

PERMIT NUMBER: B 22004132

DATE ACCEPTED:

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov



BUILDING SITE ADDRESS REQUIRED

Street Address: 13175 Brighton Dam Road		Unit:
City: Clarksville	State: MD	Zip Code: 21029
Subdivision/Village/Complex Name:		SDP/WP/BA #:
Lot:	Tax Map:	Parcel:
Grading Permit #:		

DESCRIPTION OF WORK REQUIRED

Existing Use: open basement	Proposed Use: apartment	Estimated Cost: \$ 70,000
Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVACR) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> None		
Finish basement to include unfinished storage • living room (no range 2 burner cook top only)		
• kitchenette • laundry • rec room		
• 1/2 bath • bedroom • dining room		

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Andrew C Bogard Elise Laniro Bogard	Primary Residence: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Owner's Street Address: 13175 Brighton Dam Road	
City: Clarksville	State: MD
Phone: 410-852-7998	Email: elise.bogard@gmail.com
Zip Code: 21029	

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name:	Contact Name: Elise Bogard
Street Address: 13175 Brighton Dam Road	
City: Clarksville	State: MD
Phone: 410-852-7998	Email: elise.bogard@gmail.com
Zip Code: 21029	

CONTRACTOR INFORMATION REQUIRED

Business Name:	
Licensee's Name: Fcompact Ramirez T.B.O.	License #: 32999 136026
Street Address: 2938 ST MORREN DR	
City: Pikesville MD 21294	State: MD
Phone: 410-384-1671	Email: RAMIREZ STAR PAINTING 6332 9me
Zip Code: 21291	

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:	Name:
Street Address:	
City:	State:
Phone:	Email:
Zip Code:	

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*)	Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Utilities: <input checked="" type="checkbox"/> Electric <input type="checkbox"/> Gas	Water Supply: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Well)
Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input type="checkbox"/> Propane <input checked="" type="checkbox"/> Other: oil	Sewage Disposal: <input type="checkbox"/> Public <input checked="" type="checkbox"/> Private (Septic)
Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input checked="" type="checkbox"/> None	Fire Alarm System: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Voice Evac
Roadside Tree Project: <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes: #	

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options:				
# of Bedrooms (SF):	# of efficiency units (MF*):	# of 1 BR (MF*):	# of 2 BR (MF*):	# of 3 BR (MF*):
# Rooms:	# Full Baths:	# Half Baths:	# Fireplaces:	
Garage/Carport Info: <input type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None				
Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial				
1st Fl Width:	1st Fl Depth:	2nd Fl Width:	2nd Fl Depth:	Bsmt Width:
Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI		Gross Area: 1000 sq ft	Occupiable Area: sq ft	

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

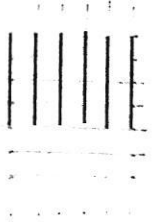
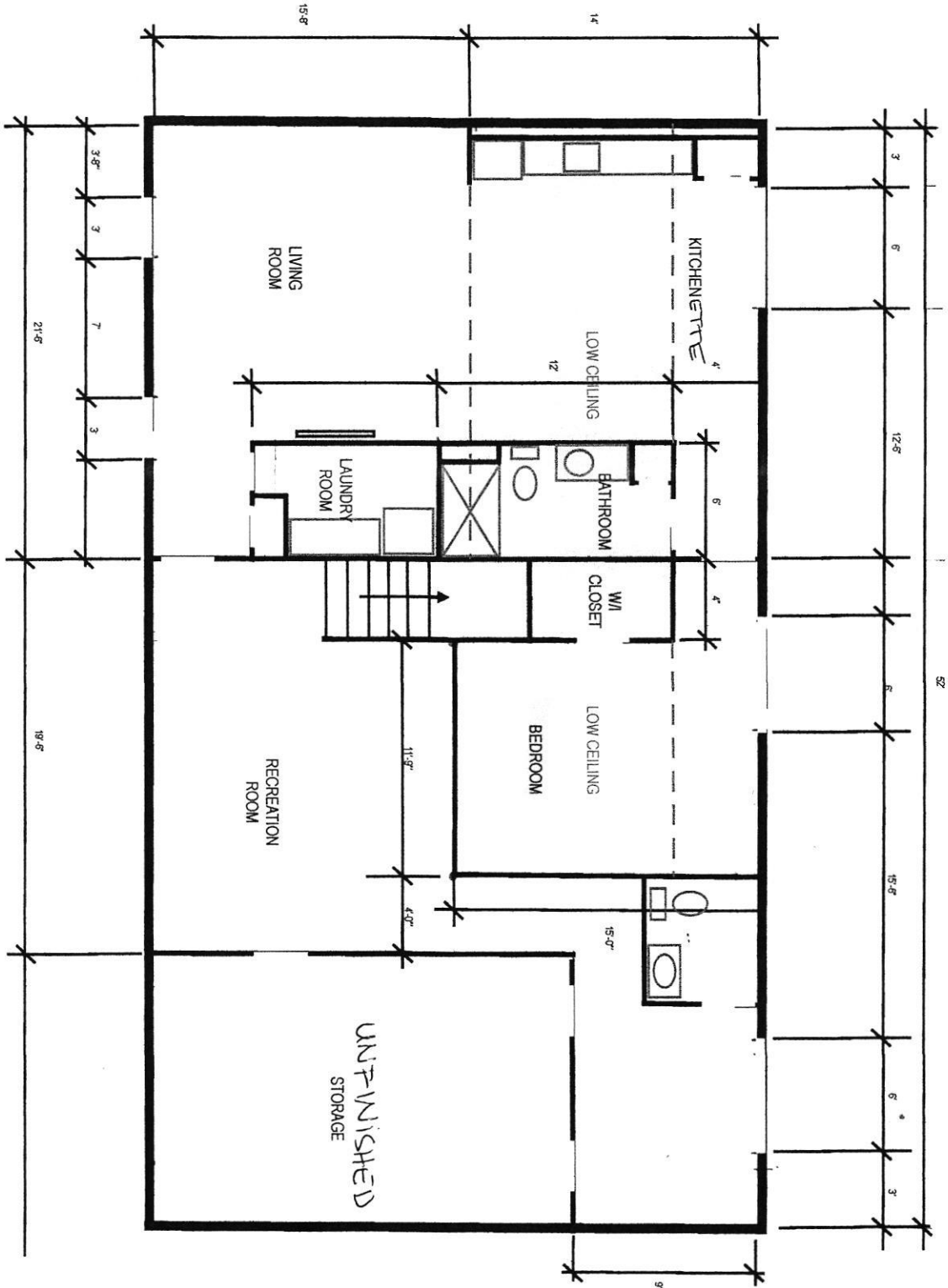
APPLICANT'S ORIGINAL SIGNATURE: [Signature] DATE SIGNED: 11/3/22

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:				
<input type="checkbox"/> PR	<input type="checkbox"/> DPZ	<input checked="" type="checkbox"/> DED	<input checked="" type="checkbox"/> Health 11/28/22	<input type="checkbox"/> SHA <input type="checkbox"/> CID
SUBMITTAL FEES: \$135.00		PAYMENT: will pay online		ACCEPTED BY: <u>[Signature]</u>

Basement Level 2/19 24.1



Oswald, Hank

From: Oswald, Hank
Sent: Tuesday, November 22, 2022 10:53 AM
To: 'Elise Bogard'
Subject: RE: B22004132_13175 Brighton Dam Road

11-28-22

Owner notified of about B.P.
approval. - H.O.

Hi Elise:

I'm sorry for the delayed response. I've been out of the office since middle of last week. I can read the 2nd floor plan (it shows 4 bedrooms), but I can't read the 1st floor plan. Can you resend the 1st floor plan? Is there a 3rd floor with 2 bedrooms? Again, once I have the floor plan information, I will be able to provide you and your contractor with our building permit requirements.

Thanks,

Hank

From: Elise Bogard <elise.bogard@gmail.com>
Sent: Wednesday, November 16, 2022 1:22 PM
To: Oswald, Hank <hoswald@howardcountymd.gov>
Subject: Fwd: B22004132_13175 Brighton Dam Road

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Please find the forwarded message that was originally sent 11/10 with the floor plans requested for my home. Could you please confirm receipt?

Thank you,
Elise

Begin forwarded message:

From: Elise Bogard <elise.bogard@gmail.com>
Subject: Re: B22004132_13175 Brighton Dam Road
Date: November 10, 2022 at 3:15:35 PM EST
To: "Oswald, Hank" <hoswald@howardcountymd.gov>

Hello,

Thank you for reaching out. Please find the attached floor plans for the other levels of the home.

Please let me know what else is needed.

Thank you,
Elise

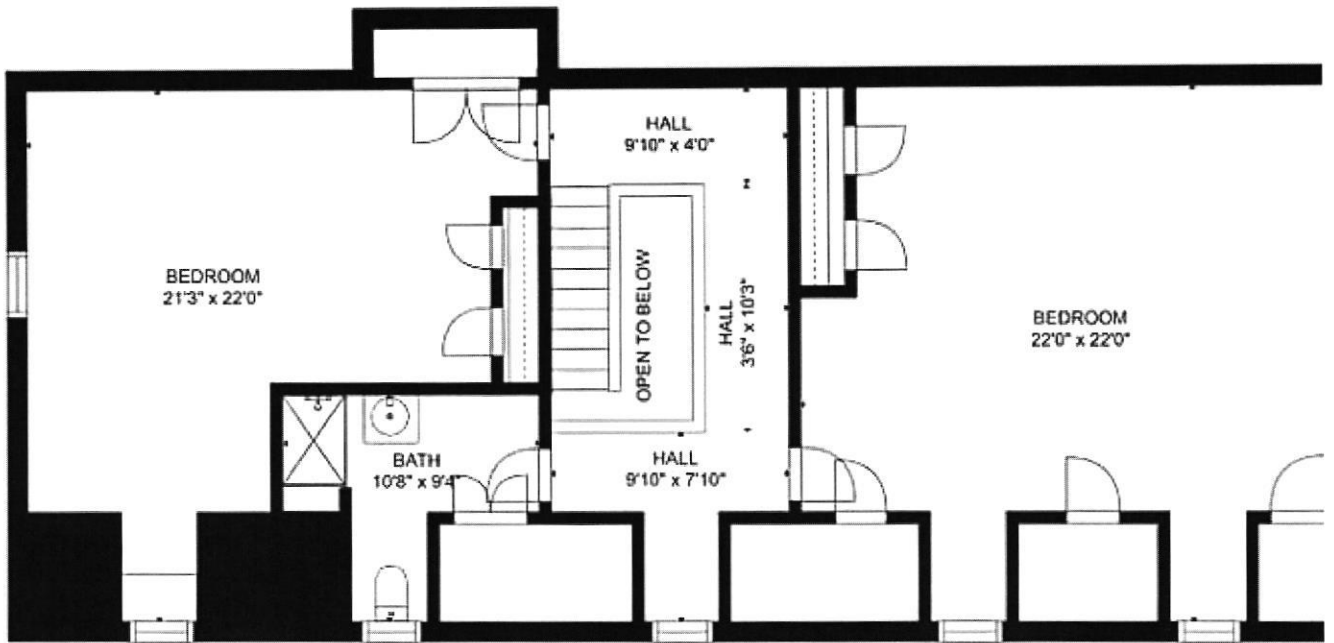
13175 Brighton Dam Rd, Clarksville, MD, USA
 Gross Living Area: 5722 sq. ft



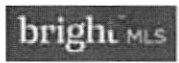
Space	Area (sq. ft)	Calculation <small>Coordinate Polygon Area Algorithm using inches</small>
FLOOR 2 (Living area)	2423	$-\{[(1029.5 + 1029.5) \cdot (95.5 - 492.7) + (1029.5 + 762.2) \cdot (492.7 - 492.7) + (762.2 + 762.2) \cdot (492.7 - 514.7) + (762.2 + 92.5) \cdot (514.7 - 514.7) + (92.5 + 92.5) \cdot (514.7 - 461.7) + (92.5 + 102.5) \cdot (461.7 - 451.7) + (102.5 + 102.5) \cdot (451.7 - 398.7) + (102.5 + 92.5) \cdot (398.7 - 388.7) + (92.5 + 92.5) \cdot (388.7 - 152.6) + (92.5 + 748.2) \cdot (152.6 - 152.6) + (748.2 + 748.2) \cdot (152.6 + 748.2) \cdot (95.5 - 95.5)] \cdot 0.5 + 0.00694$
DECK (Non-living area)	381	$-\{[(748.2 + 748.2) \cdot (68.2 - 152.6) + (748.2 + 98.4) \cdot (152.6 - 152.6) + (98.4 + 98.4) \cdot (152.6 - 68.2) + (98.4 + 748.2) \cdot (68.2 - 68.2)] \cdot 0.5 + 0.00694$
FIREPLACE (Non-living area)	16	$-\{[(92.5 + 102.5) \cdot (388.7 - 398.7) + (102.5 + 102.5) \cdot (398.7 - 451.7) + (102.5 + 92.5) \cdot (451.7 - 461.7) + (92.5 + 68.7) \cdot (461.7 - 461.7) + (68.7 + 68.7) \cdot (461.7 - 388.7) + (68.7 + 92.5) \cdot (388.7 - 388.7)] \cdot 0.5 + 0.00694$

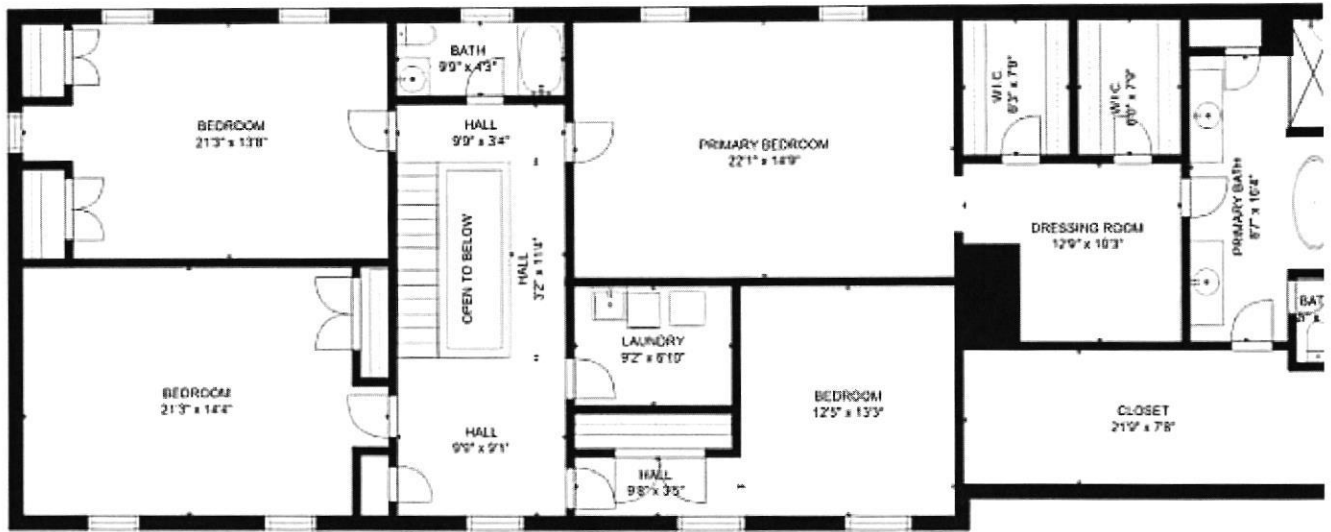
Report generated on Tue, 24 May 2022 11:48:02 CMT
 Measurements and calculations are deemed highly reliable, but not guaranteed.



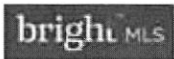


GROSS INTERNAL AREA
 FLOOR 1 1546 sq. ft. FLOOR 2 2250 sq. ft.
 FLOOR 3 2101 sq. ft. FLOOR 4 1188 sq. ft.
 EXCLUDED AREAS : GARAGE: 674 sq. ft.
 PATIO: 2792 sq. ft. DECK: 381 sq. ft.
 TOTAL: 7665 sq. ft.





GROSS INTERNAL AREA
 FLOOR 1: 1548 sq. ft. FLOOR 2: 2218 sq. ft.
 FLOOR 3: 2101 sq. ft. FLOOR 4: 1158 sq. ft.
 EXCLUDED AREAS: GARAGE: 674 sq. ft.
 PATIO: 2782 sq. ft. DECK: 381 sq. ft.
 TOTAL: 7065 sq. ft.



On Nov 10, 2022, at 3:02 PM, Oswald, Hank <hoswald@howardcountymd.gov> wrote:

Hi Ms. Bogard:

Good afternoon. This office is in receipt of a building permit for a finished basement including a bedroom. As part of the BP review process, I will need a copy of the existing floor plans (1st & 2nd floor) to confirm the # of bedrooms. You may scan a copy of the floor plans (simplified version/hand drawn) and send them directly to me. Once I have the floor plans, I will get back to you with our building permit requirements.

I've attached a copy of our building permit review process for your information. Should you have any questions, please don't hesitate to ask.

Thanks,

Hank
 Hank Oswald
 Licensed Environmental Health Specialist
 Bureau of Environmental Health
 Howard County Health Department
 8930 Stanford Blvd. Columbia, MD 21045
 (410) 313 - 1786

www.hchealth.org

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<Building Permit Application Process.pdf>

Oswald, Hank

From: Oswald, Hank
Sent: Thursday, November 10, 2022 3:03 PM
To: ELISE.BOGARD@GMAIL.COM
Subject: B22004132_13175 Brighton Dam Road
Attachments: Building Permit Application Process.pdf

Hi Ms. Bogard:

Good afternoon. This office is in receipt of a building permit for a finished basement including a bedroom. As part of the BP review process, I will need a copy of the existing floor plans (1st & 2nd floor) to confirm the # of bedrooms. You may scan a copy of the floor plans (simplified version/hand drawn) and send them directly to me. Once I have the floor plans, I will get back to you with our building permit requirements.

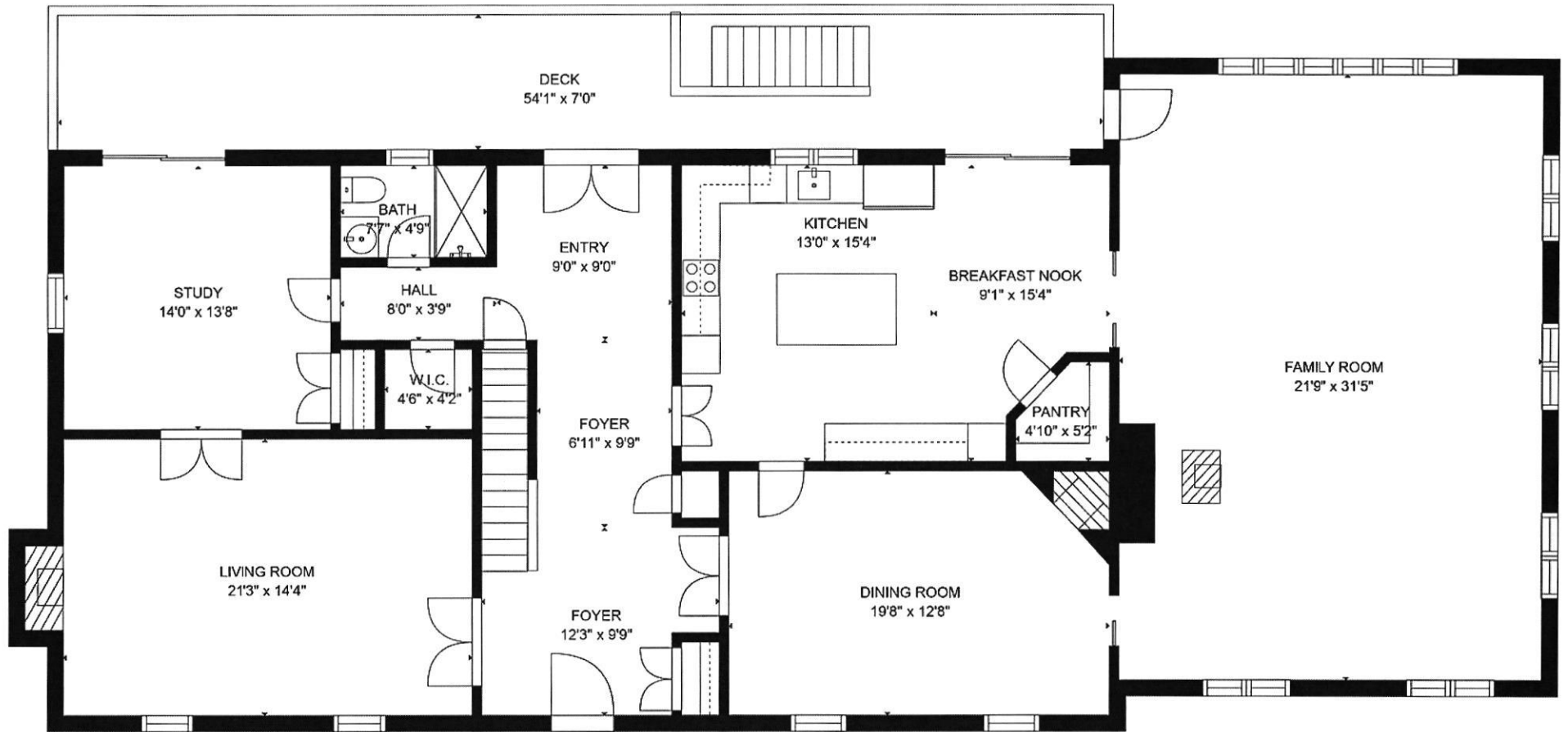
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Thanks,

Hank

Hank Oswald
Licensed Environmental Health Specialist
Bureau of Environmental Health
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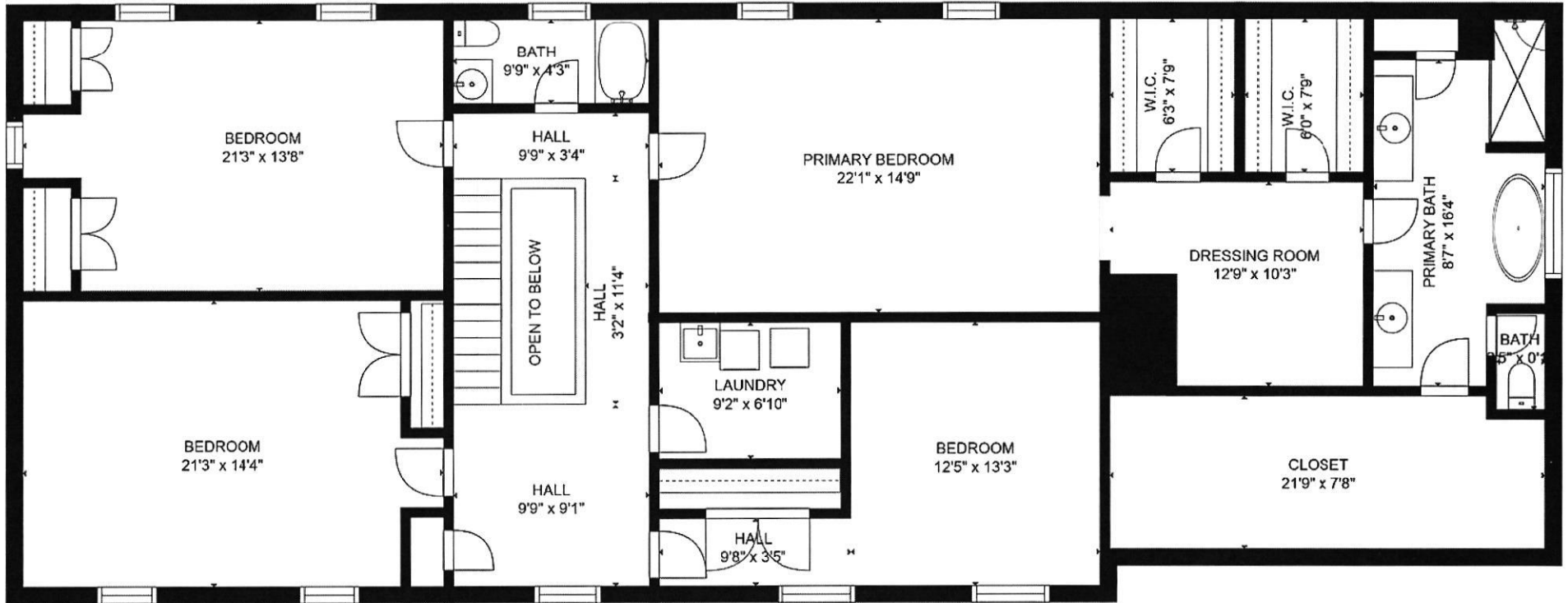
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GROSS INTERNAL AREA
 FLOOR 1: 1546 sq. ft, FLOOR 2: 2250 sq. ft
 FLOOR 3: 2101 sq. ft, FLOOR 4: 1168 sq. ft
 EXCLUDED AREAS: , GARAGE: 674 sq. ft
 PATIO: 2793 sq. ft, DECK: 381 sq. ft
 TOTAL: 7065 sq. ft

SIZES AND DIMENSIONS ARE APPROXIMATE, ACTUAL MAY VARY.

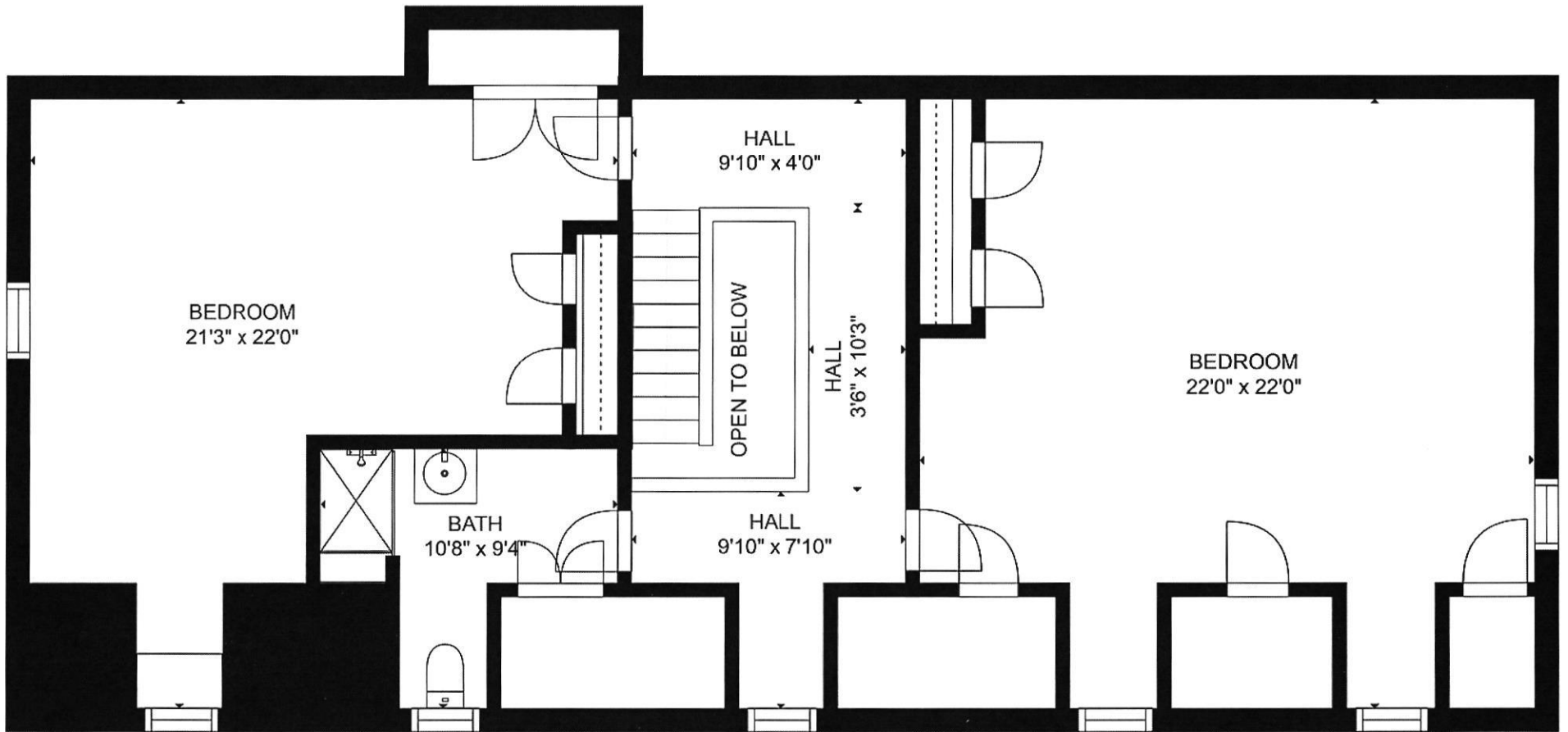




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Ho

COMPLETE THIS FORM WHEN DROPPING OFF ANY CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:

Date: 11/14/22 ONLINE SUBMITTAL PAPER SUBMITTAL

To: DPZ DPZ
(Reviewer/Requestor's Name) (Division)

From: Ramirez Star Painting LLC _____
(Your Name, Company Name) (Phone Number)

Subject: Project name Andrew basement raw
Project site address 13175 Brighton Dawn Road
Permit # BZ 2004132 SDP # _____
Other information pertinent to this project _____

Please check the attachments below that you are submitting with this transmittal:

- Letter of response to address plan review comment letter
- Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
- Letter Summarizing Changes 2 copies
- Energy conservation calculations
- Copies of _____ (be specific).
- Health Department Request DPZ/DED Request Applicant's Request
- Two sets of single-family model plans to be placed on permanent file: Model name and/or # _____
- Other _____

Contact Person Information: (Required)

Jose Ismael Ramirez
Please Print Name

Telephone No: 443-804-6536

E-Mail Address: ramirezstarpainting3@gmail.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455 OPTION #4 OR BY VISITING MYHOWARD.INFO. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by [Signature]
White-Plan Review / Yellow-Applicant / Pink-Permit Division
t:\Operations\Updated forms\HoCoTransmittalForm05.2022

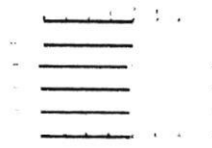
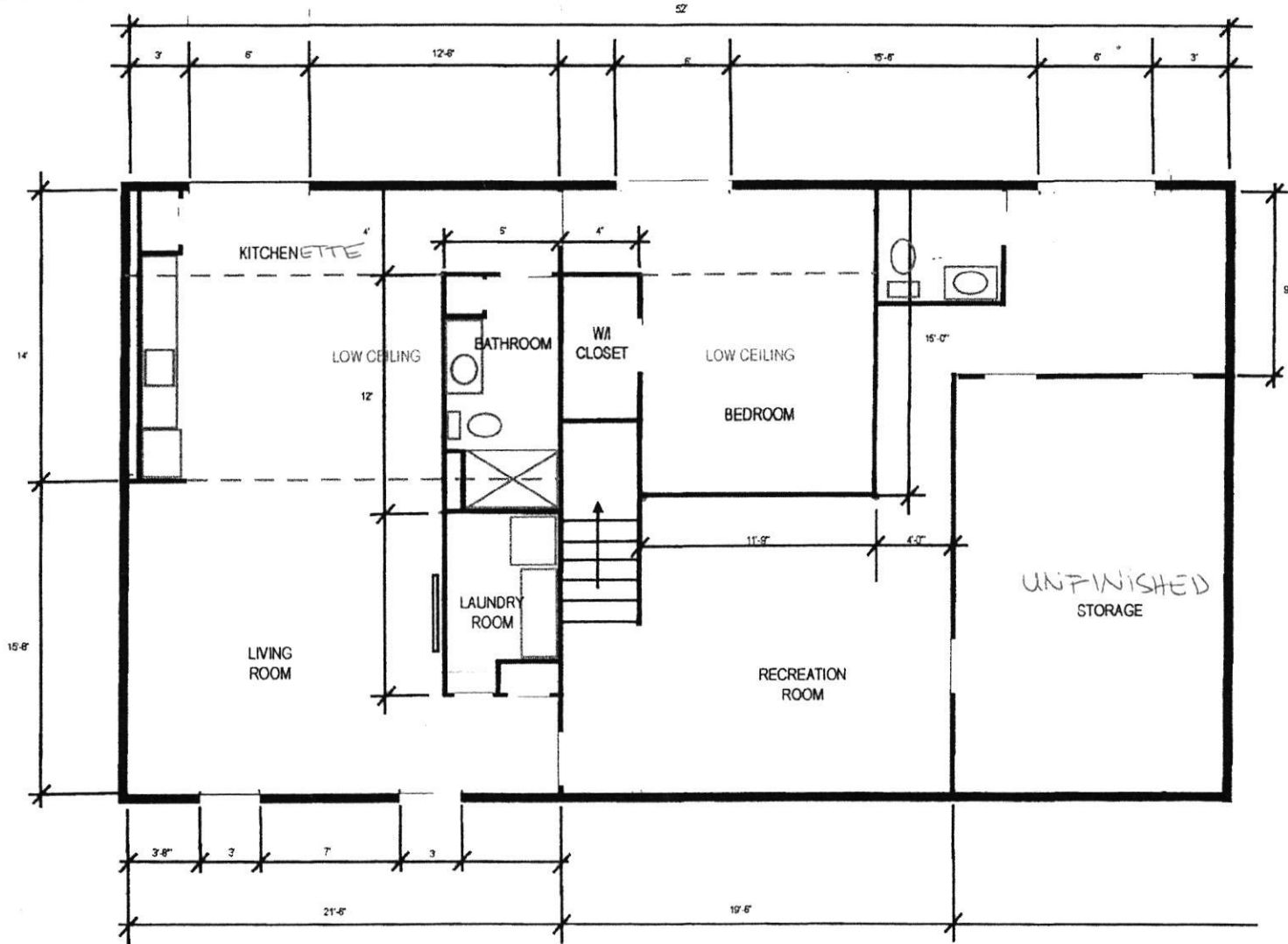
CC: HEALTH

REVISED

Date: 11/14/2022

Comments: B22-4132

Basement level 216 2A, 1 2014



12/2/88 noon 12 pm
12/5/88 AM
1/24/89 10:30
DWD
COT BAKER @ auto

File

PERMIT

05. 407419

P 43/36
A 35459
DISTRICT 5th
DATE 11/29/89
DATE SYSTEM APPROVED 1/24/89
INSPECTOR C.B.A.

HOWARD COUNTY
BUREAU OF ENVIRONMENTAL HEALTH
461-9933

INDEXED

T & R Plumbing & Heating, Inc. IS PERMITTED TO INSTALL ALTER

ADDRESS 11974 Scaggsville Road, Fulton, Maryland 20759 PHONE 725-2392

SUBDIVISION Waterford ROAD 13175 Brighton Dam Rd LOT 7, Section 2

PROPERTY OWNER Roger Pedersen **BUILDING PERMIT SIGNED**

ADDRESS BUILDER - 19400 3RD BOUTIQUE BLVD - CATG POOL
725-8931

IF GARBAGE GRINDER IS USED INCREASE SEPTIC TANK CAPACITY BY 50% AND ABSORPTION AREA BY 22%.

GARBAGE GRINDER? YES NO

SEPTIC TANK CAPACITY 2000 GALLONS NUMBER OF BEDROOMS 4

TRENCHES - 275 sq. ft. per bedroom with garbage disposal. Trench to be 3 feet wide. Inlet 4.0 feet below original grade. Bottom maximum depth 5.5 feet below original grade. Effective area begins at 4.0 feet below original grade. 1.5 feet of stone below distribution pipe.

LOCATION - Place the distribution box 175 feet down the left (965.37') lot line and 80 feet off the same lot line as seen when facing the lot from Brighton Dam Road. Run trenches on contour toward the left and right lot line.

NOTE - No trench to exceed 100 feet in length. Provide 6" - 8" diameter cleanout and cap to grade or above on septic tank. ok/cw

PLANS APPROVED BY Sid Abel DATE 4/01/87

COVER NO WORK UNTIL INSPECTED AND APPROVED

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

NOTE: CLEANOUT REQUIRED EVERY 70 FEET OF SEWER LINE AND/OR AT 90° SWEEPS IN LINES FROM HOUSE TO DRAIN FIELDS

NOTE: ALL PARTS OF SEPTIC SYSTEMS (I.E. TANK, DISTRIBUTION BOX, TRENCHES) TO BE 100 FEET FROM WELL (UNLESS OTHERWISE SPECIFICALLY AUTHORIZED)

NOTE: IF DEEP TRENCHES ARE USED CALL FOR INSPECTION BEFORE AND AFTER PLACING GRAVEL IN TRENCHES)

NOTE: NO DRY WELL SHALL EXCEED 15 FOOT IN DIAMETER NO ABSORPTION TRENCH TO EXCEED 100 FEET IN LENGTH

NOTE: ALL PIPE FROM HOUSE TO SEPTIC TANK MUST BE CAST IRON OR SCHEDULE 40 PVC OR ABS

PERMIT VOID AFTER TWO YEARS

NOTE: INSTALL STAND PIPE ON SEPTIC TANK AND DRY WELL. STAND PIPES MUST BE 6 INCHES IN DIAMETER. CAST IRON, CONCRETE OR TERRA COTTA OR PVC OR ABS ACCEPTED. IF TOP OF SEPTIC TANK IS DEEPER THAN 3 FEET, MANHOLE TO GRADE REQUIRED

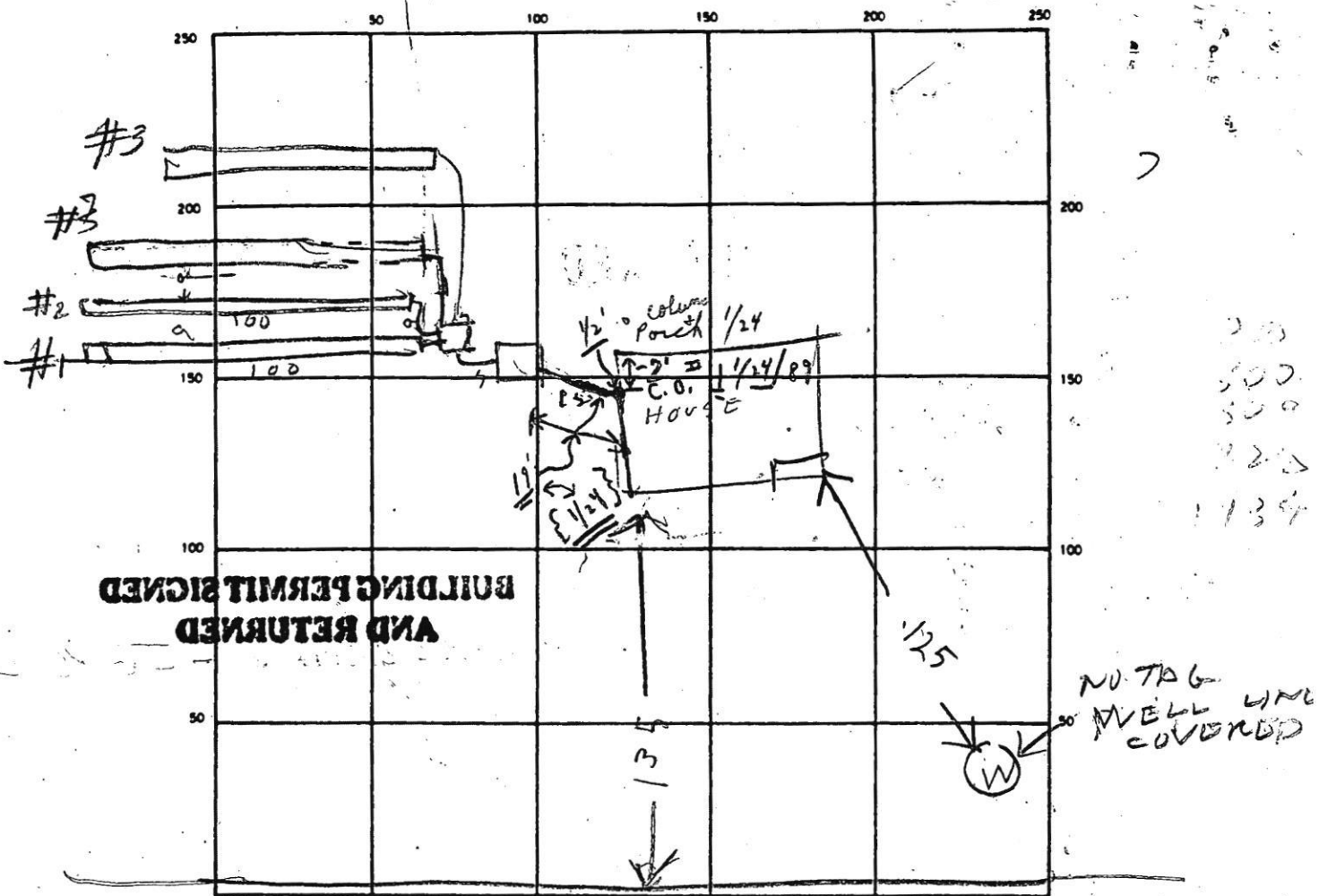
NOTE: DISTRIBUTION BOXES MUST HAVE BAFFLES

*B.P. 49893
finish bathroom roughed
in during initial const.
(interior completion)
app. 7/1*

35459

***INSTALLER IS RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT**

***CALL 461-9933 FOR INSPECTION OF SEPTIC SYSTEMS.**



INDICATE NORTH - NAME ADJOINING ROADWAY AS BASE LINE
 BRIGHTON ROAD (R1)

SEPTIC TANK LEVEL OK 2000 CLEANOUTS OK C.O. #1 OK 1/24

DISTRIBUTION BOX LEVEL _____

1	2	3	4	1	2	3	4	3.5	3	FT.
55	60	55	55	3	3	3	3	3.5	3	FT.
1	2	3	4	1	2	2	2			FT.
1.5	1.5	1.5	1.5	200	100	100	100			FT.

NUMBER OF TRENCHES: 4 ONE SIDEWALL/BOTTOM AREA 300 200 300 100 225 1134

DRYWELL INSIDE DIAMETER _____ FT EFFECTIVE DEPTH BELOW INLET _____ FT.

ABSORBENT AREA _____ SQ. FT.

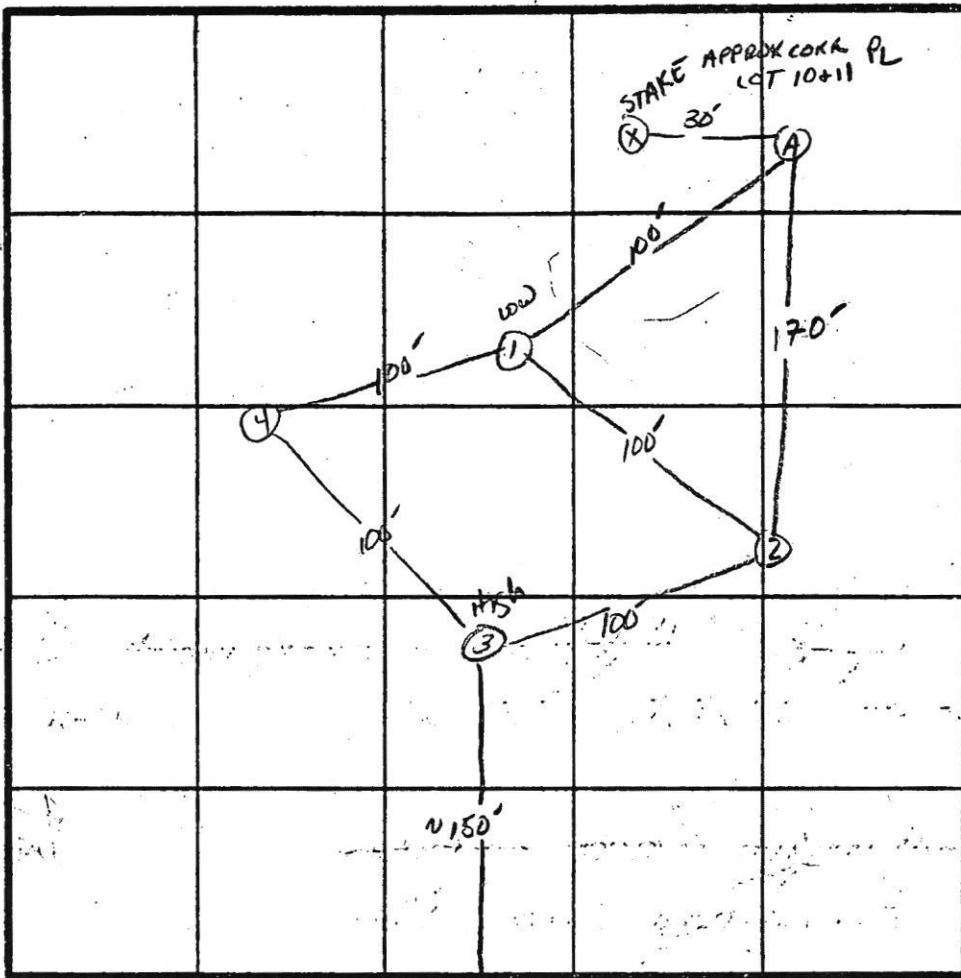
REMARKS
 12/2/88 AM LOCATION OK PER PLANS - TRENCHES #1 & 2 & TANK OK. DIG TRENCHES #3 & #4 RP
 12/2/89 PM - TRENCH #3 DUG, COVER TRENCHES #1, #2, #3 & TANK DIG TRENCH #4 CALL RP
 12/5/89 AM - 4TH TRENCH OK CALL FOR INSPECTION OF HOUSE SEWER WHEN READY RP 1/24/89 water test appears - ok; all good, was covered; File
 DATE SYSTEM APPROVED 1/24/89 INSPECTOR Charles Bryan Strick

①
SOIL PROFILE

0'
6" A1-3
RED BROWN
CLAY LOAM
60%
SAPROLITE

5'
Yellow Brown
Silty SAND
10-20%
SAPROLITE

12.5'



② ③ ④

0'
6" A1-3
RED BROWN
CLAY LOAM
40%
SAPROLITE

1.5'
Brown Silty
SAND 60%
SAPROLITE

2.5'

DATE	TEST NO.	DEPTH	PRE-WET		TEST - 1" DROP		TIME	
			START	STOP	START	STOP		
5/2	1 S	5"	11:56	12:09	12:09	12:37	28min	
	1 V	12.5"	UNIFORM SOIL STRUCTURE Below 5"					
	2 S	4.5"	12:00	12:15	12:15	12:42	27min	
	2 V	12.5"	UNIFORM SOIL STRUCTURE Below 4.5"					
	3 S	5"	12:09	12:14	12:14	12:22	8min	
	3 V	12.5"	UNIFORM SOIL STRUCTURE Below 4.5"					
	4 S	4.5"	12:14	12:16	12:16	12:20	4min	
	4 V	13"	UNIFORM SOIL STRUCTURE Below 4.5"					
	A	WATER AT 10" CLAY TO 5"						

X Perc Time
17min
INLET 4.0"
BOTTOM 5.5"

REMARKS Δ Perc. Field. Limited House + well site, DEEP SOIL DRY - SHALLOW SYSTEM ONLY

TYPE OF SOIL SAND Les, Terry, DONNY

APPLICATION

35463

A 34895

SEWAGE DISPOSAL TESTING

STATE OF MARYLAND - DEPARTMENT OF HEALTH AND MENTAL HYGIENE

P _____

HOWARD COUNTY HEALTH DEPARTMENT
ENVIRONMENTAL HEALTH SERVICES

P. O. BOX 476 ELLICOTT CITY, MARYLAND 21043
TELEPHONE: 992-2330

DISTRICT 5

DATE 1-25-85

TO: THE COUNTY HEALTH OFFICER
ELLICOTT CITY, MARYLAND

I, HEREBY, APPLY FOR THE NECESSARY TEST IN ORDER TO CONSTRUCT (OR RECONSTRUCT) A SEWAGE DISPOSAL SYSTEM.

PROPERTY OWNER Developer - Highland Development Corp.
ADDRESS 13690 Nichols Drive PHONE 531-5539

PROPERTY LOCATION:
SUBDIVISION Huntington Manor Estates LOT NO. Lot 7
ROAD AND DESCRIPTION Brighton Dam Road

SIZE OF LOT 3 Acres TYPE BLDG. Single Family
(NUMBER OF BEDROOMS)

THE SYSTEM INSTALLED UNDER THIS APPLICATION IS ACCEPTABLE ONLY UNTIL PUBLIC FACILITIES BECOME AVAILABLE. I FULLY UNDERSTAND THE FEE CONNECTED WITH THE FILING OF THIS PERC TEST APPLICATION IS NON-REFUNDABLE UNDER ANY CIRCUMSTANCES. I ALSO AGREE TO COMPLY WITH ALL M.O.S.H.A. REQUIREMENTS IN TESTING THIS LOT.

(SIGNATURE OF APPLICANT)

APPROVED BY _____ FOR _____ DATE _____

REJECTED BY _____ FOR _____ DATE _____

HOLD PENDING FURTHER TESTS _____ DATE _____

REASONS FOR REJECTION OR HOLDING 5-6-85 Perc. UNSATISFACTORY - Insufficient AREA remaining TO TEST WATER TABLE Problem; Hold for Certified subdivision PLAN. STAGE

THIS IS NOT A PERMIT

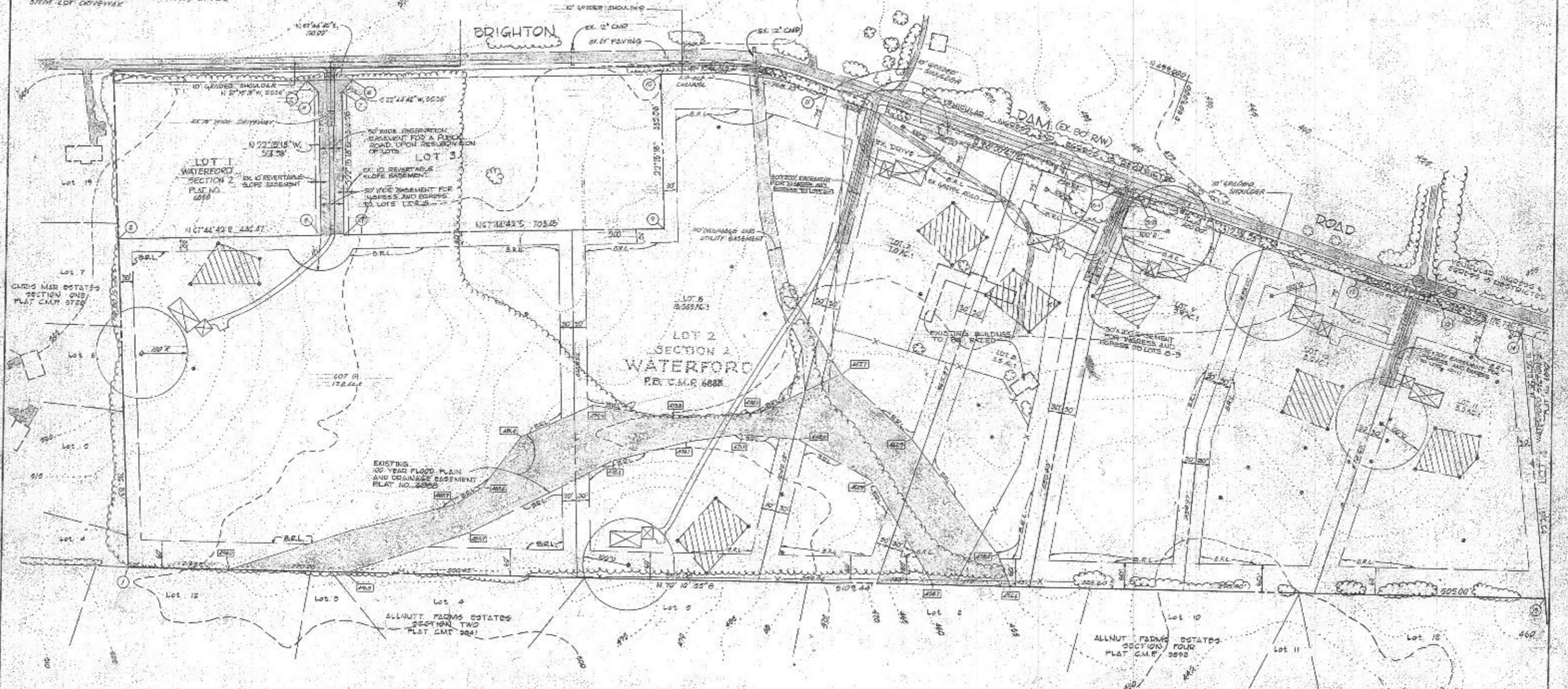
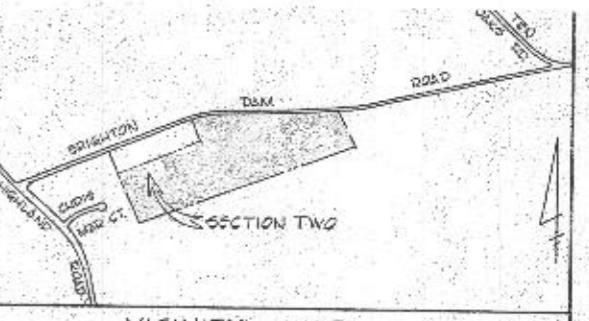
- NOTES:**
- THIS AREA DESIGNATES A PRIVATE SEWAGE BASEMENT OF 10000 SQUARE FEET AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE. IN THIS AREA ARE RESTRICTED UTILITIES PUBLIC SEWAGE IS AVAILABLE. THESE EASEMENTS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWAGE BASEMENT. RECORDATION OF A MODIFIED SEWAGE EASEMENT SHALL NOT BE NECESSARY.
 - THE LOTS SHOWN HEREON COMPLY WITH MINIMUM OWNER-SHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF HEALTH AND MENTAL HYGIENE.
 - SUBJECT PROPERTY ZONED 'R' AS PER 10/3/77 COMPREHENSIVE ZONING PLAN.
 - PERCOLATION AREAS AND WATER WELLS FOR ADJOINING LOTS WILL BE SHOWN WHERE PERTINENT.
 - TOTAL AREA OF SUBDIVISION: 28297 S.F.
 - TOTAL NUMBER OF LOTS: 7
 - PROPERTY SUBJECT TO Y.P. 85-20-22
 - SEE GRADE FILES: 2-85-10 & F. 86-120, 3-87-08
 - LENGTH OF ROADS: 0
 - TOTAL AREA OF ROADS: NONE
 - TOTAL AREA OF LOTS: 28297 S.F.
 - FOR PLOTS ON PLOT FROM LOTS, REFUSE COLLECTION, SNOW REMOVAL AND ROAD MAINTENANCE ARE PROVIDED TO THE JOINTION OF THE PLOTS OR PLOT STRIP LOT DRIVEWAY.

COORDINATE TABLE

NO.	NORTH	EAST
1	497174.25	807213.40
2	457834.80	806235.04
3	458003.89	807348.24
4	458295.41	807228.56
5	458600.08	807156.35
6	498334.58	807198.90
7	438314.38	807175.79
8	438292.83	807386.78
9	438283.74	806945.88
10	438203.81	807191.82
11	438280.82	806715.06
12	438273.79	806967.24
13	438735.67	806906.54
14	438745.25	806882.94
15	438228.43	810158.90

Percolation Test Data

Lot Number	Previous Test Number	Average Perc. Time in Minutes Per Second Inch	Max. Depth Permitted for Effluent Pipe to Enter Sewage Disposal Area or Its Highest Elevation with Reference to Existing Grade at Time of Percolation Test
6	814447B	16 MIN.	3.5'
6	814447B	3 MIN.	3.0'
7	814447B	17 MIN.	4.0'
9	814447B	10 MIN.	3.0'
9	814447B	16 MIN.	3.5'
10	814447B	13 MIN.	4.5'
11	814447B	10 MIN.	3.0'



- LEGEND**
- ☒ DENOTES LOCATION OF DRILLING
 - ⊙ DENOTES PROPOSED WELL
 - ⊙ DENOTES FIELD LOCATION OF PERC. HOLES

FISHER COLLINS AND CARTER INC.
 CIVIL ENGINEERS AND LAND SURVEYORS
 8800 COURT AVENUE
 BELMONT CITY, MD. 21043

APPROVED FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS, HOWARD COUNTY HEALTH DEPARTMENT
John Beda 4-2-87
 COUNTY HEALTH OFFICER DATE



OWNER/DEVELOPER
 THE BRIGHTON GROUP
 SUITE 204, 2570 STERRETT BLVD.
 COLUMBIA, MD. 21044

TENTATIVELY APPROVED ON APRIL 15, 1987
 OFFICE OF PLANNING AND ZONING OF
 HOWARD COUNTY
John Williamson 4/24/87
 PLANNING DIRECTOR DATE

PRELIMINARY PLAN
WATERFORD
 SECTION 2, LOTS 5-11
 A RESUBDIVISION OF LOT 2

5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 TAX MAP 24 PADD. 208
 SCALE 1" = 100'
 JUN 7, 1982
 5-87-09