

APPLICATION

PERCOLATION TESTING

516902

A 516478

P _____

HOWARD COUNTY HEALTH DEPARTMENT
BUREAU OF ENVIRONMENTAL HEALTH
3525-H ELLICOTT MILLS DRIVE/ELLICOTT CITY, MARYLAND 21043
TELEPHONE: 313-2640

DISTRICT _____

DATE 1/17/2002

TO: THE COUNTY HEALTH OFFICER
ELLICOTT CITY, MARYLAND

I HEREBY APPLY FOR THE NECESSARY TEST PRIOR TO APPLICATION FOR PERMIT TO CONSTRUCT (OR RECONSTRUCT) A SEWAGE DISPOSAL SYSTEM.

PROPERTY OWNER Payne

ADDRESS PO Box 581 Mt Airy 21771 PHONE _____

AGENT OR PROSPECTIVE BUYER Ridgeway LLC Charles A. Sharp

ADDRESS PO. Box 228 Clarksville 21029 PHONE 410 489-4630

PROPERTY LOCATION:

SUBDIVISION Payne property LOT NO. 10

ROAD AND DESCRIPTION Long Corner Rd

TAX MAP 6 PARCEL # 57

SIZE OF LOT 40-60,000 sq ft TYPE BLDG. residential
(SINGLE FAMILY DWELLING OR COMMERCIAL)

THE SYSTEM INSTALLED UNDER THIS APPLICATION IS ACCEPTABLE ONLY UNTIL PUBLIC FACILITIES BECOME AVAILABLE. I FULLY UNDERSTAND THE FEE CONNECTED WITH THE FILING OF THIS PERC TEST APPLICATION IS NON-REFUNDABLE UNDER ANY CIRCUMSTANCES. I ALSO AGREE TO COMPLY WITH ALL M.O.S.H.A. REQUIREMENTS IN TESTING THIS LOT. Charles A. Sharp
(SIGNATURE OF APPLICANT)

APPROVED BY _____ FOR _____ DATE _____

DISAPPROVED BY _____ FOR _____ DATE _____

HOLD PENDING FURTHER TESTS _____

REASONS FOR REJECTION OR HOLDING _____

PERCOLATION TEST PLAT/PRELIMINARY PLAT - TITLE OR I.D. # _____ DATE _____

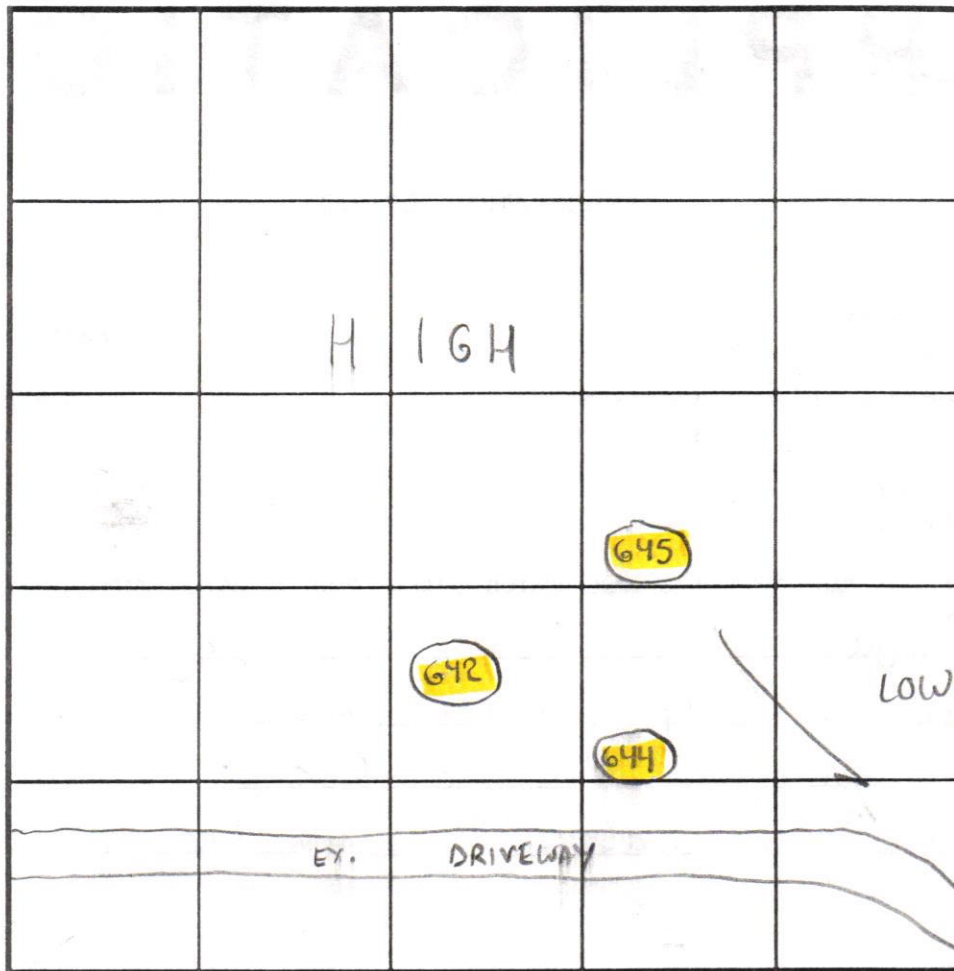
SITE DEVELOPMENT PLAN/FINAL PLAT - TITLE OR I.D. # _____ DATE _____

THIS IS NOT A PERMIT

COUNTY #
 SOIL PROFILE
 0' 642
 4" dark-brn topsoil
 red-brn sandy clay loam
 5' tan-beige channery sandy loam
 40-50% mica SCHIST WEATHERED
 12'5" HARD

643
 Del 644
 except 20-30% mica chert frags
 13'6"

644
 6" dark-brn topsoil
 red-brn sandy clay loam
 4' tan/beige sandy loam
 10-20% mica chert frags channery WEATHERED
 13'8"



SOIL PROFILE
 0'

INDICATE NORTH - NAME ADJOINING ROADWAY AS BASE LINE.

DATE	TEST NO.	DEPTH	PRE-WET		TEST - 1" DROP		TIME	
			START	STOP	START	STOP		
4/2/02	642	5' T 12'5" V	1:51 PM	2:03 PM	2:03 PM	2:19 PM	16 min	OK
		8'3" T 12'5" V	1:35 PM	1:40 PM	1:40 PM	1:45 PM	5 min	OK
	643	4' T 13'6" V	12:55 PM	1:00 PM	1:00 PM	1:15	15 min	OK
		8' T 13'6" V	1:00 PM	1:11 PM	1:11 PM	1:14 PM	3 min	OK
	644	5' T 13'8" V	12:46 PM	12:50 PM	12:50 PM	12:55 PM	5 min	OK

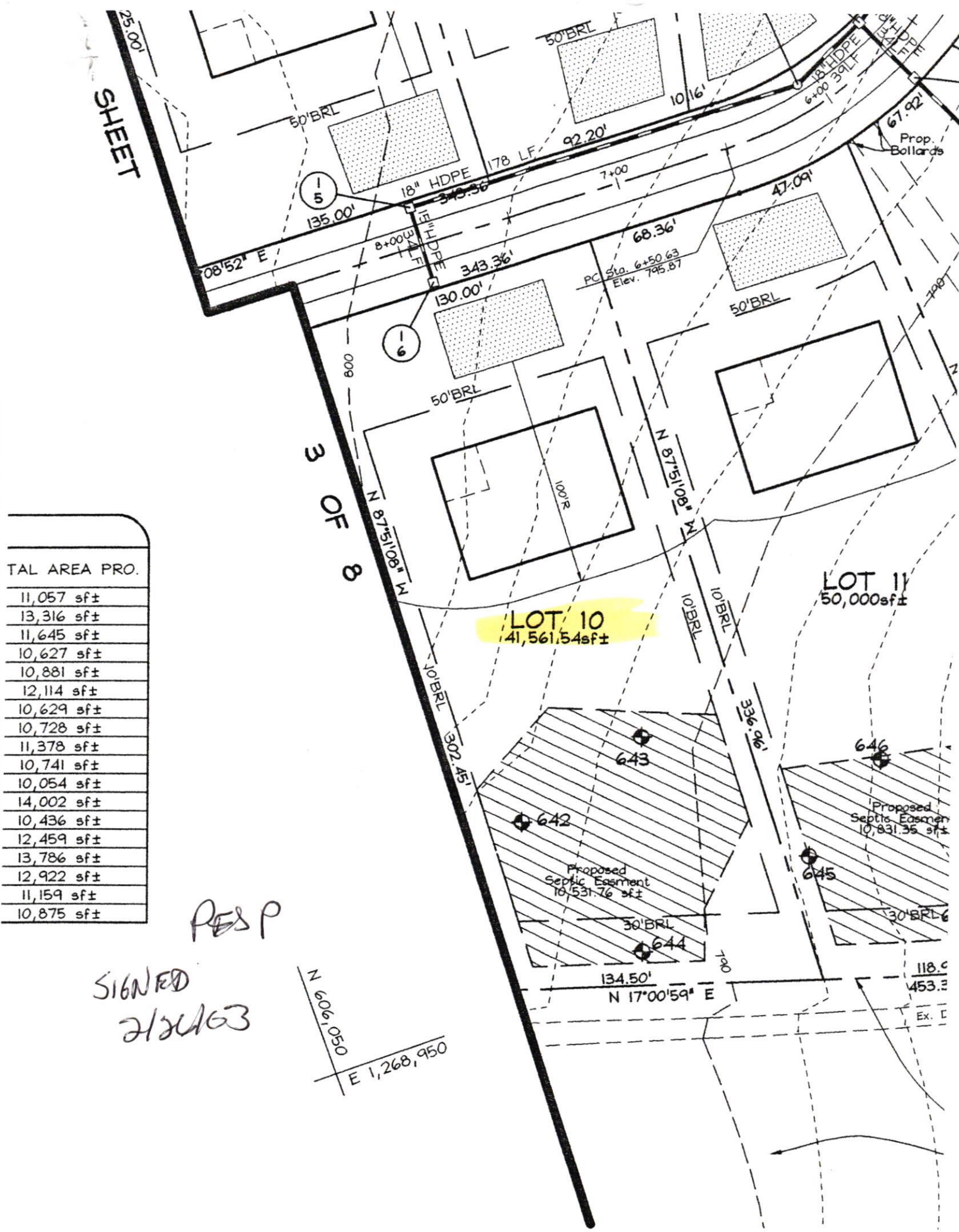
REMARKS: Treatment Zone verified w/ deep tests, Holes per stake Contour per plan
 TYPE OF SOIL: Mapped as Glenelg (Mt. Airy Channery?)
 TESTED BY: SRK & DD Jeff Allen = Backhoe ALSO PRESENT: Chuck Sharp & Richard Demmitt
 TRENCH DESIGN DATA: AVERAGE PERCOLATION TIME: 12 min TRENCH WIDTH: 3'
 INLET DEPTH: 2'5" MAXIMUM BOTTOM DEPTH: 6' SQ. FT./BEDROOM: 240

SHEET

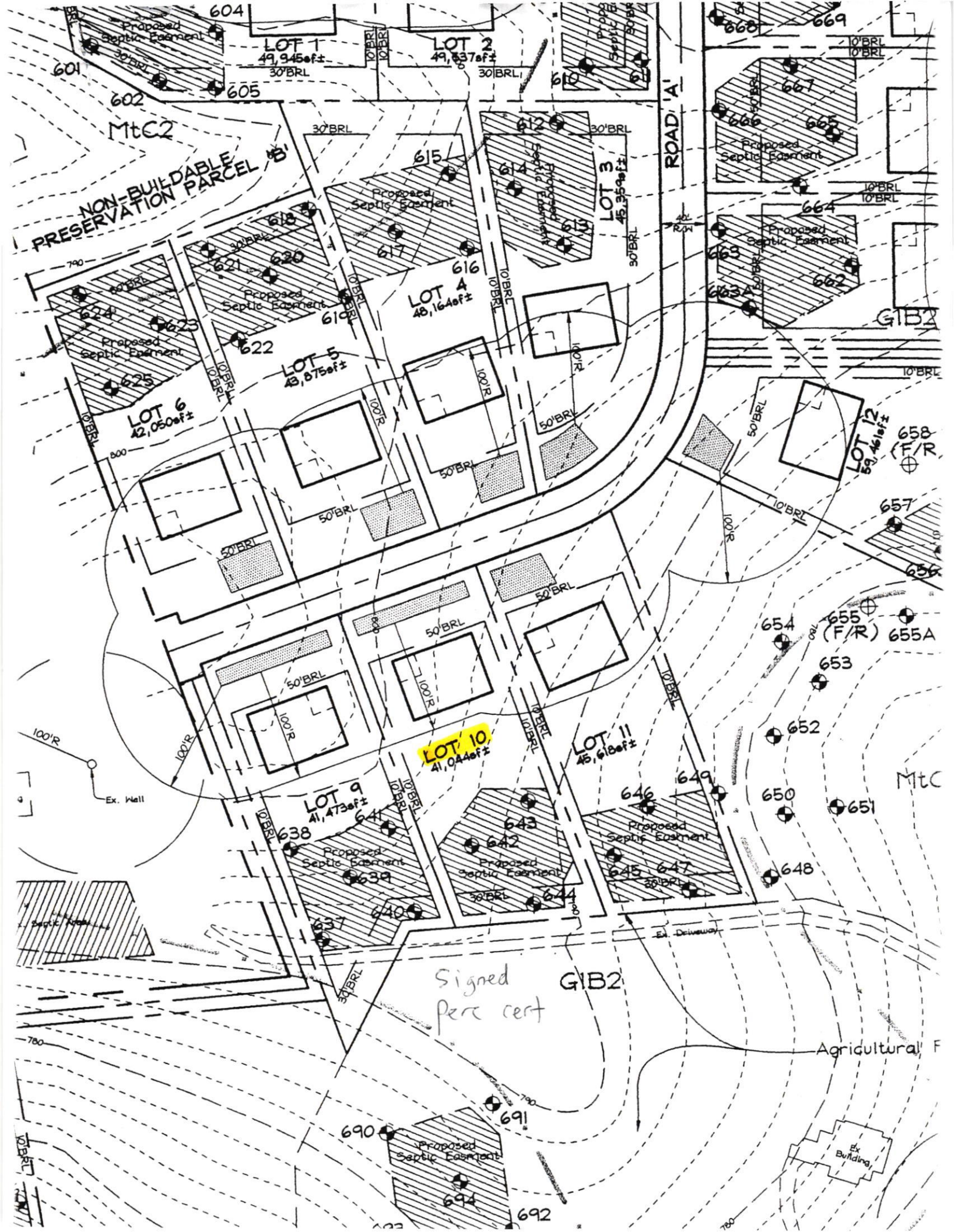
TOTAL AREA PRO.
11,057 sf±
13,316 sf±
11,645 sf±
10,627 sf±
10,881 sf±
12,114 sf±
10,629 sf±
10,728 sf±
11,378 sf±
10,741 sf±
10,054 sf±
14,002 sf±
10,436 sf±
12,459 sf±
13,786 sf±
12,922 sf±
11,159 sf±
10,875 sf±

RESP
 SIGNED
 2/20/63

N 90° 05' 00"
 E 1,268,950



118.0
 453.3
 Ex. C



LOT 1
49,945sqft±
30'BRL

LOT 2
49,537sqft±
30'BRL

LOT 3
45,354sqft±
30'BRL

LOT 4
48,164sqft±
100'R

LOT 5
43,875sqft±
100'R

LOT 6
42,050sqft±
100'R

LOT 10
41,044sqft±
100'R

LOT 9
41,473sqft±
100'R

LOT 11
45,618sqft±
100'R

LOT 12
59,461sqft±
100'R

NON-BUILDABLE
PRESERVATION PARCEL

ROAD 'A'

Signed
perc cert

GIB2

Agricultural F

MtC2

GIB2

MtC

Ex. Well

Ex. Driveway

Ex. Building

10'BRL

780

100'R

800

790

601

602

604

605

30'BRL

30'BRL

610

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Oswald, Hank

From: Oswald, Hank
Sent: Thursday, October 29, 2020 11:37 AM
To: Alice Miller
Subject: PC and OSDS Plan Review Comments_18435 Hidden Creek Way (Lot 10)

Hi Alice:

The perc cert plan and osds plan for 18435 Hidden Creek Way were reviewed with the following comments:

Pec Cert Plan

- 1.) Property line measurements aren't to scale

OSDS plan

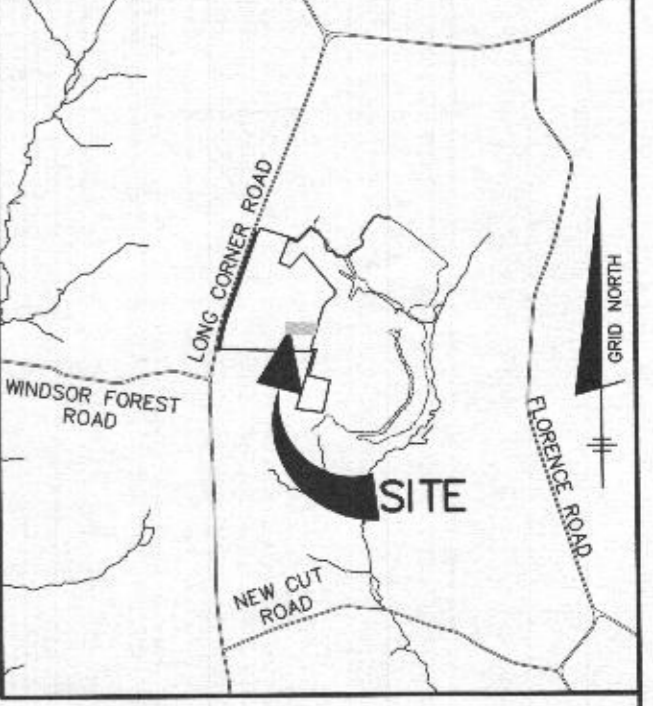
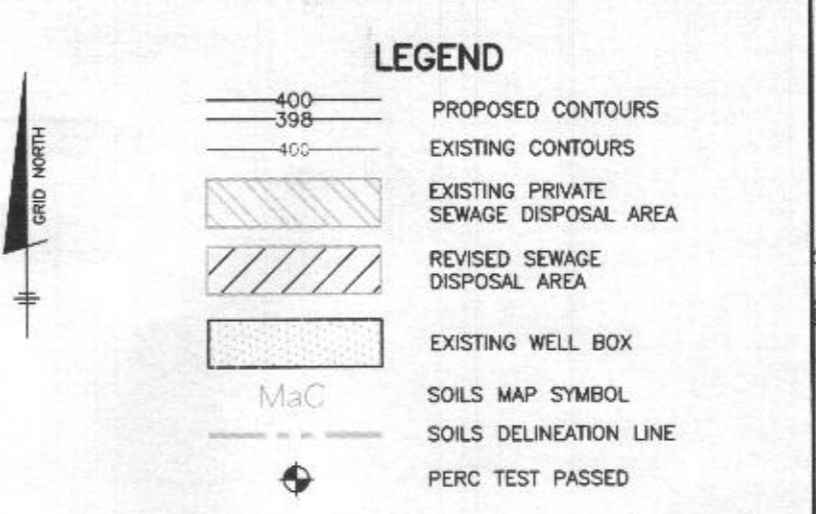
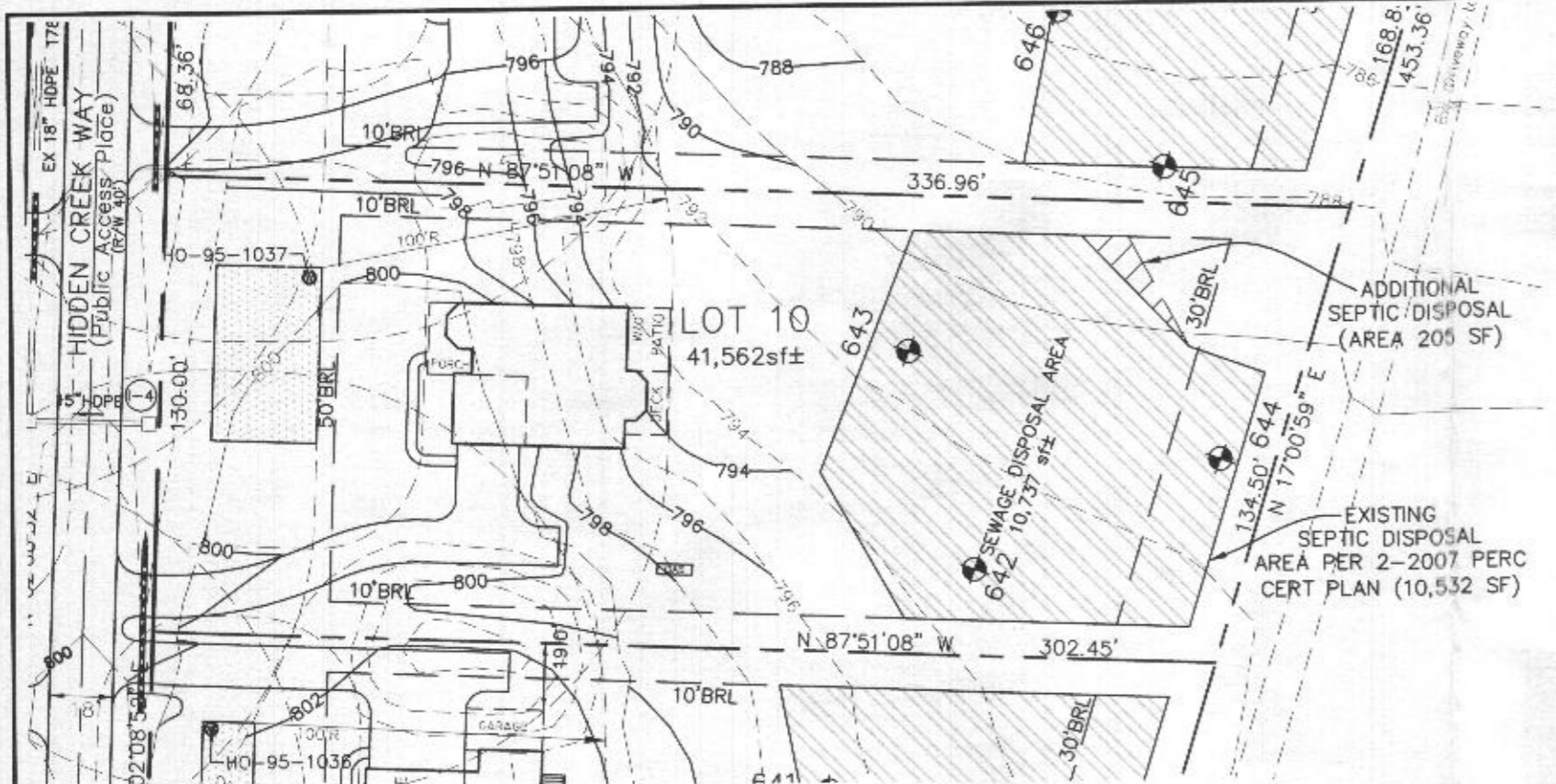
- 1.) Property line measurements aren't to scale
- 2.) Septic tank and d-box aren't shown on plan

Should you have any questions, please don't hesitate to ask.

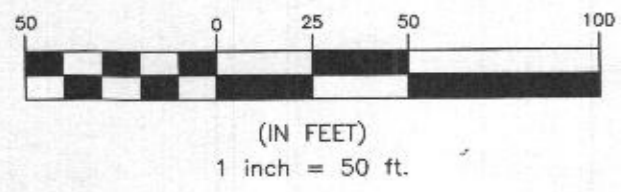
Thanks,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
(410) 313 - 1786
hoswald@howardcountymd.gov



VICINITY MAP
SCALE: 1" = 2000'



PLAN VIEW
1" = 50'

GENERAL NOTES

1. THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT. THE LOT SIZE FULFILLS THE REQUIREMENTS OF THE ZONING REGULATIONS, AND IS A RECORDED LOT, PLAT 19395.
2. THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF AT LEAST 10,000 S.F. AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWER IS AVAILABLE. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWER SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE EASEMENT. RECORDATION OF A MODIFIED SEWERAGE EASEMENT PLAT SHALL NOT BE REQUIRED.
3. TOPOGRAPHY SHOWN WAS BASED ON FIELD RUN TOPOGRAPHY BY C.B. MILLER & ASSOCIATES IN APRIL, 2002, AND WAS SUPPLEMENTED BY FIELD RUN TOPOGRAPHY BY BENCHMARK ENGINEERING, INC. IN JULY, 2020 AND CONSISTS OF 2 FOOT CONTOUR INTERVALS.
4. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
5. ANY CHANGES TO A PRIVATE SEWERAGE EASEMENT SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
6. THE EXISTING WELL SHOWN ON THIS PLAN (HO-95-1037) HAS BEEN FIELD LOCATED IN JULY, 2020 BY BENCHMARK ENGINEERING, INC. AND IS ACCURATELY SHOWN.
7. PERCOLATION TEST FEE RECEIPT NUMBER IS 516902, DATED 4-4-2002

I CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED ON FIELD DATA PROVIDED BY HOWARD COUNTY HEALTH DEPARTMENT AND IS CORRECT, TO THE BEST OF KNOWLEDGE AND BELIEF.

ALICE A. MILLER, P.E.
PLAN PREPARER FOR BENCHMARK ENGINEERING INC.

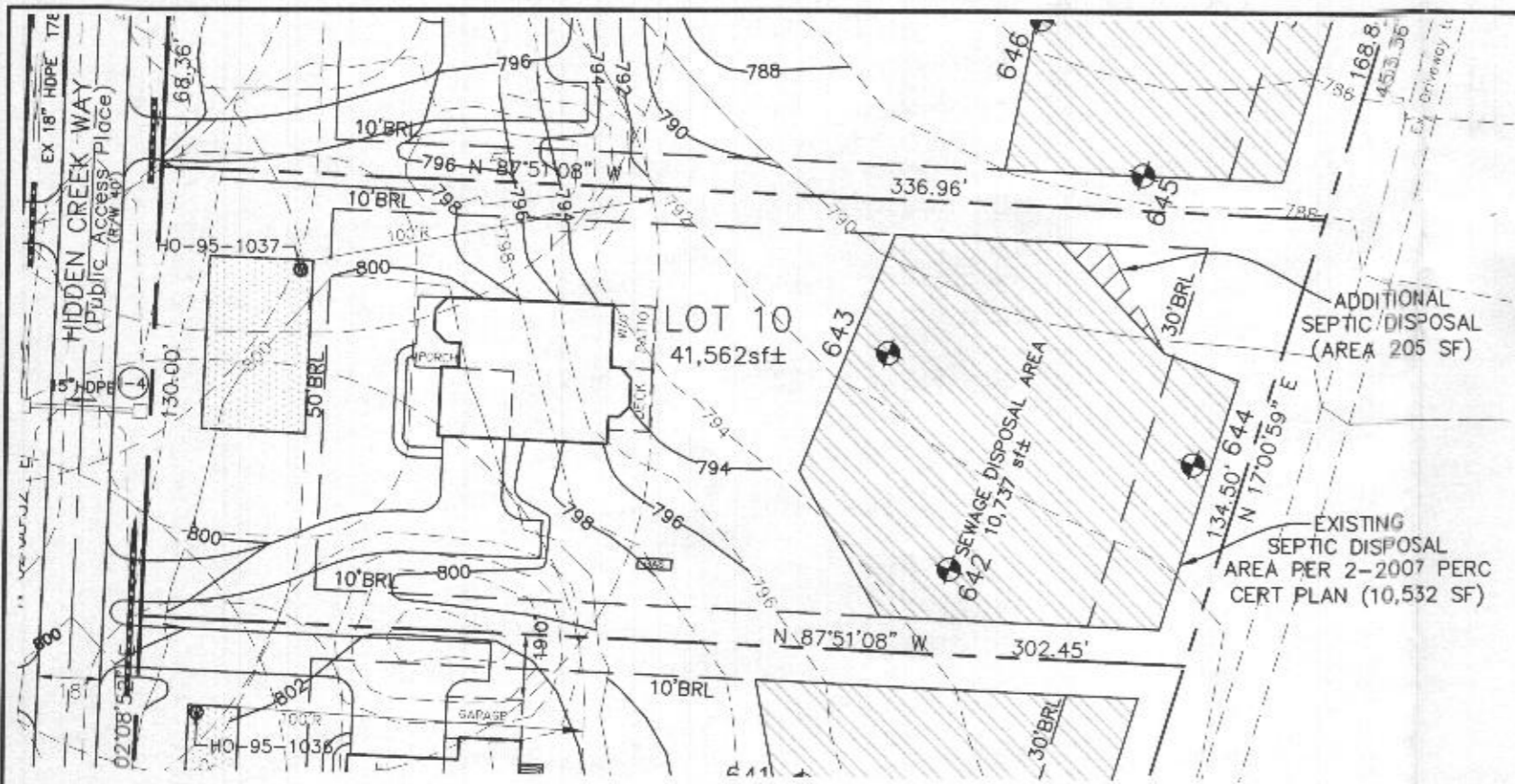
APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT

HOWARD COUNTY HEALTH OFFICER HO
DATE 11/10/2020

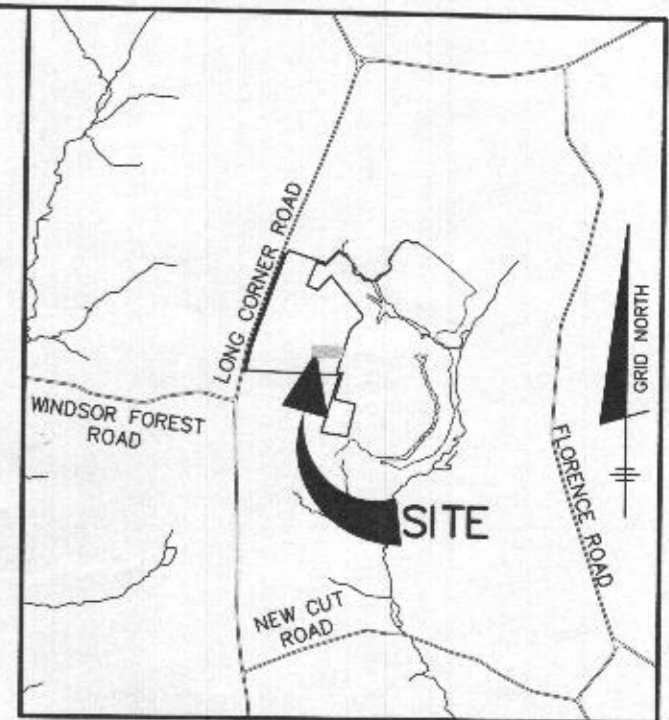
OWNER/BUILDER:
KEYSTONE CUSTOM HOMES, INC.
227 GRANITE RUN DR.
SUITE 100
LANCASTER, PA 17601
717-464-9080

BENCHMARK
ENGINEERS • LAND SURVEYORS • PLANNERS
ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE • SUITE 315
ELLCOTT CITY, MARYLAND 21043
(P) 410-465-6105 • (F) 410-465-6644
WWW.BEI-CVILENGINEERING.COM

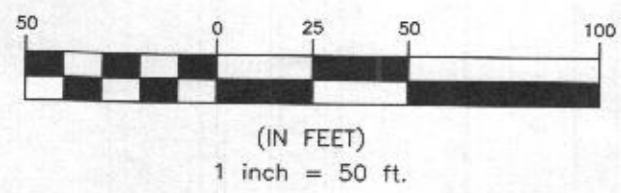
PURPOSE STATEMENT: THE PURPOSE OF THIS REVISED PERCOLATION PLAN IS TO ACCOMMODATE A 5-BEDROOM LAYOUT PER THE PROPERTY PURCHASER'S REQUEST.	
PROJECT: WINDSOR FOREST KNOLLS LOT 10	
LOCATION: TAX MAP: 6 - GRID: 16 - PARCEL: 57 18435 HIDDEN CREEK WAY - TAX ID # 04-373251 ELECTION DISTRICT NO. 4 - HOWARD COUNTY, MARYLAND	
TITLE: REVISED PERCOLATION CERTIFICATION PLAN	
HOUSE TYPE: CUSTOM - KEYSTONE HOMES	
DATE: OCTOBER, 2020	PROJECT NO. 2986
SCALE: AS SHOWN	DRAWING 1 OF 1



LEGEND	
	PROPOSED CONTOURS
	EXISTING CONTOURS
	EXISTING PRIVATE SEWAGE DISPOSAL AREA
	REVISED SEWAGE DISPOSAL AREA
	EXISTING WELL BOX
	SOILS MAP SYMBOL
	SOILS DELINEATION LINE
	PERC TEST PASSED



VICINITY MAP
SCALE: 1" = 2000'



PLAN VIEW
1" = 50'

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6. THE EXISTING WELL SHOWN ON THIS PLAN (HO-95-1037) HAS BEEN FIELD LOCATED IN JULY, 2020 BY BENCHMARK ENGINEERING, INC. AND IS ACCURATELY SHOWN.
7. PERCOLATION TEST FEE RECEIPT NUMBER IS 516902, DATED 4-4-2002

I CERTIFY THAT THE INFORMATION SHOWN HEREON IS BASED ON FIELD DATA PROVIDED BY HOWARD COUNTY HEALTH DEPARTMENT AND IS CORRECT, TO THE BEST OF KNOWLEDGE AND BELIEF.

ALICE A. MILLER, P.E.
PLAN PREPARER FOR BENCHMARK ENGINEERING INC.

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEM
HOWARD COUNTY HEALTH DEPARTMENT

HOWARD COUNTY HEALTH OFFICER
DATE: 11/10/2020

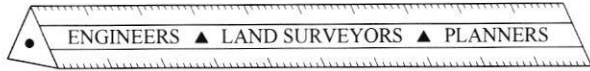
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DATE:	OCTOBER, 2020	PROJECT NO.	2986
SCALE:	AS SHOWN	DRAWING	1 OF 1

BENCHMARK



ENGINEERING, INC.

8480 Baltimore National Pike * Suite 315 * Ellicott City, Maryland 21043
(410) 465-6105 (410) 465-6644 Fax

LETTER OF TRANSMITTAL

TO: Howard County Health Department
Environmental Health

DATE: 10/20/2020	PROJECT NO.: 2986
ATTENTION:	
RE: Windsor Forest Knolls	
Lot 10 Revised Perc Cert and OSDS Plan	

WE ARE SENDING YOU Attached Under separate cover via _____ the following items:

- Photocopies Prints Originals Samples
- Specifications Invoices Change Order Other _____


COPIES of	No. of SHEETS	DESCRIPTION
3	2	Lot 10 OSDS Plans
1	4	Lot 10 House Plans (for Bedroom confirmation)
3	1	Lot 10 Revised Perc Cert

THESE ARE TRANSMITTED as checked below:

- For Comment For Your Use For Approval
- For Review As Requested Other _____

REMARKS: First submission Revised Perc Cert = \$11.00, First Submission OSDS - \$11.00 fee

COPY TO: _____

SIGNED: 

RECEIVED BY: _____

If enclosures are not as noted, kindly notify us at once.



HOWARD COUNTY HEALTH DEPARTMENT

72832

DATE
10/21/20

Received From

Barnstable

PHONE #

410 465-6105

For

Revised Peracert
Lot 10 Windmoxest
knolls

CASH

CHECK

NO.

004476

~~Twenty~~ Twenty-two

Dollars

\$

22.00

Received By

King



HOWARD COUNTY HEALTH DEPARTMENT

72832

DATE
10/21/20

Received From

Benchmark

PHONE #

410-465-6105

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