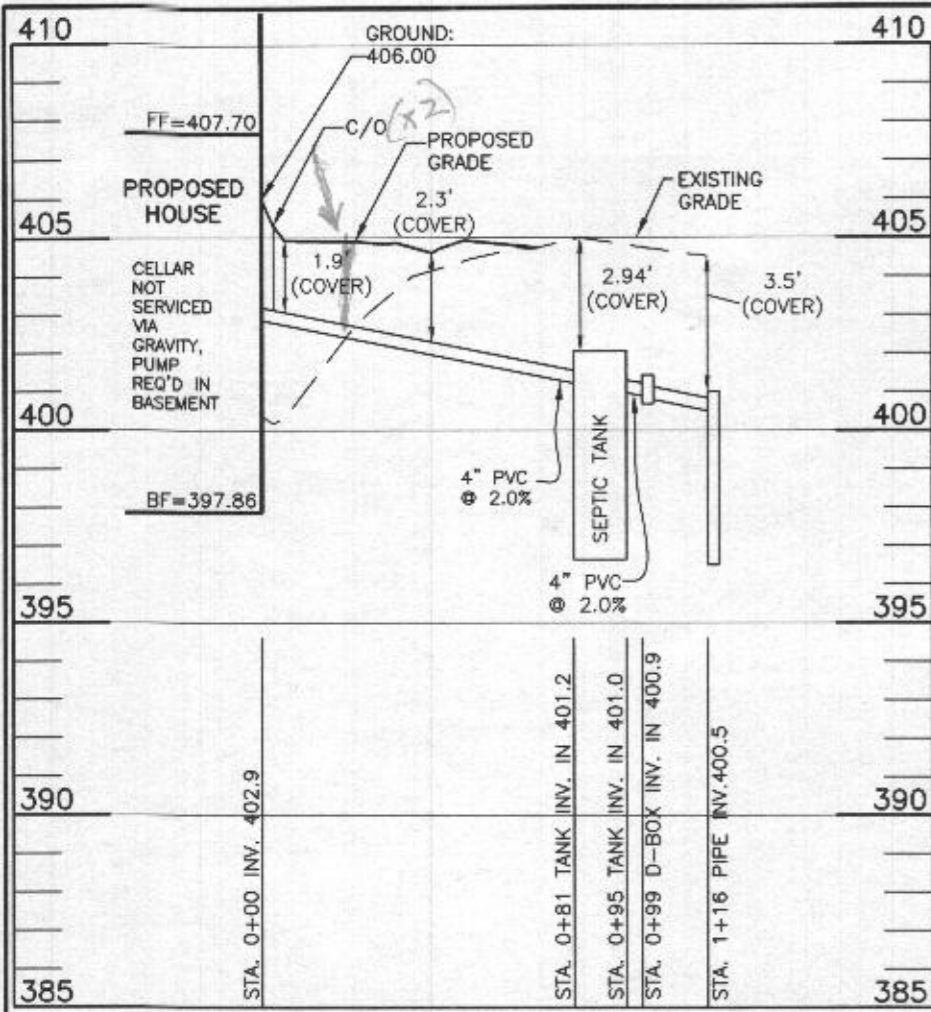
- LEGEND**
- 400 PROPOSED CONTOURS
 - 398 EXISTING CONTOURS
 - 400 EXISTING PRIVATE SEWAGE DISPOSAL AREA
 - EXISTING WELL BOX
 - PROPOSED TREELINE
 - EXISTING TREELINE
 - SOILS MAP SYMBOL
 - SOILS DELINEATION LINE
 - PERC TEST PASSED



OWNER/BUILDER:
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INITIAL SYSTEM		
Number of Bedrooms	6	
Application Rate	1.2	gpd/sf
Effective Area Beginning Depth	5.0	ft
Bottom Max Depth	8.0	ft
Design Flow	900	gpd
Drainage Field square footage	750	sf
Sidewall Reduction Credit	0.50	
Trench width	3	ft
Effective Area Depth	3	ft
Trench Spacing	10	ft
Linear Length of trench Required	125	lf

1ST REPLACEMENT SYSTEM		
Number of Bedrooms	6	
Application Rate	0.8	gpd/sf
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SEPTIC INVERT CHART - Lot 26	
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INV OUT SEPTIC TANK	401.1
TOP OF SEPTIC TANK	402.2
GROUND OVER SEPTIC TANK	405.1
INV IN DIST BOX	400.9
INV OUT DIST BOX	400.8
GROUND AT DIST BOX	404.7

Approved Septic System Plan
 Howard County Health Department
 2000-gallon Septic Tank
 to Gravity Drain Field
 for 6-bed room residence
R. Buick 7/14/21
 Signature Date

LOT 26 OSDS
 SCALE: 1"=50' HORIZ., 1"=5' VERT.

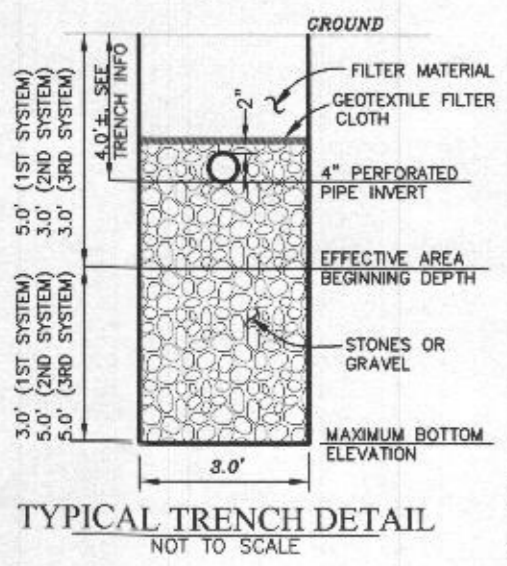
DESIGN DATA & GENERAL NOTES

- 1) Concrete strength 4000 p.s.i. @ 28 days, Density = 150 p.c.f.
- 2) Concrete - Rebar: Type III per ASTM C 150-02
- 3) Admixtures & plasticizers per ASTM C 260-05 & C 494-02
- 4) Reinforcing per ASTM A 630 - Min. 1/2" cover.
- 5) Top also needs with hydrophobic coating.
- 6) 4" wall, 4" base, 8" top thickness.
- 7) Max 2' elevation.
- 8) Depending on use of tank, inlet & outlet baffles may be required by code.

M B
 Mayer Bros., Inc. 6284 River Road, P.O. Box 21678, Bethesda, Maryland 20817
 Tel: 410.736.1434 Fax: 410.736.1438 www.mayerbrosvp.com

2,000 GALLON SEPTIC TANK 2-Compartment
 Stock Item (Approx. 19,900 lbs)
 Desg. No. 2000-2C No Scale Aug 11, 2008

TRENCH DESIGN - Lot 23								
INITIAL SYSTEM			1ST REPLACEMENT SYSTEM			2ND REPLACEMENT SYSTEM		
T-1-1	T-1-2	T-1-3	T-2-1	T-2-2	T-2-3	T-3-1	T-3-2	T-3-3
LENGTH	LENGTH	LENGTH	LENGTH	LENGTH	LENGTH	LENGTH	LENGTH	LENGTH
41.7 ft	41.7 ft	41.7 ft	44.7 ft	44.7 ft	44.7 ft	44.7 ft	44.7 ft	44.7 ft
GROUND ELEVATION	GROUND ELEVATION	GROUND ELEVATION	GROUND ELEVATION	GROUND ELEVATION	GROUND ELEVATION	GROUND ELEVATION	GROUND ELEVATION	GROUND ELEVATION
404.5	404.2	404.1	403.5	402.9	401.6	400.5	398.5	397.3
INVERT ELEVATION	INVERT ELEVATION	INVERT ELEVATION	INVERT ELEVATION	INVERT ELEVATION	INVERT ELEVATION	INVERT ELEVATION	INVERT ELEVATION	INVERT ELEVATION
400.5	400.2	400.1	401.5	400.9	399.6	398.5	396.5	395.3
MAX BOTTOM ELEVATION	MAX BOTTOM ELEVATION	MAX BOTTOM ELEVATION	MAX BOTTOM ELEVATION	MAX BOTTOM ELEVATION	MAX BOTTOM ELEVATION	MAX BOTTOM ELEVATION	MAX BOTTOM ELEVATION	MAX BOTTOM ELEVATION
396.5	396.2	396.1	395.5	394.9	393.6	392.5	390.5	389.3



HEALTH DEPARTMENT SPEC SHEET INFORMATION - Lot 26			
System	Application Rate	Effective Depth	Bottom Depth
1st System	1.2	5.0	8.0
2nd system	0.8	3.0	8.0
3rd System	0.8	3.0	8.0

OWNER/BUILDER:
 KEYSTONE CUSTOM HOMES, INC.
 227 GRANITE RUN DR.
 SUITE 100
 LANCASTER, PA 17601
 717-464-9060

BENCHMARK
 ENGINEERS ▲ LAND SURVEYORS ▲ PLANNERS
ENGINEERING, INC.
 8480 BALTIMORE NATIONAL PIKE ▲ SUITE 315
 ELLICOTT CITY, MARYLAND 21043
 (P) 410-465-6105 ▲ (F) 410-465-6644
 WWW.BEI-CIVILENGINEERING.COM

PROJECT:	MYRTUE PROPERTY LOT 26		
LOCATION:	TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1948 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352609		
TITLE:	ONSITE SEWAGE DISPOSAL PLAN		
HOUSE TYPE:	CUSTOM - KEYSTONE HOMES		
DATE:	MAY, 2021	PROJECT NO.	2099
SCALE:	AS SHOWN	DRAWING	2 OF 2

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 28376, Expiration Date: 01-01-2023.

AAM-BEI
 2021.06.30 13:46:04 -04'00