

C:\Users\BAM\Dropbox\Barry A Miller Architects\Brent Rutley\15904 Frederick Road Revised 08.25.22.rvt

Table with 4 columns: Abbreviation, Description, Abbreviation, Description. Lists various construction terms like ABOVE FINISH FLOOR, ACCESSIBLE, ACUSTICAL, etc.

PROJECT NOTES

- 1. CONTRACTOR AND ANY SUB-CONTRACTOR HAVING SUBMITTED PROPOSAL FOR THIS WORK SHALL BE HELD AS HAVING CLEAR AND COMPLETE UNDERSTANDING OF REQUIREMENTS FOR HIS WORK UNDER THE CONTRACT. CONTRACTORS ARE RESPONSIBLE AND LIABLE FOR SAFETY AND PROTECTION OF SITE, PROJECT, WORKMEN, SUB-CONTRACTORS, THE PUBLIC AND PUBLIC PROPERTY AGAINST INJURY OR DAMAGE OF ANY TYPE, FROM ANY CAUSE, UNTIL FINAL ACCEPTANCE OF PROJECT. HE SHALL CARRY INSURANCE TO FULLY PROTECT HIS INTEREST AND THOSE OF THE OWNER.

NOTICE OF VIOLATION CORRECTION TO EXISTING COMMERCIAL OFFICE BUILDING

STRUCTURAL STABILIZATION REPAIR

15904 FREDERICK ROAD, LISBON, MARYLAND

CODE INFORMATION

PROJECT SHALL COMPLY WITH THE 2018 INTERNATIONAL BUILDING CODE (IBC); THE 2018 INTERNATIONAL EXISTING BUILDING CODE (IEBC); THE 2018 NFPA 101 LIFE SAFETY CODE; THE 2012 MARYLAND ACCESSIBILITY CODE (COMAR 05.02.02); THE AMERICAN WITH DISABILITIES ACT; AND ALL APPLICABLE CODES AND ORDINANCES.

Table with 3 columns: CODE REQUIREMENT, REFERENCE, PROJECT INFORMATION. Lists requirements for USE GROUP, CONSTRUCTION TYPE, FIRE RESISTIVE RATING, etc.

SCOPE OF WORK: THE PURPOSE OF THIS BUILDING PERMIT SUBMISSION IS TO CORRECT A NOTICE OF VIOLATION TO AN EXISTING OFFICE BUILDING LOCATED AT 15904 FREDERICK ROAD IN LISBON, MARYLAND. THE SCOPE OF THIS WORK INCLUDES STABILIZATION OF THE EXISTING COMMERCIAL WOOD STRUCTURE; REPLACE DAMAGED 6"x6" WOOD SILL, REPAIR DAMAGED STONE FOUNDATION WALL AND LEVEL TOP OF FOUNDATION TO ACCEPT A NEW PRESSURE TREATED SILL PLATE; INSTALL SILL SEALER AND ANCHOR PLATE TO FOUNDATION; APPLY METAL TIE DOWNS BETWEEN FLOOR JOIST AND SILL; REPAIR DAMAGED EXTERIOR WALL STUDS BY SISTERING NEW 2"x4" STUDS TO EXISTING TO EXTEND STUD BEARING TO NEW SILL PLATE; ADD NEW LEDGER BOARD ALONG PERIMETER OF FOUNDATION AND ATTACH TO NEW WALL STUDS AND SILL PLATE; ADD NEW EXTERIOR SHEATHING (PLYWOOD ON CORNERS AND OSB INFILL) AND NEW SIDING; REPAIR DAMAGED FLOOR JOIST AND RAFTERS AS REQUIRED; PROVIDE NEW ROOF SHEATHING AND INSTALL NEW METAL ROOFING MATERIAL. REPAIR ALL FASCIAS AS REQUIRED. FUTURE BUILDING PERMITS BE REQUIRED ONCE STABILIZATION WORK IS COMPLETED. CONTRACTOR SHALL CONTACT THE ARCHITECT IF CONDITIONS THEY UNCOVER ARE DIFFERENT THAN SHOWN ON THIS SET OF DRAWINGS.

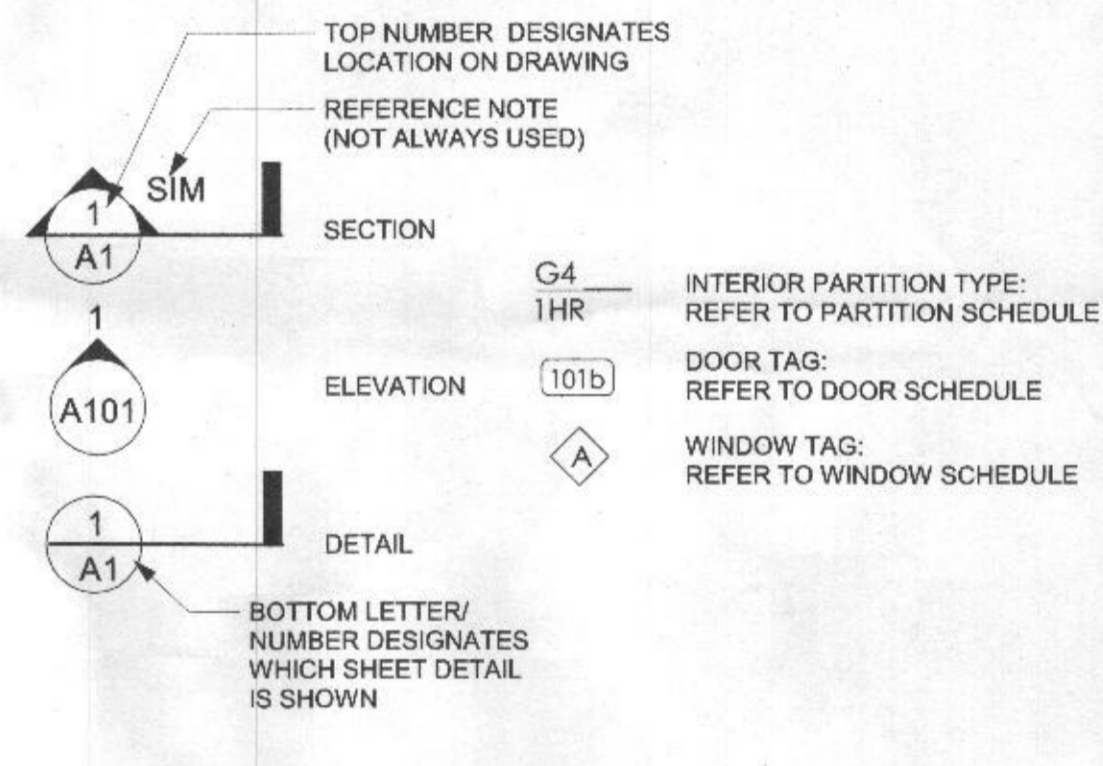
DRAWINGS ARE REVISED TO INSTALL A 6"x6" SILL BEAM (SAME SIZE AS EXISTING) IN LIEU OF A 2"x SILL PLATE.

DRAWING INDEX

Table with 3 columns: Sheet Number, Sheet Name, Revision. Lists sheets A0 through S1 with their respective titles and revision numbers.

Table with 2 columns: REVISIONS, DESCRIPTION. Lists revision details including date and description.

Barry A Miller Architects logo and contact information: 3715 Woodbine Road, Woodbine, MD 21797, barry.a.miller@gmail.com, 410.675.0507



OWNER/DEVELOPER: MasDylLandCo LLC, 9119 FIELD ROAD GARRISON HALL, MD 21208

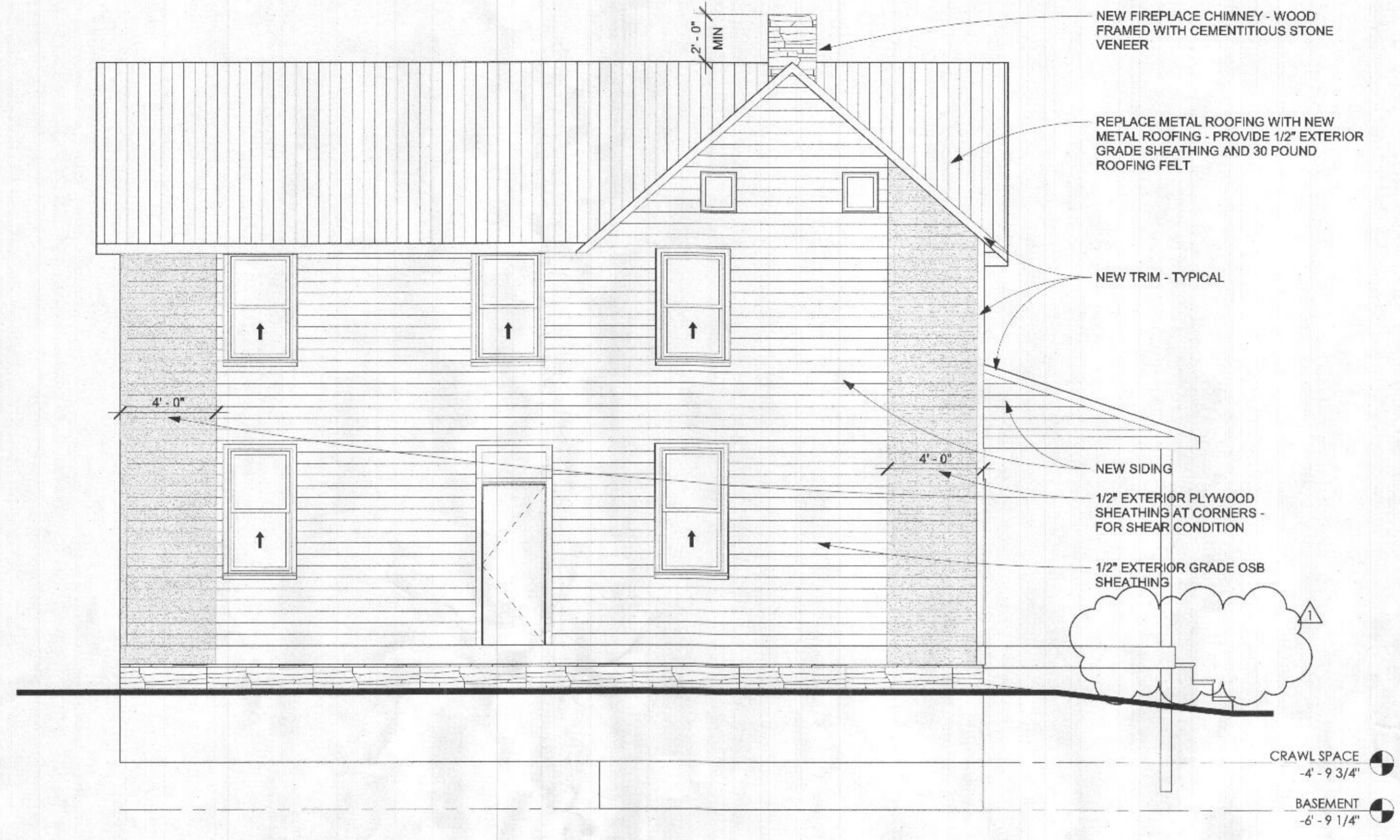
VICINITY MAP



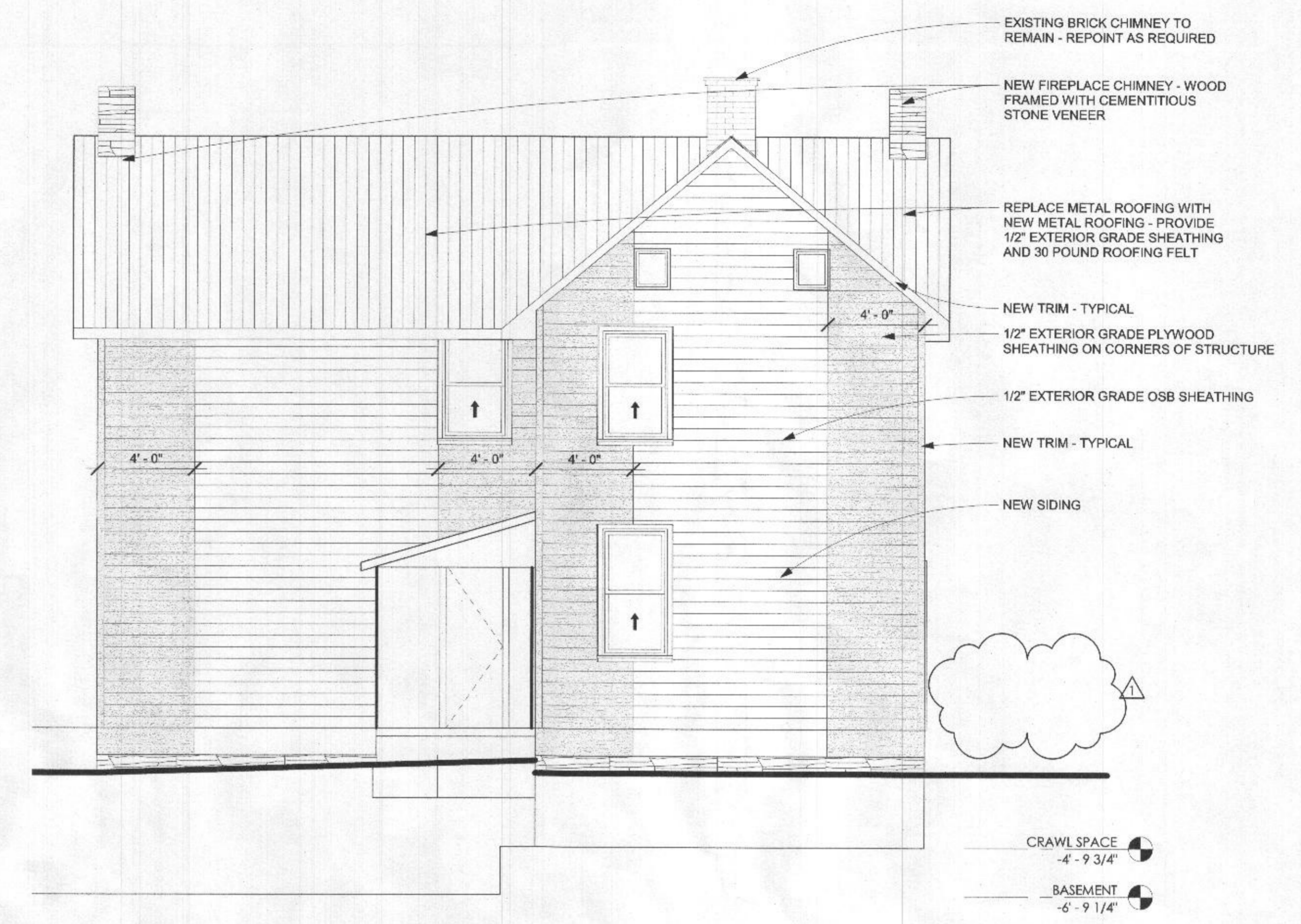
Professional Engineer Seal for Brent Rutley, State of Maryland, License No. 30892, Expiration Date 11/29/22.

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SCALE: AS NOTED DRAWN BY: BAM CHECKED BY: JC



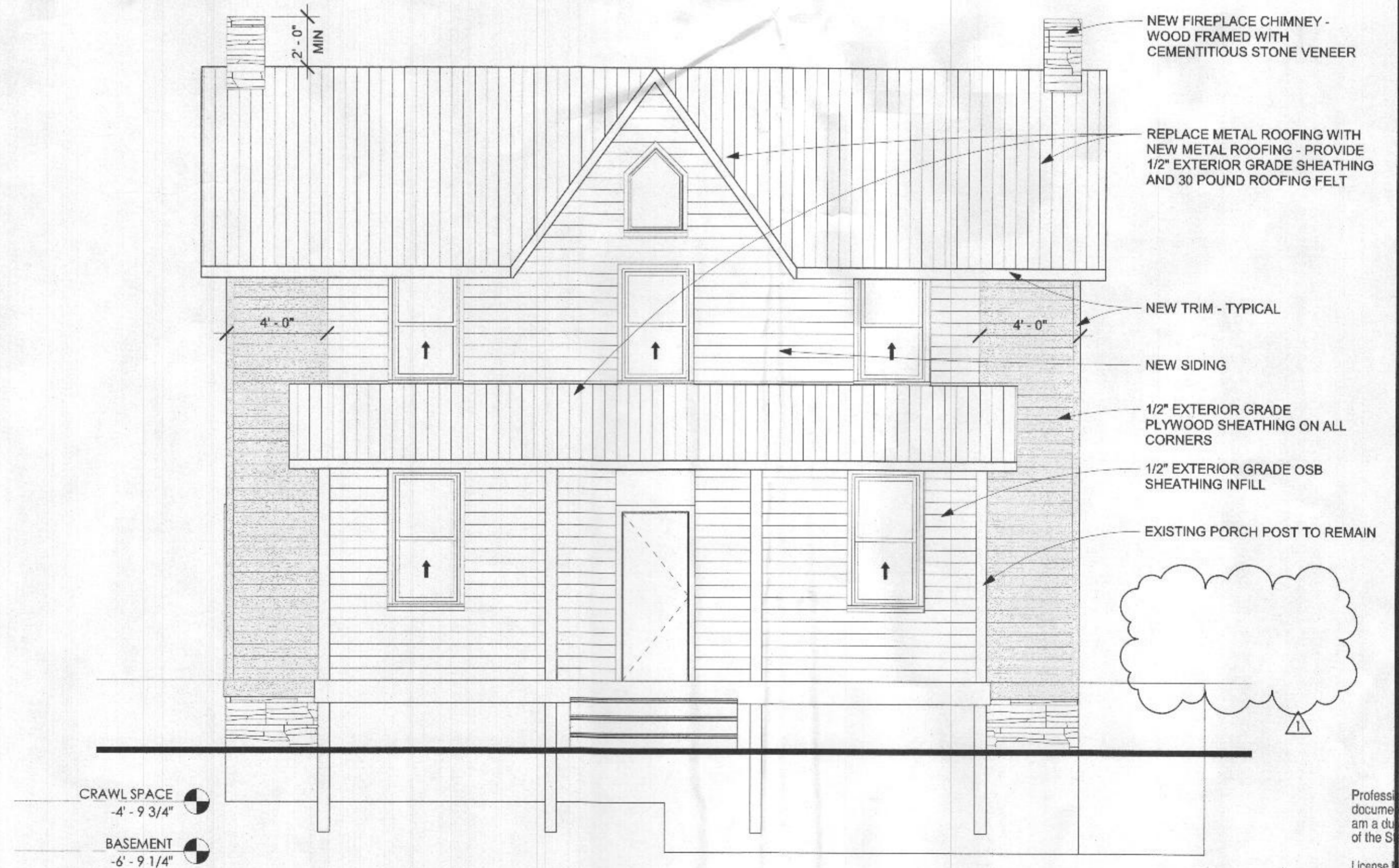
1 WEST ELEVATION
A4 1/4" = 1'-0"



2 NORTH ELEVATION
A4 1/4" = 1'-0"



3 EAST ELEVATION
A4 1/4" = 1'-0"



4 SOUTH ELEVATION
A4 1/4" = 1'-0"

REVISIONS	DESCRIPTION
Revision 1	

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ELEVATIONS
NOTICE OF VIOLATION CORRECTION
EXISTING COMMERCIAL BUILDING
STRUCTURAL STABILIZATION
REPAIR

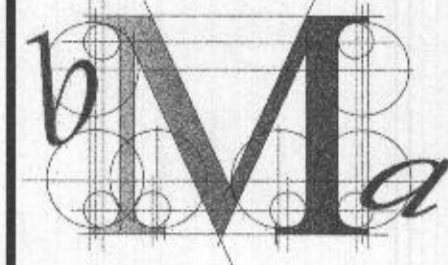


Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 30892 Expiration Date: 11/29/22
DATE: 12/01/21
DRAWING NO: A4
SCALE: AS NOTED
DRAWN BY: BAM
CHECKED BY: BAM
BAM JOB NUMBER: 2021 010

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REV#	DATE	DESCRIPTION
1	8/30/22	Revision 1



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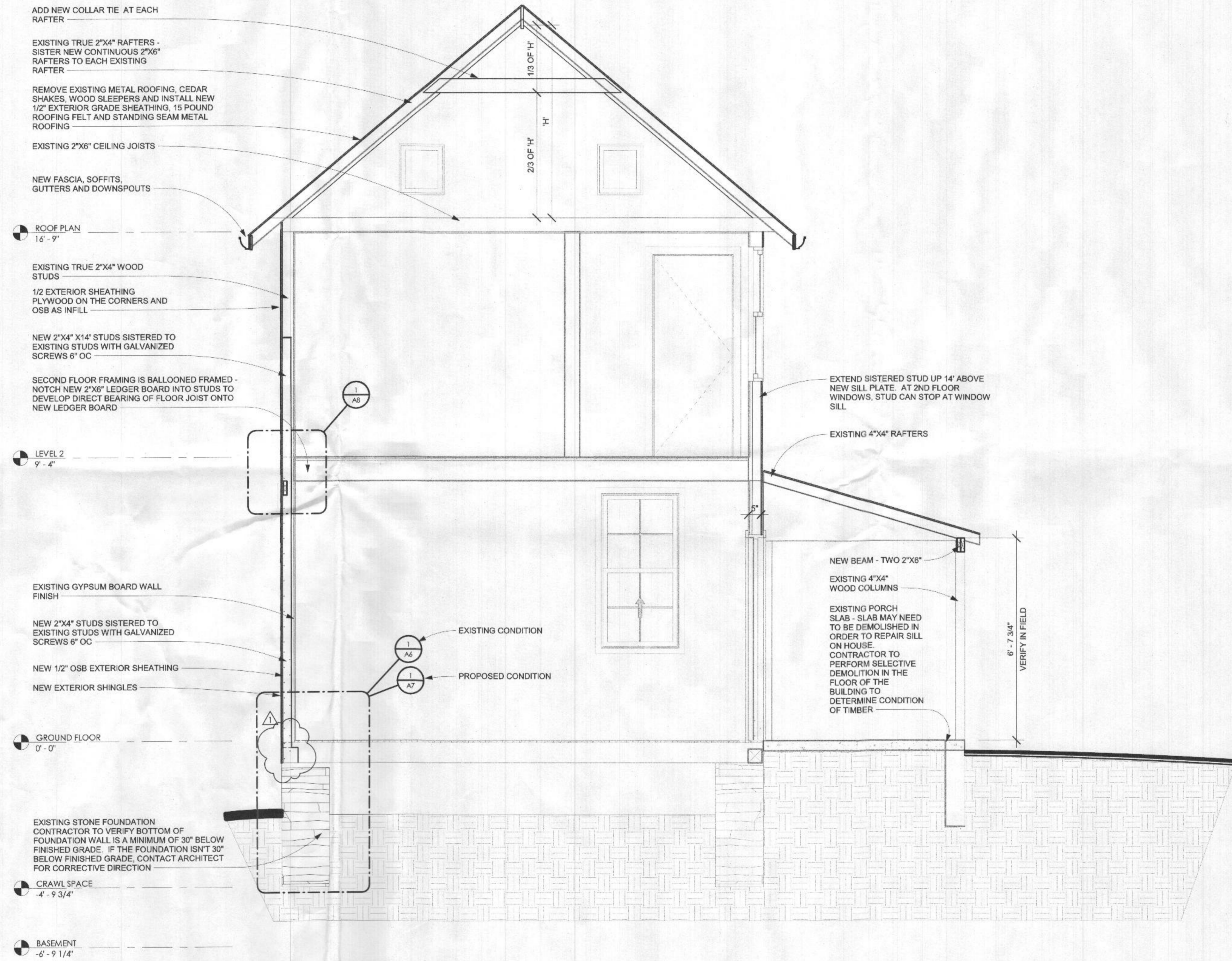
CROSS SECTIONS
 NOTICE OF VIOLATION CORRECTION
 TO EXISTING COMMERCIAL BUILDING
 STRUCTURAL STABILIZATION
 REPAIR

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 License No. 30892
 Date: 11/9/22

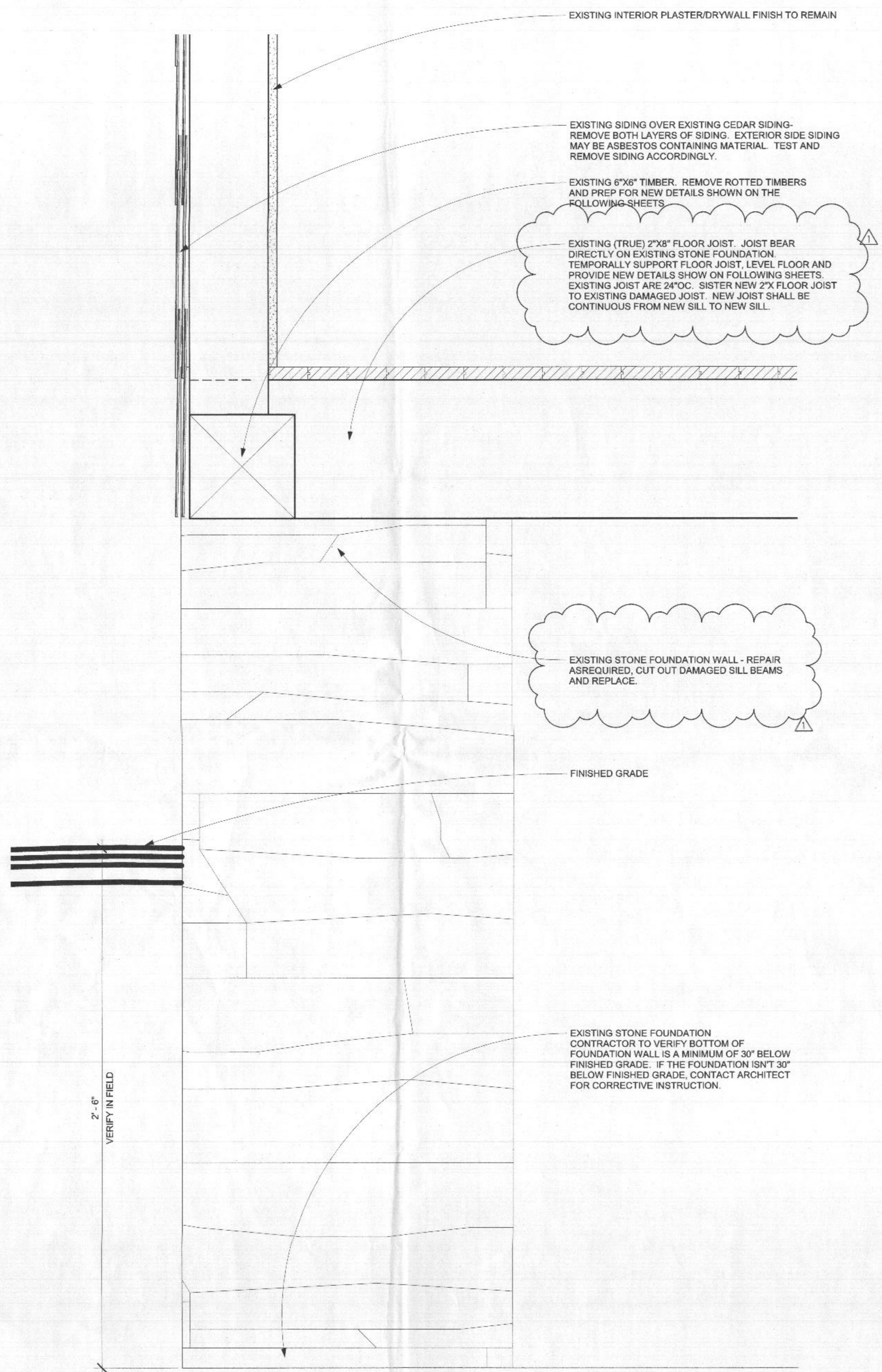
DATE: 12/01/21	DRAWING NO.:
SCALE: AS NOTED	A5
DRAWN BY: BAM	
CHECKED BY: BAM	BAM JOB NUMBER: 2021 010

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1
A5 TYPICAL CROSS SECTION
 1/2" = 1'-0"



1 Section 1 - Callout 1 EXISTING CONDITION
A6 3" = 1'-0"

REV#	DATE	DESCRIPTION
1	9/30/22	Revision 1

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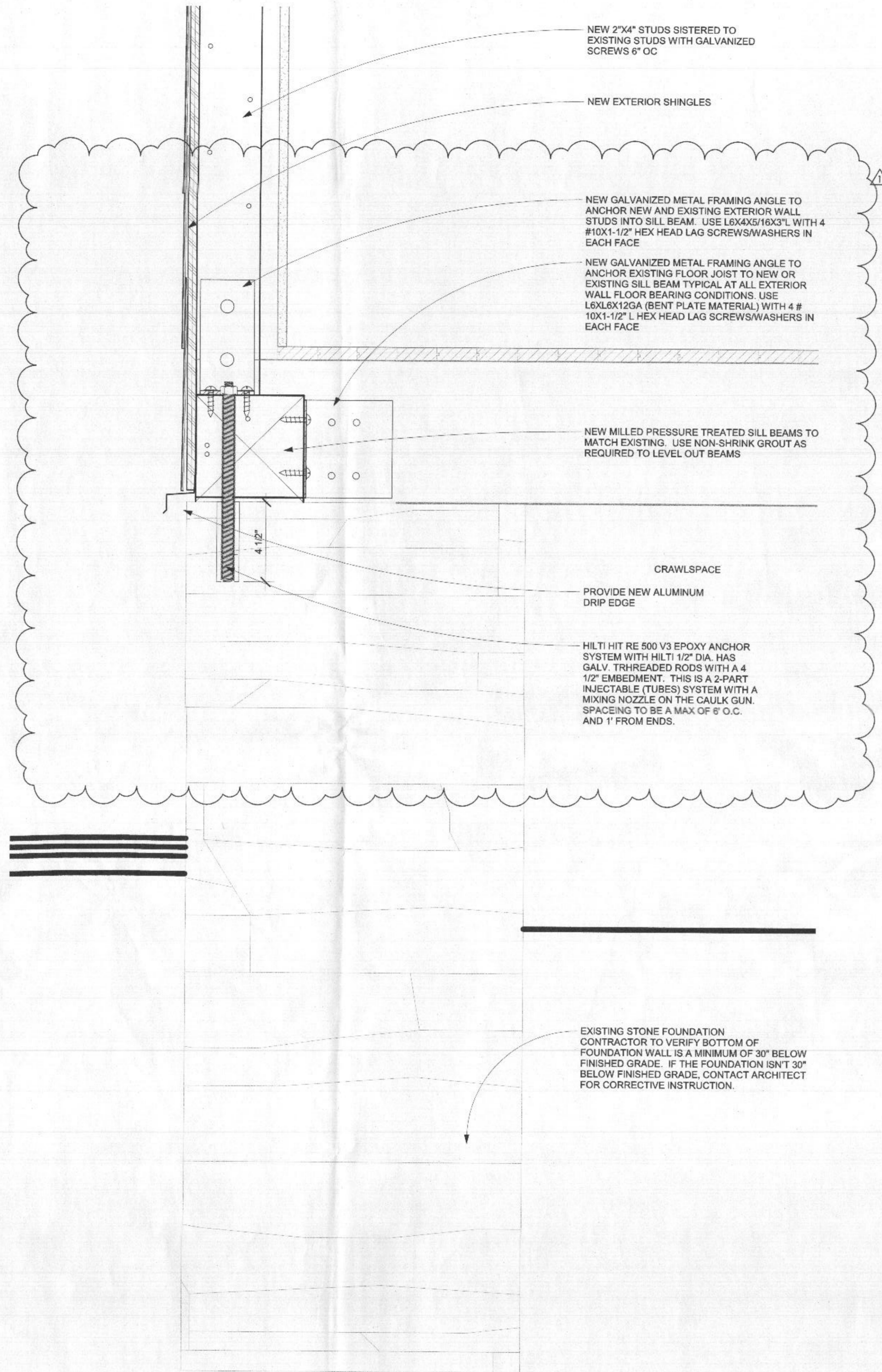
MasDyLandCo LLC
 15240 Frederick Road
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EXISTING CONDITION
 DETAIL
 NOTICE OF VIOLATION CORRECTION
 TO EXISTING COMMERCIAL BUILDING
 STRUCTURAL STABILIZATION
 REPAIR

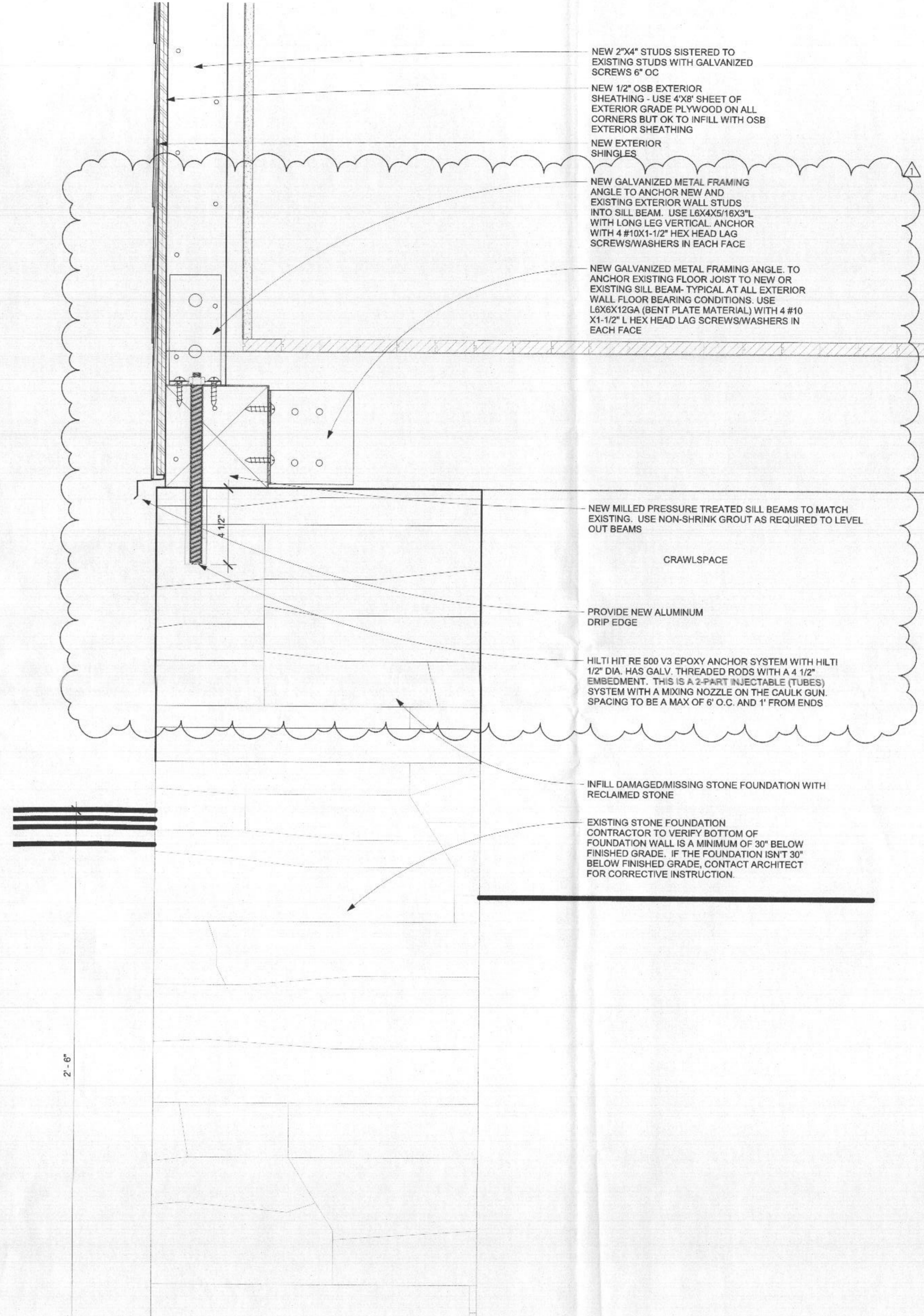
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DATE: 12/01/21	DRAWING NO: A6
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1 Section 1 - Callout 1
A7 3" = 1'-0"



2 Section 2
A7 3" = 1'-0"

REV#	DATE	DESCRIPTION
1	9/30/22	Revision 1

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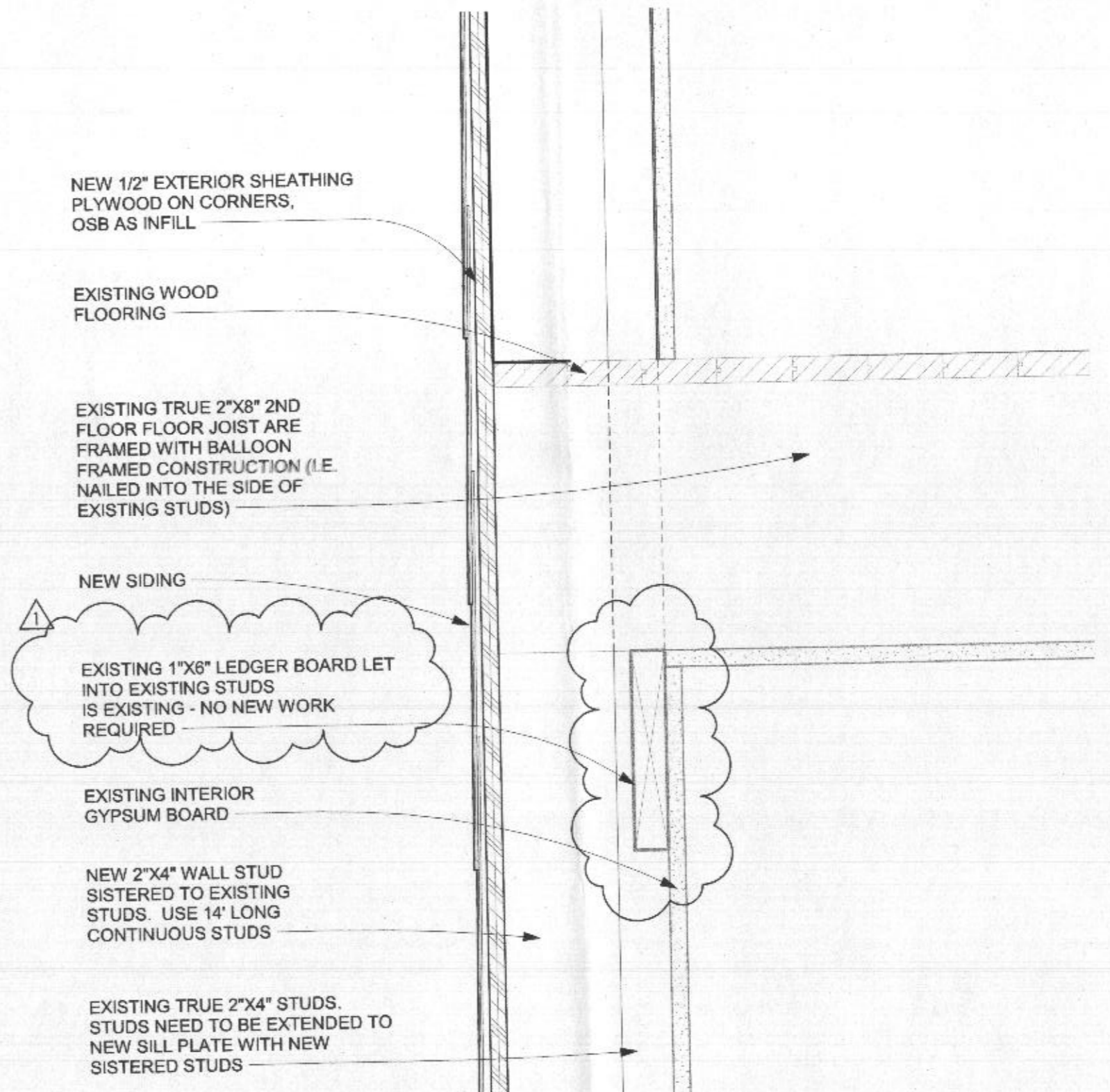
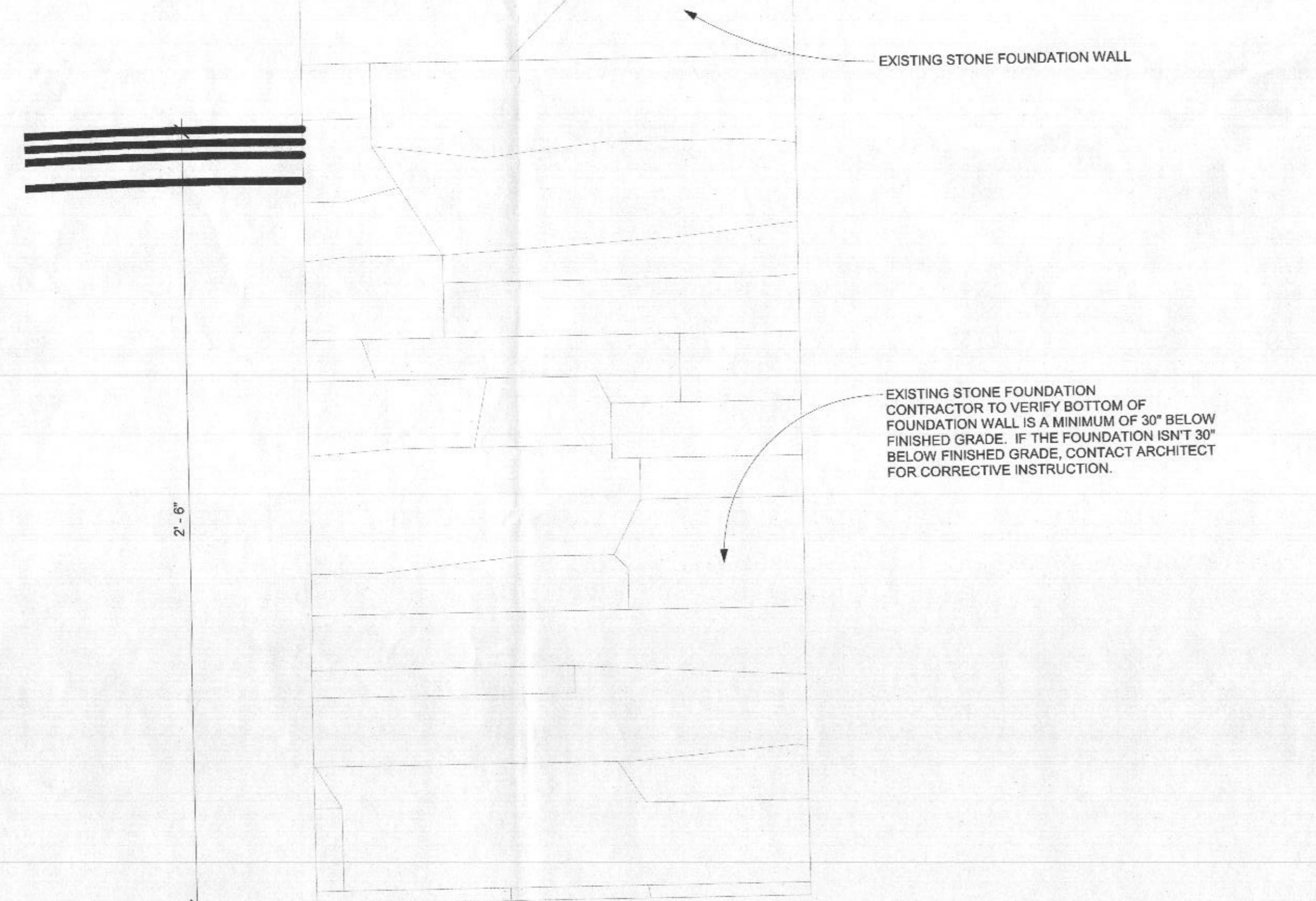
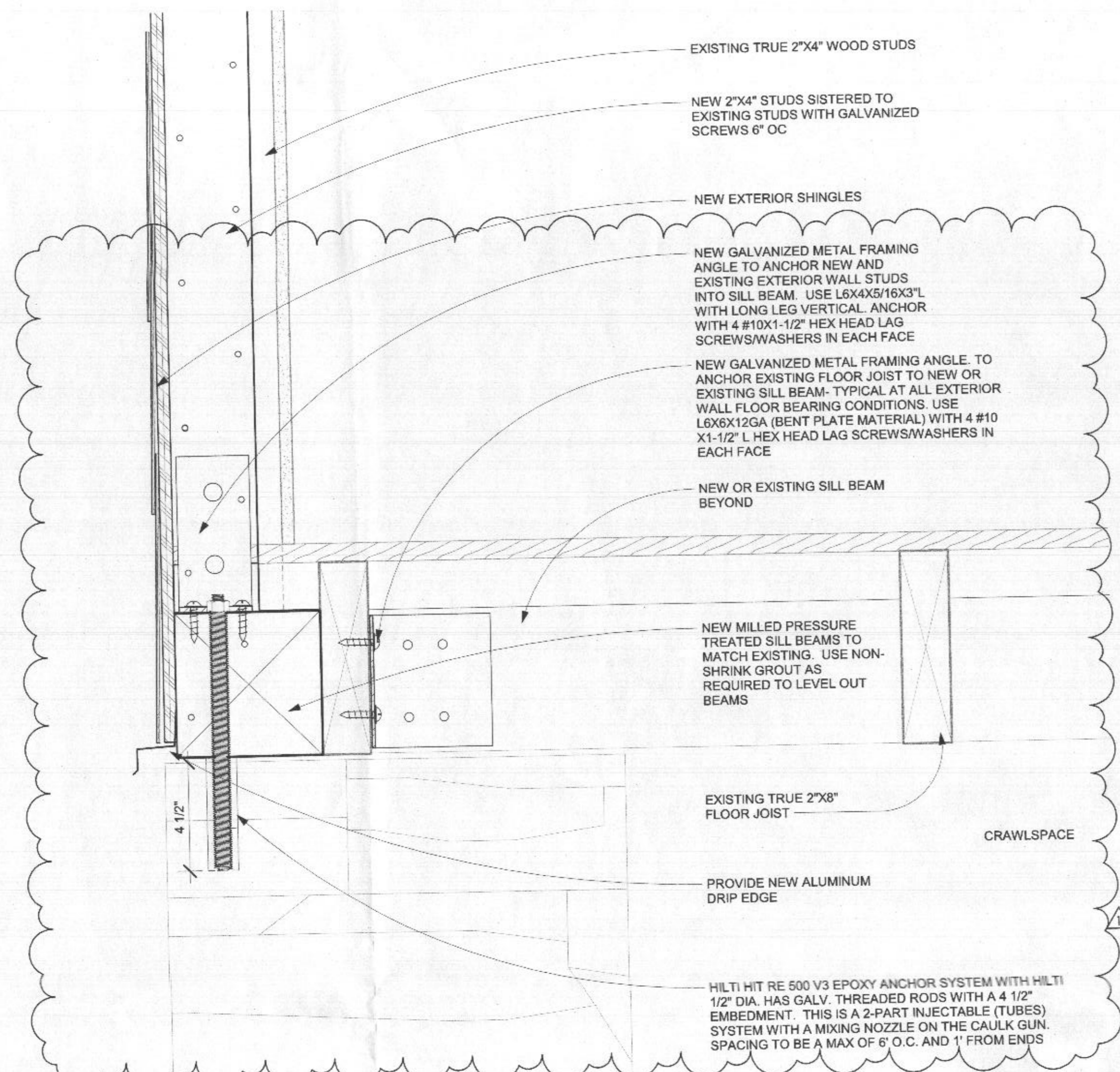
ENLARGED DETAILS
 NOTICE OF VIOLATION CORRECTION
 EXISTING COMMERCIAL BUILDING
 STRUCTURAL STABILIZATION
 REPAIR



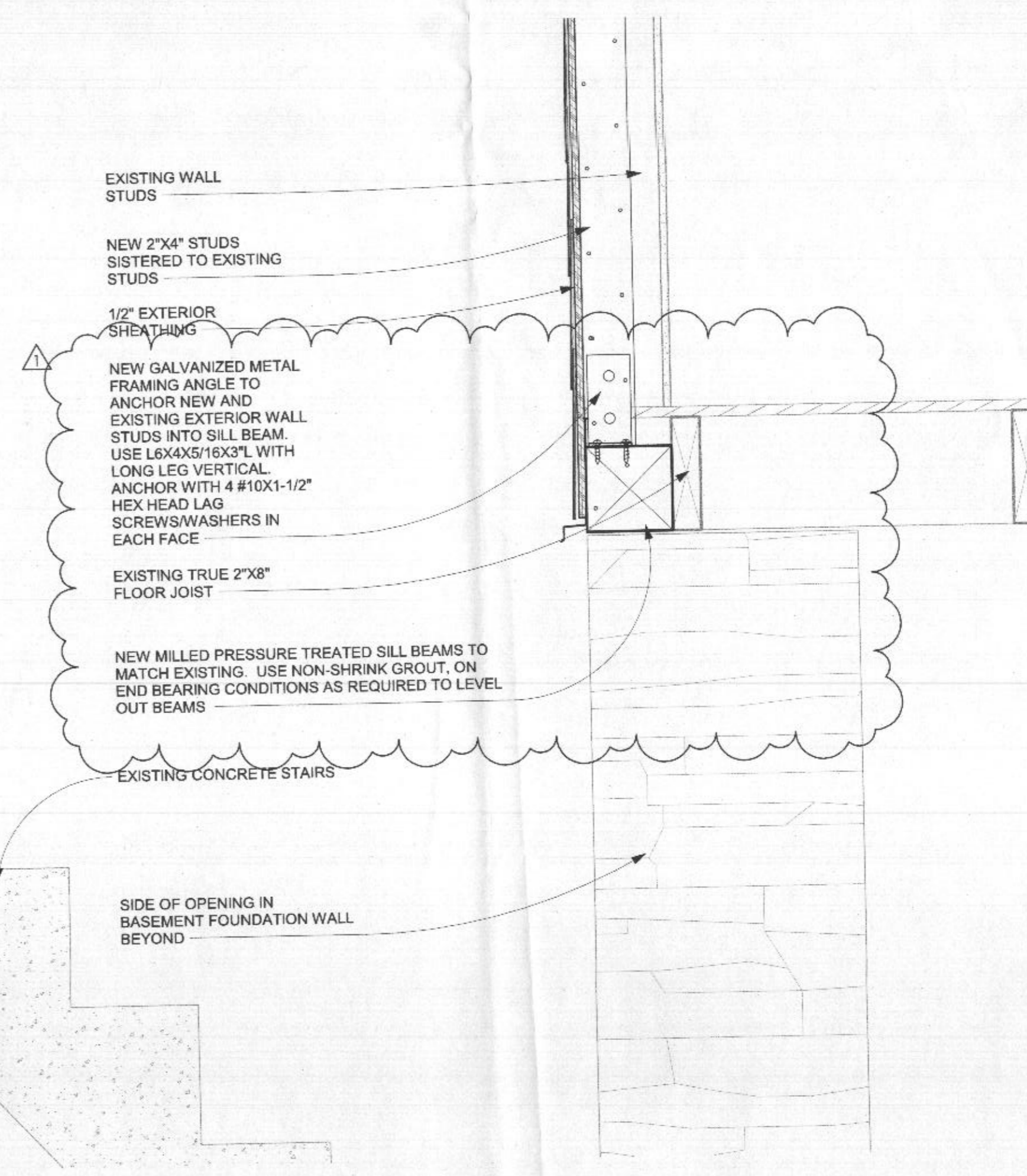
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DATE: 12/01/21	DRAWING NO: A7
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1 SECOND FLOOR BEARING DETAIL
3" = 1'-0"



3 BASEMENT OPENING HEADER
1 1/2" = 1'-0"

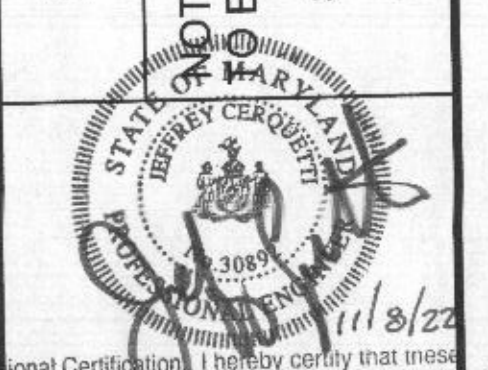
2 Section 3
A8 3" = 1'-0"

REV#	DATE	DESCRIPTION
1	9/30/22	Revision 1

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