

MIT NUMBER: B 21003588

DATE ACCEPTED: DILP 2021 SEP 21 PM12:1

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 13429 HIGHLAND RD
City: HIGHLAND
State: MD
Subdivision/Village/Complex Name: HIGHLAND
SDP/WP/BA #:
Lot:
Tax Map: 34
Parcel: 101
Grading Permit #: GP-22-018

DESCRIPTION OF WORK REQUIRED

Existing Use: RESIDENTIAL
Proposed Use: RESIDENTIAL
Estimated Cost: \$ 195,000.00
Trade Work to Be Completed (Separate Permits Required): Mechanical (HVACR) Electrical Plumbing None

DEMO EXISTING HOUSE, CONSTRUCT NEW 69'X94' (IRREG) 1-STORY SFD W/ UNFINISHED BASEMENT, 24'X22' ATTACHED 2-CAR GARAGE, 14'X22' 1-CAR ATTACHED GARAGE, 14'X18' COVERED PATIO W/ STAIRS TO GRADE, 6'X32' FRONT PORCH

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): LEV STERKIS
Primary Residence: Yes No
Owner's Street Address: 5805 FOXCROFT WAY
City: COLUMBIA
State: MD
Zip Code: 21045
Phone: (410) 980-9868
Email: DIANE.JAMESPERMITS@GMAIL.COM

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: SCHWALLENBERG'S PERMIT SVCS INC
Contact Name: JAMES SCHWALLENBERG
Street Address: 1601 BISHOP RD
City: EDGEWATER
State: MD
Zip Code: 21037
Phone: (410) 980-9868
Email: DIANE.JAMESPERMITS@GMAIL.COM

CONTRACTOR INFORMATION REQUIRED

Business Name: CAIRN CUSTUM HOMES
Licensee's Name: STEVE APPLER
License #: 7518
Street Address: 10548 GORMAN RD
City: LAUREL
State: MD
Zip Code: 20723
Phone: (410) 818-7382
Email: STEVE@CAIRNCUSTOMHOMES.COM

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: TRANSFORMING ARCHITECTURE
Name: KAREN PITSLEY
Street Address: 7612 BROWNS BRIDGE RD
City: HIGHLAND
State: MD
Zip Code: 20777
Phone: (301) 776-2666
Email: INFO@TRANSFORMINGARCHITECTURE.COM

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF*) Condo: Yes No
Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
Heating System: Electric Natural Gas Propane Other: Roadside Tree Project: No Yes: #
Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: CUSTOM
of Bedrooms (SF): 6 # of efficiency units (MF*): # of 1 BR (MF*): # of 2 BR (MF*): # of 3 BR (MF*):
Rooms: 29 # Full Baths: 6 # Half Baths: 2 # Fireplaces:
Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial
1st Fl Width: 69 1st Fl Depth: 94 2nd Fl Width: 2nd Fl Depth: Bsmt Width: 80 Bsmt Depth: 69
Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: 8,679 sq ft Occupiable Area: 3,702 sq ft

AGREEMENT/ DISCALIMER REQUIRED

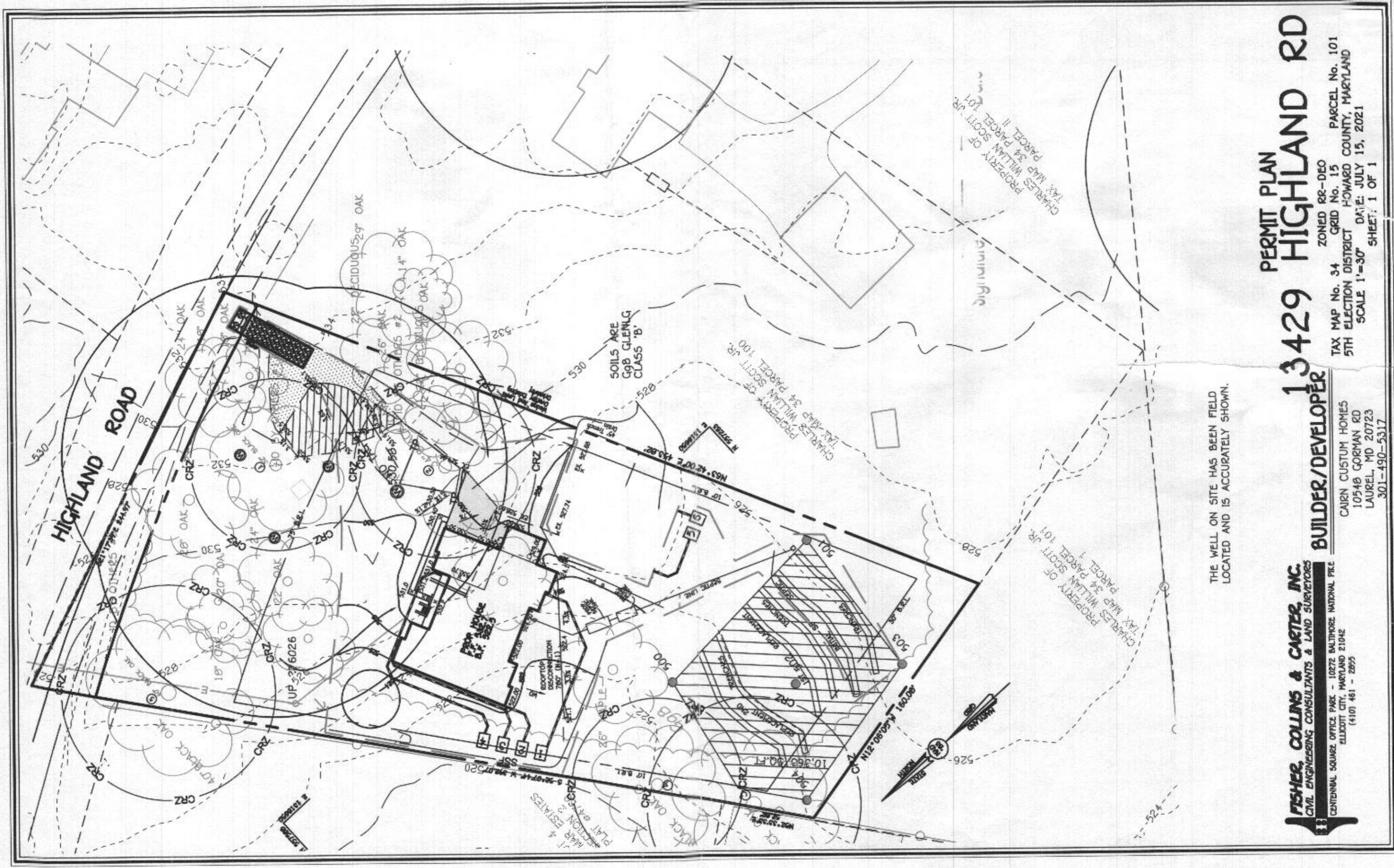
THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE DATE SIGNED 9/21/21

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR DPZ DED Health SHA CID
SUBMITTAL FEES: \$150.00 PAYMENT: CK# 3002 9/20/21 ACCEPTED BY: AKH



THE WELL ON SITE HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.

PERMIT PLAN 13429 HIGHLAND RD



BUILDER/DEVELOPER

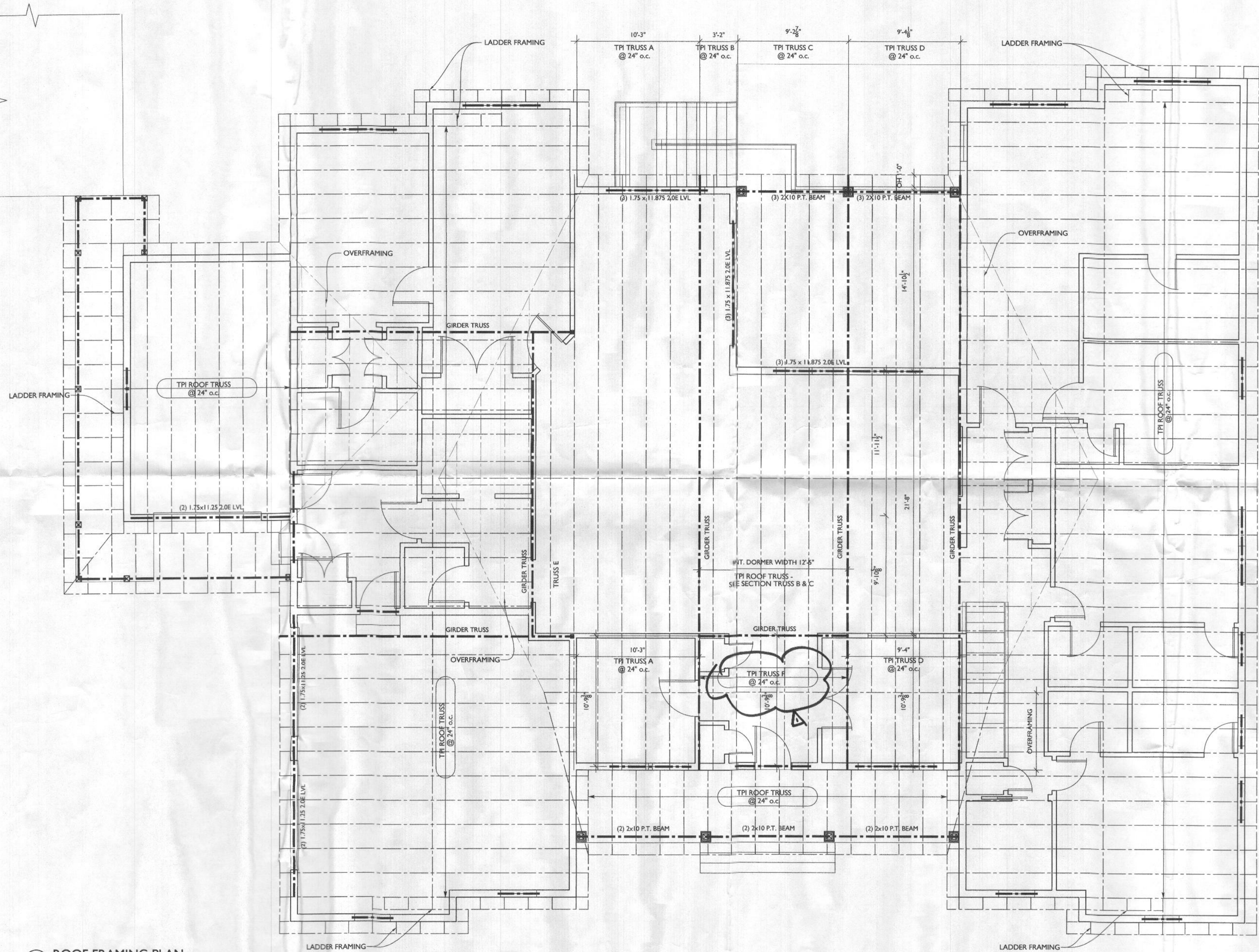
CAIRN CUSTOM HOMES
10548 GORMAN RD
LAUREL, MD 20723
301-490-5317

FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS

CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PILE
ELLSWORTH CITY, MARYLAND 21042
(410) 461 - 2095

TAX MAP No. 34 GRID No. 15 PARCEL No. 101
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE 1"=30' DATE: JULY 15, 2021
SHEET: 1 OF 1

LINE TYPE KEY:
 NEW WALL 
 ABOVE LINE 



ROOF FRAMING PLAN
 SCALE: 1/4"=1'-0"



7612 Browns Bridge Road
 Highland, MD 20777
 301-776-2666
 info@TransformingArchitecture.com
 www.TransformingArchitecture.com



I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NUMBER 13662, EXPIRATION 10-22-2021.

NOTE: THESE DRAWINGS ARE THE PROPERTY OF TRANSFORMING ARCHITECTURE AND, AS SUCH, MAY NOT BE RE-USED OR REPRODUCED, EITHER WHOLLY OR IN PART, WITHOUT PRIOR WRITTEN CONSENT OF TRANSFORMING ARCHITECTURE.

PROJECT PHASE
PERMIT

PROJECT TITLE
THE STERKIS RESIDENCE
 13429 Highland Rd
 Highland, MD 20777

REVISIONS		
SYMBOL	DATE	ISSUED FOR
△	9/23/2021	BUILDING REVIEW

PROJECT NUMBER 21-578
 DATE 09/15/2021
 SCALE AS NOTED

DRAWING TITLE
ROOF FRAMING PLANS

SHEET NUMBER
A-105

RECEIVED
 SEP 24 2021
 LICENSES & PERMITS DIVISION

TYPICAL WALL CONSTRUCTION U.N.O.

TYP. INT. WALL CONSTR.: 2x4 WOOD STUDS U.N.O. @ 16" O.C. W/ 1/2" DRYWALL EACH SIDE

TYP. EXT. WALL CONSTR.: 2x6 WD STUDS @ 16" O.C., R-21 BATT. INS., 7/16 OSB SHEATHING, BUILDING PAPER, SIDING, & 1/2" GYP. BD. INTERIOR



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STAMP

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PROJECT PHASE

PERMIT

PROJECT TITLE

THE
STERKIS
RESIDENCE

13429 Highland Rd
Highland, MD 20777

REVISIONS

SYMBOL	DATE	ISSUED FOR
Δ	9/23/2021	BUILDING REVIEW

PROJECT NUMBER 21-578

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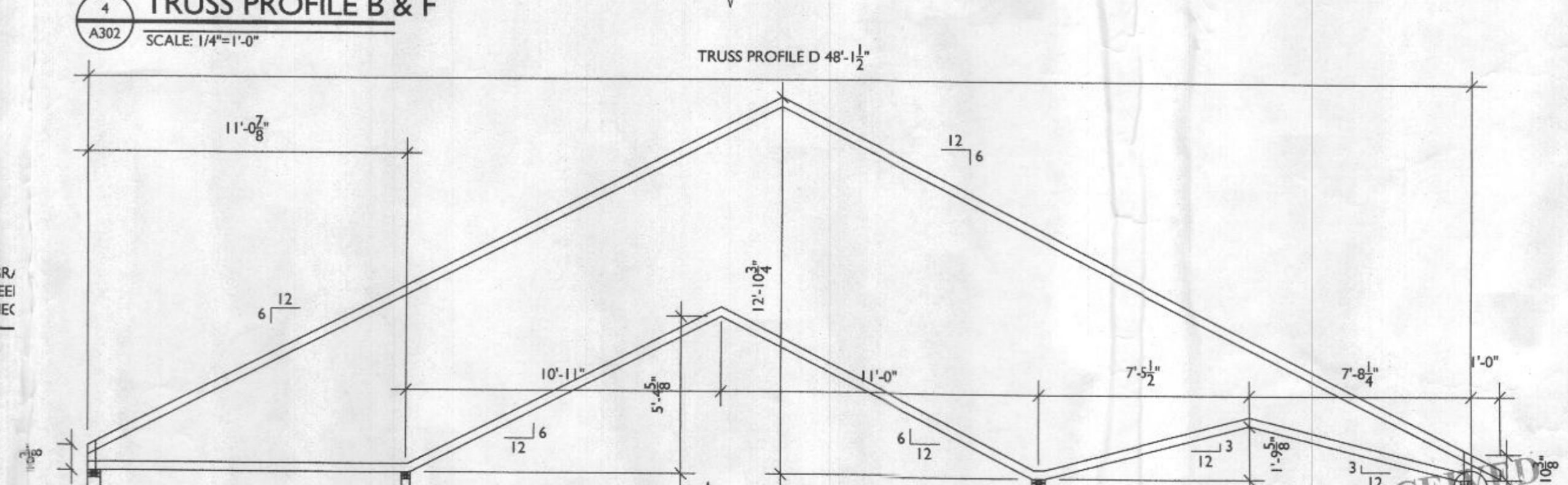
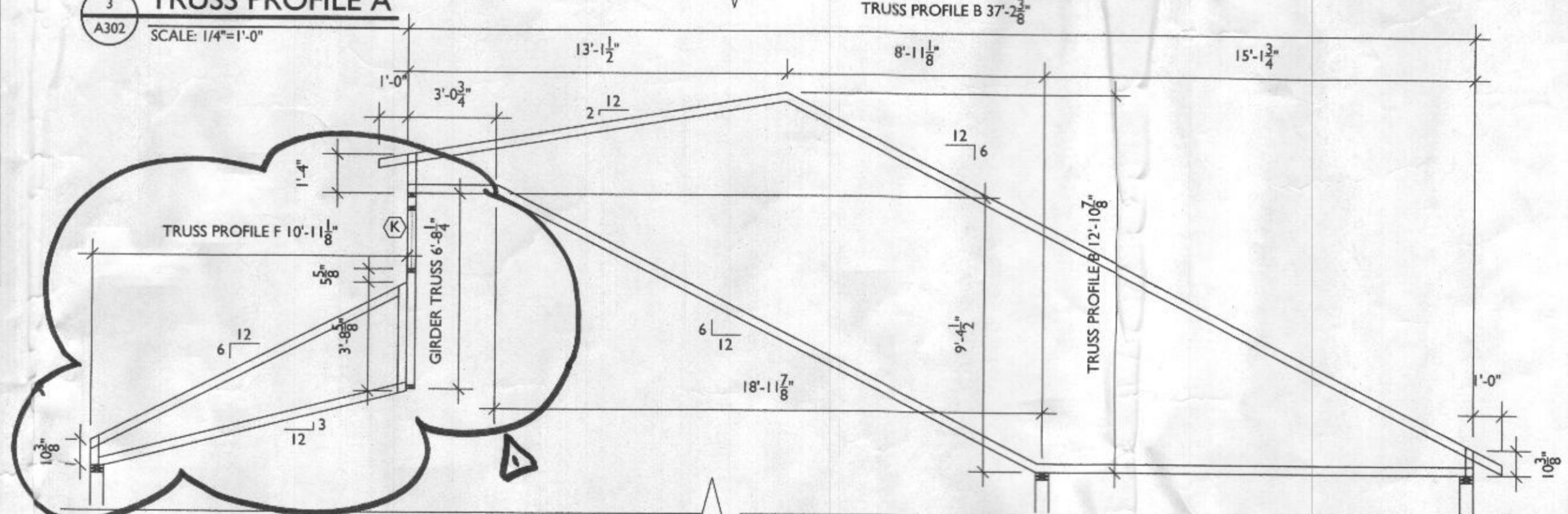
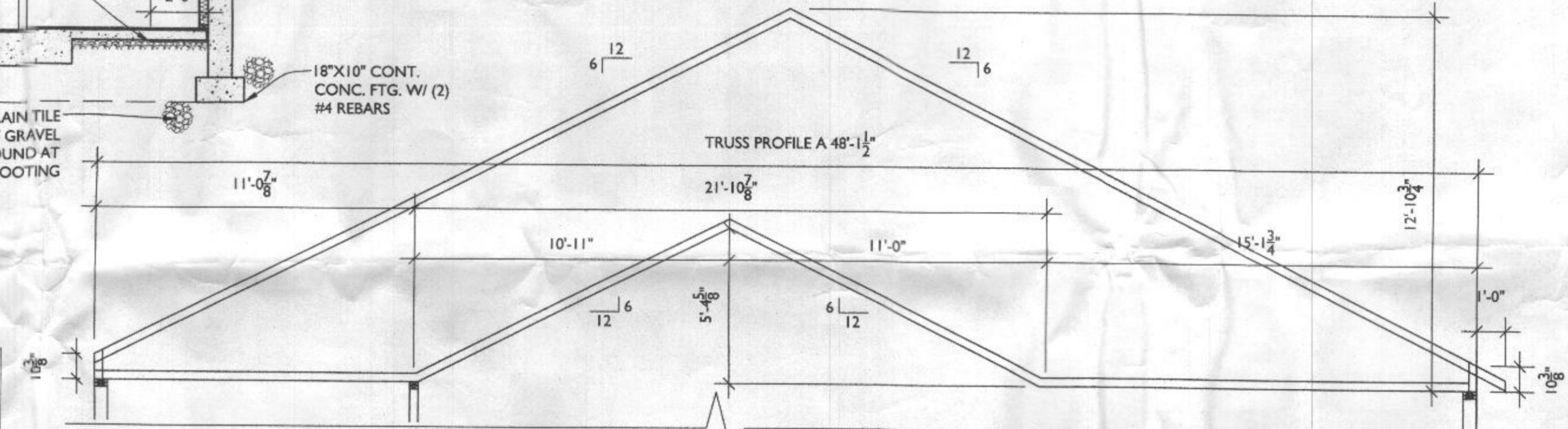
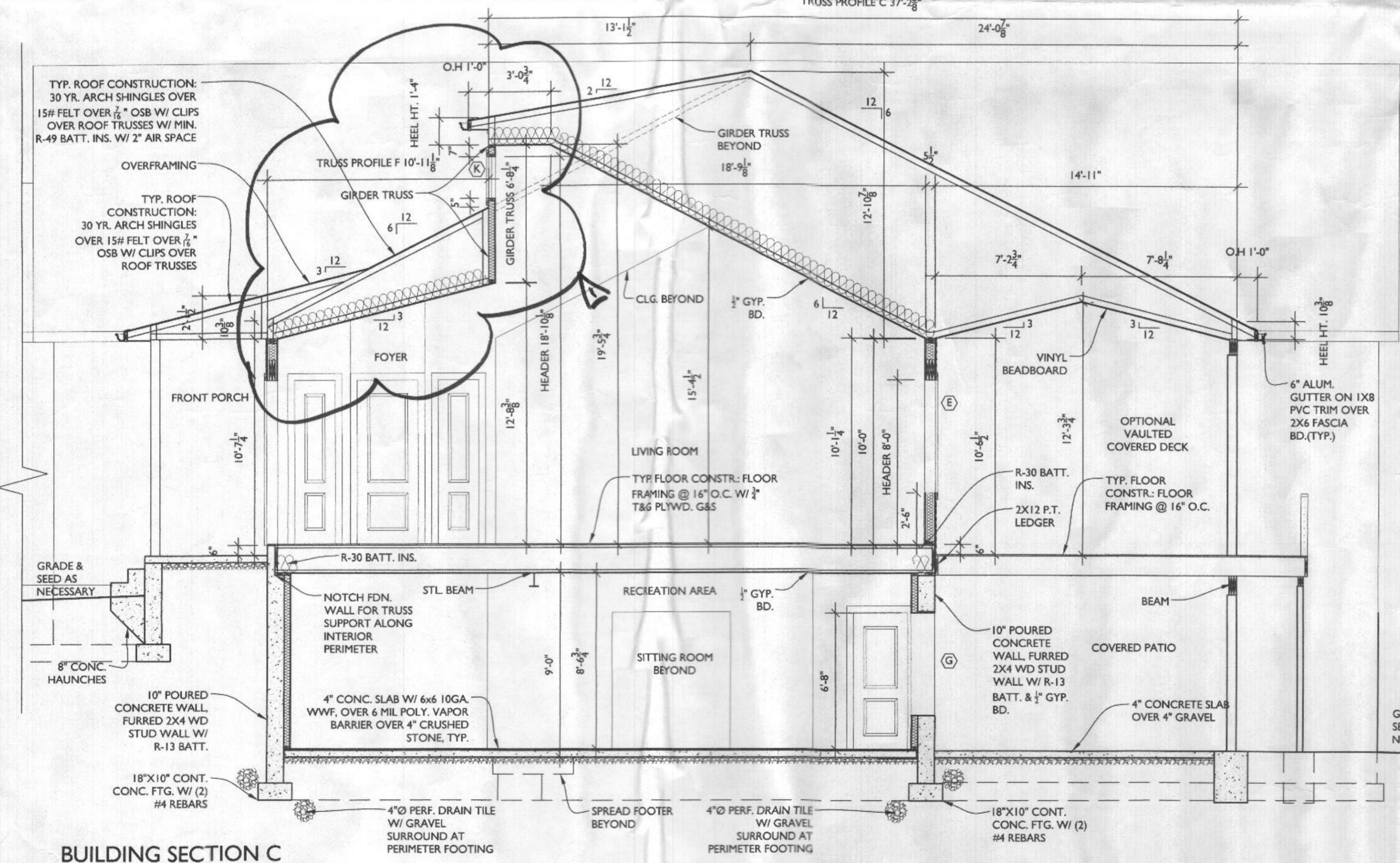
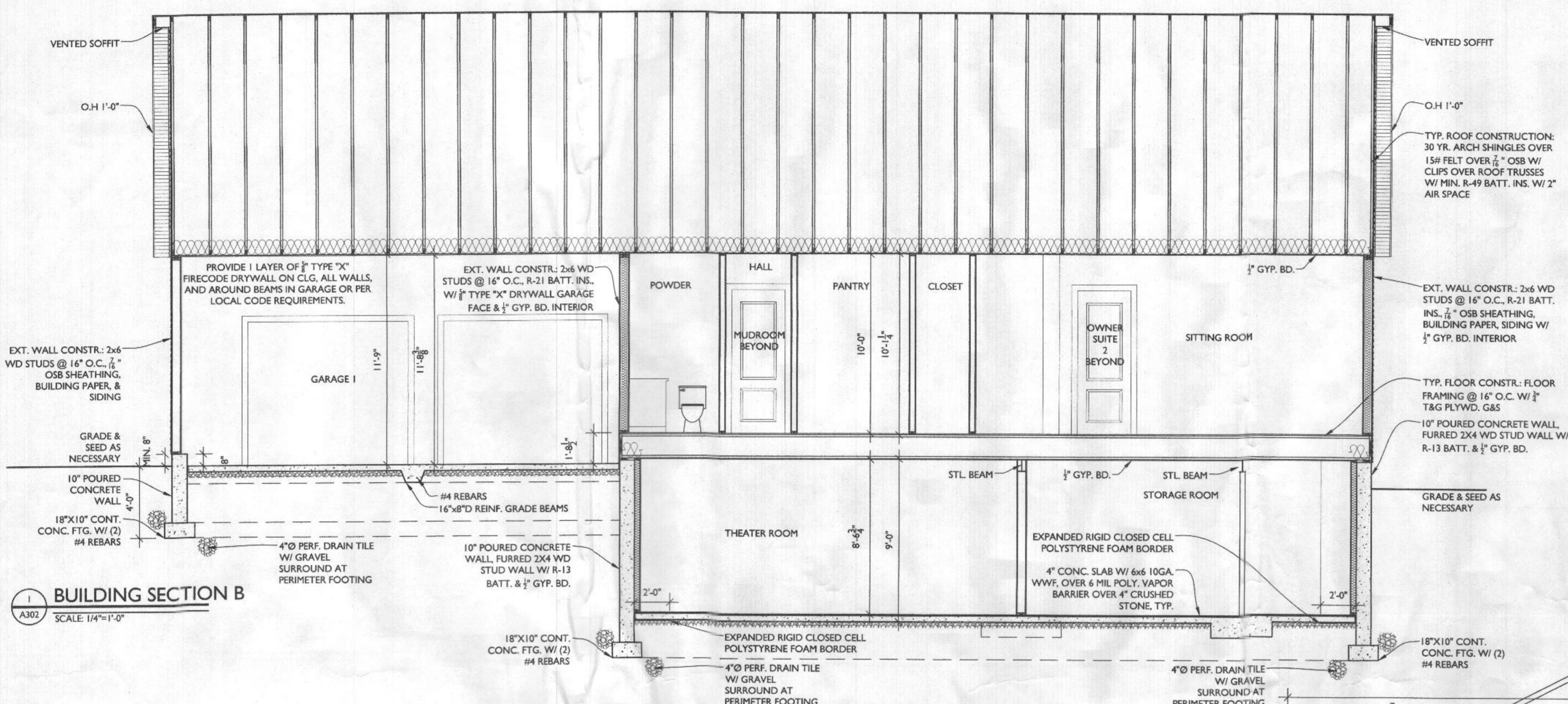
SCALE AS NOTED

DRAWING TITLE

BUILDING
SECTION B + C
+ TRUSS PROFILE

SHEET NUMBER

A-302



RECEIVED
SEP 24 2021
LICENSES & PERMITS
DIVISION

SCOPE OF WORK

CUSTOM HOME TO INCLUDE SIX BEDROOMS, SIX BATHROOMS, TWO POWDER ROOM, ONE CAR GARAGE AND TWO CAR GARAGE AND UNFINISHED BASEMENT. WHOLE HOUSE TO BE SPRINKLERED.

FIRST FLOOR GROSS SQFT 3,901 SQFT
BASEMENT GROSS SQFT 3,901 SQFT

RESIDENTIAL NOTES & SPECIFICATIONS

GENERAL CONSTRUCTION NOTES
1. THESE STRUCTURAL NOTES AND SPECIFICATIONS SHALL BE CONSIDERED PART OF THE FINAL DESIGN PACKAGE (INCLUDING CONSTRUCTION DRAWINGS) FOR THE PROJECT SPECIFICALLY DESCRIBED ABOVE. NEITHER THE STRUCTURAL NOTES NOR THE DRAWINGS ALONE ARE SUFFICIENT IN DESCRIBING A COMPLETE DESIGN.

2. DO NOT SCALE DRAWINGS. WRITTEN DIMENSION ON DRAWINGS SHALL GOVERN. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS AND SHALL NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS. SHOP DRAWINGS MUST BE SUBMITTED TO THE OWNER/ARCHITECT BEFORE PROCEEDING WITH FABRICATION OF ASSEMBLIES, STEEL STAIRS, ROOF AND/OR FLOOR TRUSSES.

3. WHERE THERE IS CONFLICT BETWEEN DRAWINGS, SPECIFICATIONS OR DETAILS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION.

4. PROVIDE TRANSITION STRIPS AT ALL CHANGES IN FLOOR FINISHES.
5. ALL CLOSETS ARE TO HAVE THE SAME FINISH AS THE ADJOINING ROOM UNLESS OTHERWISE NOTED.

6. PROVIDE PLUMBING FIXTURE ACCESS PANEL AT EACH TUB AND SHOWER ENCLOSURE AS REQUIRED BY LOCAL JURISDICTION.
7. PROVIDE HANDRAILS 34"-38" ABOVE NOSINGS ON ALL STAIRS. PROVIDE GUARDRAILS AT RAISED FLOORS, BALCONIES, ETC. 30" OR MORE ABOVE GRADE OR FLOOR BELOW. GUARDS SHALL BE MINIMUM 42" HIGH AND HAVE CLOSURES SPACED TO PREVENT PASSAGE OF A 4" SPHERE.

8. PROVIDE NOMINAL 2X FLOOR TRUSSES ARE UTILIZED, PROVIDE 1/2" BULKHEAD AND CHASE. IF OPEN WEB FLOOR TRUSSES ARE UTILIZED, PROVIDE 1/2" BULKHEAD DRAFTSTOPPING, NOT TO EXCEED 1,000 SF.

9. PROVIDE A MINIMUM 6" HEAD CLEARANCE FOR ALL STAIRS. STAIR RISERS SHALL NOT EXCEED 7-1/2" AND TREADS SHALL BE AT LEAST 10-1/2".
10. PROVIDE SOFFIT VENTS, RIDGE VENTS, OR GABLE END VENTS AS SHOWN ON THE DRAWINGS. MAINTAIN MINIMUM 1,000 FREE VENTILATION FOR EACH HORIZONTALLY PROJECTED ROOF AREA. INSTALL PLASTIC OR CARDBOARD Baffles IN EACH TRUSS/RAFTER BAY TO MAINTAIN FREE AIR FLOW.

11. MECHANICAL PLUMBING AND ELECTRICAL CONTRACTORS SHALL BE REQUIRED TO SEAL ALL PENETRATIONS IN FLOORS AND EXTERIOR WALLS CAUSED BY THEIR TRADES.

12. ROUGH CARPENTRY CONTRACTORS SHALL SEAL ALL PANEL BUTT JOINTS AND PLATES AT FLOORS, CEILING, WINDOWS, DOOR FRAMES AND JAMBS.
13. SHEATHING PENETRATION SHALL BE PATCHED AND REPAIRED TO MANUFACTURER'S SPECIFICATIONS.

14. SLOPE ALL EXTERIOR PLATFORMS, PORCHES, WALKS AND GARAGE SLABS 1/8" IN 12" TO DRAIN, OR AS NOTED ON PLANS.
15. PROVIDE TERMITTE PROTECTION INCLUDING SOIL TREATMENT BY LICENSED EXTERMINATOR.

SPECIFICATIONS - GENERAL CONDITIONS
1. ALL WORK SHALL CONFORM TO ALL LOCAL AND NATIONAL ORDINANCES & BUILDING CODES APPLICABLE TO THIS PROJECT, INCLUDING BUT NOT LIMITED TO INTERNATIONAL RESIDENTIAL CODE - 2018.

2. DIMENSIONS GIVEN ON SCHEDULES ARE NOMINAL. CONTRACTOR AND MANUFACTURERS ARE TO COORDINATE ALL DIMENSIONS CONCERNING DOORS, PANELS, WINDOWS, EQUIPMENT, ETC. AND THEIR OPENINGS PRIOR TO FABRICATION AND CONSTRUCTION.

3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, GRADES, BOUNDARIES, EASEMENTS AND CONSTRUCTION BEFORE PROCEEDING WITH THE WORK AND REPORT IMMEDIATELY ANY DISCREPANCIES TO THE ARCHITECT AND/OR OWNER.

4. DESIGN STANDARDS
USE GROUP: RESIDENTIAL
CONST. TYPE: ONE STORY WOOD FRAME W/ SIDING

5. DESIGN LOADS (IRC TABLE 301.5)
WIND LOAD: ± 15
WIND SPEED: 115 MPH
ROOF LIVE LOAD: 40 PSF
WIND IMPORT FACTOR: 1
GROUND SNOW LOAD: 40 PSF
EXP. FACTOR: "C"
FLOOR LIVE LOAD (F.F.): 40 PSF
SEISMIC DESIGN CAT: B
FLOOR LIVE LOAD (S.F.): 30 PSF
ATTIC LIVE LOAD (ATTIC): 20 PSF
WEATHERING: SEVERE
GARAGE LIVE LOAD: 50 PSF
ZONE: 4A

GUARD RAILS: 200 LBS. FORCE IN ANY DIRECTION
SOIL BEARING: ASSUMED 2,000 PSF
FROST LINE DEPTH - 30"
TERMITTE: VERY HEAVY
DECAY: VERY HEAVY
RADON RESISTANT CONSTRUCTION REQ'D: YES

CONCRETE
1. CONCRETE FOR THIS PROJECT SHALL BE NORMAL WEIGHT (145 PCF) AND CONCRETE WORK SHALL CONFORM TO AMERICAN CONCRETE INSTITUTE (ACI) STANDARD 318-99.
2. CONCRETE SHALL HAVE MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI
3. ALL REINFORCING BAR SHALL BE GRADE 60 (FY=60,000 PSI)
4. ALL INTERIOR CONCRETE SLABS SHALL BE 4" THICK AND HAVE A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI WITH 6X6 - W/ 4 X W/ 4 W/ 4 AND BE POURED OVER A SIX (6) MIL POLY VAPOR BARRIER 4 OVER A POROUS GRANULAR FILL.
5. ALL INTERIOR CONCRETE SLABS 30'-0" OR GREATER IN ANY DIMENSION SHALL HAVE CONTROL JOINTS.
6. ALL EXTERIOR CONCRETE SLABS SHALL BE AIR ENTRAINED (AIR CONTENT BETWEEN 5% AND 7%) INCLUDING THE GARAGE SLAB AND HAVE 4" GRANULAR FILL MIN BELOW CONCRETE SLAB.
7. WHERE PORCH (NOT MONOLITHICALLY POURED), PATIO OR OTHER CONCRETE FLAT WORK ADJUTS AN EXISTING CONCRETE SLAB PROVIDE A 1/2" ASPHALT IMPREGNATED FIBER BOARD EXPANSION JOINT.
8. ALL REINFORCING SHALL CONFORM TO "SPECIFICATIONS FOR DEFORMED BILLET-STEEL BARS FOR CONCRETE REINFORCEMENT" (ASTM 1 615-60). WELDED WIRE FABRIC SHALL CONFORM TO LATEST ASTM A-185.
9. REINFORCEMENT FOR THE ANCHORAGE OF CONNECTING WORK, IF NOT CONTINUOUS, AND REINFORCEMENT FOR TEMPERATURE AND ALL OTHER PURPOSES NOT SPECIFICALLY PROVIDED, SHALL LAP 30 BAR DIAMETERS OR 18" MINIMUM AT ALL SPLICES, OR SHALL HAVE DOVELS OF THE SAME BAR SIZE AND SPACING AS THAT OF REINFORCING TO BE SPLICED OR WORK TO BE CONNECTED.
10. MINIMUM CONCRETE PROTECTION FOR REINFORCEMENT:
CONCRETE DEPOSITED AGAINST GROUND 3"
FORMED CONCRETE IN CONTACT WITH GROUND 2"
FORMED CONCRETE NOT IN CONTACT WITH GROUND 1 1/2"

PREPARATION FOR SLAB
1. REMOVE ALL VEGETATION AND TOP SOIL CONTAINING ORGANIC MATERIALS FROM THE ENTIRE AREA TO BE COVERED BY THE BUILDING.
2. IF FILL IS REQUIRED TO RAISE SLAB, SCARIFY THE SUB GRADE TO A DEPTH OF 6" AND RECOMPACT TO A MINIMUM DENSITY OF 92% AND A MAXIMUM OF 98% OF STANDARD PROCTOR DENSITY (ASTM D-698) WITH A MOISTURE CONTENT AT OR SLIGHTLY ABOVE OPTIMUM.
3. INSTALL FILL IN LOOSE LIFTS OF 8" THICK AND UNIFORMLY COMPACTED AS IN THE NOTE ABOVE.
4. FILL MATERIALS SHALL BE VERY SANDY TO CLAYEY SAND WITH A PLASTICITY INDEX (PI) IF BETWEEN 2 AND 15.

FOUNDATION PERIMETER INSULATION
1. INSTALL EXPANDED RIGID CLOSED CELL POLYSTYRENE FOAM BORDER FED SPEC HH-4-542B. DENSITY 2.1 LBS PER CU. FT. "R" VALUE PER 1" THICKNESS - 5.41

STAIR:
DIMENSION:
MAX R: 7 1/2"
MIN T: 10"

SHEET INDEX

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A-302	BUILDING SECTION 2, BUILDING SECTION 3 & ROOF TRUSS PROFILE
E-100	FIRST FLOOR ELECTRICAL LAYOUT

STRUCTURAL STEEL NOTES

1. MATERIALS

STRUCTURAL STEEL AND PLATE ASTM A36
UNFINISHED BOLTS ASTM A307
HIGH STRENGTH BOLTS ASTM A325
WELDING ELECTRODES ASTM 1233, CLASS E70

2. BEAM TO BEAM AND COLUMN CONNECTIONS SHALL BE AISC STANDARD (FULL DEPTH) WHERE REACTIONS EXCEED MINIMUM CONDITIONS, THE APPROPRIATE CONNECTIONS SHALL BE DETERMINED BY FABRICATOR (CONTRACTOR)

3. ALL MAJOR CONNECTIONS SHALL BE HIGH STRENGTH FRICTION BOLTS OR WELDS OF EQUAL STRENGTH. ANCHOR BOLTS SHALL BE UNFINISHED BOLTS. STEEL WORK SHALL BE FABRICATED AND ERRECTED IN ACCORDANCE WITH LATEST AISC SPECIFICATIONS.

4. SUBMIT SHOP DRAWINGS FOR ALL STEEL WORK.
5. STEEL LINTELS - FOR ALL OPENINGS AND RECESSES IN STONE OR BRICK FACED WALLS NOT SPECIFICALLY DETAILED, PROVIDE ONE STEEL ANGLE FOR EACH 4 INCHES OF WALL THICKNESS. STEEL ANGLES TO HAVE MINIMUM BEARING OF 4" AT EACH END. HORIZONTAL LEG SHALL BE 3 1/2" UNLESS OTHERWISE SHOWN.

6. LINTEL SCHEDULE (UNLESS NOTED OTHERWISE ON PLANS) NOTE: ALL LINTELS ARE TO RECEIVE SHOP APPLIED CORROSION PROTECTION.
7. STEEL BEAM POCKETS, SIZE AS INDICATED ON PLANS. BEAMS SHALL HAVE A MINIMUM BEARING OF 4" IN LENGTH MEASURED PARALLEL TO THE BEAM UPON SOLID MASONRY NOT LESS THAN 4" IN THICKNESS OR UPON A METAL BEARING PLATE OF ADEQUATE DIMENSIONS TO DISTRIBUTE THE LOAD SAFELY. AREA AROUND BEAM TO RECEIVE PARGE FINISH.

8. 2x BEAM PLATE IS ANCHORED TO STEEL BEAM WITH 3/8" DIAMETER STEEL BOLTS OR EQUIVALENT FASTENERS AT 48" O.C. FASTENERS TO BE LOCATED A NEAR TO CENTER OF BEAM AS POSSIBLE.
9. STEEL BEAMS SHALL HAVE A MINIMUM BEARING OF 4 INCHES IN CONCRETE POCKETS AND A MINIMUM BEARING OF 3 INCHES ON STEEL COLUMNS. STEEL BEAMS SHALL BE CENTERED OVER COLUMNS BELOW.

10. STEEL BEAMS SHALL HAVE A MINIMUM BEARING OF 4 INCHES IN CONCRETE POCKETS AND A MINIMUM BEARING OF 3 INCHES ON STEEL COLUMNS. STEEL BEAMS SHALL BE CENTERED OVER COLUMNS BELOW.

11. MASONRY VENEER SHALL BE ATTACHED TO THE SUPPORTING WALL WITH CORROSION RESISTANT METAL TIES. EACH TIE SHALL BE 1/4" ON CENTER HORIZONTALLY AND SHALL SUPPORT NOT MORE THAN 1/4 SQUARE FEET OF WALL AREA. ADDITIONAL METAL TIES SHALL BE PROVIDED AROUND ALL WALL OPENINGS GREATER THAN 16". THESE TIES SHALL BE SPACED NOT MORE THAN 3' ON CENTER, AND PLACED WITHIN 12" OF THE WALL OPENING.
12. CONCRETE MASONRY UNITS SHALL MEET ASTM C-90 GRADE A, 28 DAYS OLD BEFORE INSTALLATION. MINIMUM NET COMPRESSIVE STRENGTH OF BLOCK TO BE 2000 PSI.
13. CARE AND PROPER MEASURES SHALL BE EMPLOYED TO PREVENT ANY SUPER IMPOSED LOADS (I.E. WIND LOADS, SHOWING OR OTHER LATERAL FORCES) FROM BULGING OR DISTORTING FINISHED MASONRY WALLS BY WAY OF SHORING, BRACING OR OTHER MEANS AS SITE REQUIRES.
14. USE TYPE "M" MORTAR FOR MASONRY BELOW GRADE IN CONTACT WITH EARTH.
15. USE TYPE "N" MORTAR FOR EXTERIOR, ABOVE GRADE LOAD BEARING OR NON-LOAD BEARING MASONRY WALLS AND FOR OTHER AREAS IF NOT OTHERWISE NOTED. EXCEPTION - MASONRY CONSTRUCTION REQUIRING HEAT RESISTANT MORTAR SHALL HAVE A REFRACTORY AIR SETTING MORTAR.
16. BRICK VENEER TO BE INSTALLED WITHIN 3/16" DIA/ WEBB HOLES SPACED AT A MAXIMUM OF 24" O.C. HORIZONTALLY.

HEADERS
1. ALL HEADERS ARE TO BE DOUBLE 2X12 UNLESS SPECIFICALLY NOTED OTHERWISE.

WOOD FRAMING
1. UNLESS OTHERWISE NOTED, ALL INTERIOR PARTITIONS TO BE CONSTRUCTED WITH 2X4 STUDS, 16" O.C., WITH DOUBLE TOP PLATE. MINIMUM 2X12 HEADER/LINTELS AT ALL OPENINGS IN BEARING OR EXTERIOR WALLS. SHEATHING TO BE 1/2" CDX PLYWOOD OR OSB.
2. ALL FRAMING LUMBER SHALL BE SPF No. 1 (No. 2) AND HAVE A MINIMUM ALLOWABLE EXTREME FIBER BENDING STRESS OF 875 PSI AND A MINIMUM MODULUS OF ELASTICITY OF 1,400,000 PSI.
3. ALL FLOOR DECKS ARE TO BE GLUED TO SUPPORTING BEAMS AND JOIST WITH PL-400 ADHESIVE AS MANUFACTURED BY "CONTECH" OR APPROVED EQUAL.
4. ALL WOOD BEAMS MADE OF TWO OR MORE MEMBERS SHALL BE GLUED WITH PL-400 ADHESIVE AND NAILED TOGETHER @ 12"
5. ALL WOOD POSTS MADE UP OF MULTIPLE PIECES SHALL BE GLUED WITH PL-400 ADHESIVE AND NAILED @ 12" O.C. BOTH SIDES.
6. DIRECTLY UNDER PARTITIONS WHICH RUN TO JOISTS (AND ARE OTHERWISE UNSUPPORTED) INSTALL DOUBLE JOISTS.
7. ALL RAFTERS AND JOISTS SHALL HAVE WOOD OR METAL CROSSBRIDGING AT 9' O.C. OR AT CENTER OF SPAN WHICH EVER IS LESS.
8. CONTINUOUS LOAD PATH: STEEL HARDWARE CONNECTORS TO GUARD AGAINST UPLIFT FORCES SHALL BE INSTALLED FROM THE FOUNDATIONS TO THE ROOF RAFTERS AT ALL STUDS. THESE SHALL INCLUDE BUT ARE NOT LIMITED TO FOUNDATION CONNECTORS, FLOOR TO FLOOR CONNECTORS, AND ROOF RAFTER HURRICANE CONNECTORS/ANCHORS.
9. MINIMUM BEARING FOR WOOD JOIST, RAFTERS AND BEAMS SHALL BE 3 1/2" ON WOOD AND 4" ON MASONRY.
10. INSTALL WOOD JOIST HANGER & WOOD BEAM HANGER CONNECTIONS AS FOLLOWS:
JOIST HANGER MIN. CAPACITY - 800#
BEAM HANGER MIN. CAPACITY - 3500#
11. INSTALL MINIMUM DOUBLE STUDS AT JAMBS OF ALL OPENINGS IN WALLS OR AS SHOWN ON PLAN.
12. ALL MANUFACTURED TRUSSES ARE TO BE IN ACCORDANCE WITH ASCE 7-95.
13. FOUNDATION ANCHORAGE: SILL PLATES AND WALLS SUPPORTED DIRECTLY ON CONT. FOUNDATIONS SHALL BE ANCHORED ACCORDING TO IRC R403.1.6.
14. ALL SILL PLATES AND LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE TREATED SOUTHERN YELLOW PINE.

FINISHES
1. ALL FINISHES SHALL BE CLASS C OR BETTER WITH A FLAME SPREAD OF 76-200 OR BETTER AND A SMOKE DEVELOPED INDEX OF 0-450.

AIR LEAKAGE
BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHER STRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL:
1. ALL JOINTS, SEAMS AND PENETRATIONS.
2. SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS.
3. OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING.
4. UTILITY PENETRATIONS
5. DROPPED CEILING OR CHASES ADJACENT TO THE THERMAL ENVELOPE.
6. KNEE WALLS.
7. WALLS AND CEILING SEPARATING A GARAGE FROM CONDITIONED SPACES.
8. BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS.
9. COMMON WALLS BETWEEN DWELLING UNITS.
10. ATTIC ACCESS OPENINGS.
11. RIM JOIST JUNCTION.
12. OTHER SOURCES OF INFILTRATION.

WINDOW SCHEDULE

WINDOW				REMARKS
TYPE	MAT.	SIZE.	OPERATION	
A	VINYL	3/0X4/0	DOUBLE HUNG	
B	VINYL	3/0X5/6	DOUBLE HUNG	
C	VINYL	(2)3/0X5/6	DOUBLE HUNG	
D	VINYL	(2)4/0X5/6	DOUBLE HUNG	
E	VINYL	(4)3/0X5/6	DOUBLE HUNG	MULLED IN FACTORY
F	VINYL	2/4X5/6	DOUBLE HUNG	
G	VINYL	3/0X5/0	DOUBLE HUNG	
H	VINYL	3/0X3/0	DOUBLE HUNG	
I	VINYL	2/4X5/0	DOUBLE HUNG	
K	VINYL	2/0X2/0	FIXED	DORMER WINDOW SEE FRONT ELEV
L	VINYL	2/0X2/0	SKYLIGHT	
M	VINYL	4/0X4/0	FIXED	

MIN. DUAL PANE, LOW-E & ARGON GAS FILLED. MAX. U = .31
*EGRESS - SEE PLAN

DOOR SCHEDULE

DOOR					REMARKS
NO.	SIZE.	INT/EXT	SADDLE	LABEL	
001	6'0x6'8"	EXT	YES		SLIDING DOOR
002	6'0x6'8"	EXT	YES		SLIDING DOOR
003	(2)2'0x6'8"	INT	NO		DOUBLE DOOR
004	3'0x6'8"	INT	NO		SINGLE DOOR
005	2'6x6'8"	INT	NO		SINGLE BARN DOOR
006	2'8x6'8"	INT	NO		SINGLE DOOR
007	2'8x6'8"	INT	NO		SINGLE DOOR
080	2'6x6'8"	INT	NO		SINGLE BARN DOOR
009	3'0x6'8"	INT	NO		SINGLE DOOR
010	(2)2'0x6'8"	INT	NO		DOUBLE DOOR
011	(2)2'0x6'8"	INT	NO		DOUBLE DOOR
012	(2)2'6x6'8"	INT	NO		DOUBLE DOOR
013	2'8x6'8"	INT	NO		SINGLE DOOR
014	2'8x6'8"	INT	NO		SINGLE DOOR
015	2'0x6'8"	INT	NO		SINGLE DOOR
016	3'0x6'8"	INT	NO		SINGLE DOOR
017	(2)2'0x6'8"	INT	NO		DOUBLE DOOR
100	3'0x8'0"	EXT	YES		ENTRY DOOR W/ (2) 16" SIDELITES
101	2'0x8'0"	INT	NO		SINGLE DOOR
102	3'0x8'0"	INT	NO		SINGLE DOOR
103	(2)2'6x8'0"	INT	NO		DOUBLE DOOR
104	2'6x8'0"	INT	NO		SINGLE DOOR
105	9'0x8'0"	EXT	NO		GARAGE DOOR
106	9'0x8'0"	EXT	NO		GARAGE DOOR
107	9'0x8'0"	EXT	NO		GARAGE DOOR
108	3'0x8'0"	EXT	YES		SINGLE DOOR
109	3'0x8'0"	EXT	YES		SINGLE DOOR - HALF LITE
110	3'0x8'0"	EXT	YES		SINGLE DOOR
111	3'0x8'0"	INT	NO		SINGLE DOOR
112	(2)2'0x8'0"	INT	NO		DOUBLE DOOR
113	3'0x8'0"	INT	NO		SINGLE BARN DOOR
114	3'0x8'0"	INT	NO		SINGLE DOOR
115	(2)3'0x8'0"	INT	NO		DOUBLE DOOR
116	3'0x8'0"	INT	NO		SINGLE DOOR
117	(2)1'6x8'0"	INT	NO		DOUBLE DOOR
118	(2)1'6x8'0"	INT	NO		DOUBLE DOOR
119	3'0x8'0"	INT	NO		SINGLE DOOR
120	10'0x8'0"	EXT	YES		DOUBLE SLIDING DOOR
121	3'0x8'0"	INT	NO		SINGLE DOOR
122	3'0x8'0"	INT	NO		SINGLE DOOR
123	2'4x8'0"	INT	NO		SINGLE DOOR
124	(2)2'0x8'0"	INT	NO		DOUBLE DOOR
125	(2)2'0x8'0"	INT	NO		DOUBLE DOOR
126	2'6x8'0"	INT	NO		SINGLE DOOR
127	2'6x8'0"	INT	NO		SINGLE DOOR
128	2'6x8'0"	INT	NO		SINGLE DOOR
129	2'6x8'0"	INT	NO		SINGLE DOOR
130	2'6x8'0"	INT	NO		SINGLE DOOR
131	2'6x8'0"	INT	NO		SINGLE DOOR
132	2'0x8'0"	INT	NO		SINGLE DOOR
133	3'0x8'0"	INT	NO		SINGLE POCKET DOOR
134	2'6x8'0"	INT	NO		SINGLE DOOR

HEADER SCHEDULE (U.N.O.)

OPENING SIZE	HEADER SIZE
OPENINGS UP TO 3'	(2) 2x10
OPENINGS GREATER THAN 3' UP TO 6'	(2) 1.75 x 9.50 1.9E MICROLAM
OPENINGS GREATER THAN 6' UP TO 8'	(2) 1.75 x 11.875 1.9E MICROLAM

REINFORCED CONCRETE AND MASONRY FOUNDATION WALLS

MAX. WALL HT. (FT.)	MAX. UNBALANCED BACKFILL HT.	MIN. VERT. REINFORCEMENT SIZE & SPACING FOR 10" NOMINAL WALL THICKNESS		
		GW,GC,SW & SP SOILS	GM, GC, SM, SM-SC & ML SOILS	SC, MH, ML-CL & INORG. CL SOILS
5	#4 @ 56" O.C.	#4 @ 56" O.C.	#4 @ 48" O.C.	
6	#4 @ 56" O.C.	#4 @ 40" O.C.	#4 @ 32" O.C.	
7	#4 @ 56" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.	
8	#4 @ 32" O.C.	#6 @ 48" O.C.	#4 @ 16" O.C.	
9	#5 @ 40" O.C.	#6 @ 40" O.C.	#7 @ 40" O.C.	

MIN. VERT. REINFORCEMENT SIZE & SPACING FOR 8" NOMINAL WALL THICKNESS			
5	#4 @ 48" O.C.	#4 @ 48" O.C.	#5 @ 48" O.C.
6	#4 @ 48" O.C.	#5 @ 48" O.C.	#6 @ 48" O.C.
7	#5 @ 48" O.C.	#6 @ 48" O.C.	#6 @ 32" O.C.
8	#5 @ 40" O.C.	#6 @ 32" O.C.	#6 @ 24" O.C.
9	#6 @ 40" O.C.	#6 @ 24" O.C.	#6 @ 16" O.C.



MIN. VERT. REINFORCEMENT SIZE & SPACING FOR 12" NOMINAL WALL THICKNESS			
7'-4"	#4 @ 72" O.C.	#5 @ 72" O.C.	#6 @ 72" O.C.
8'-0"	#5 @ 72" O.C.	#6 @ 72" O.C.	#6 @ 64" O.C.
8'-8"	#5 @ 72" O.C.	#7 @ 72" O.C.	#6 @ 48" O.C.
9'-4"	#6 @ 72" O.C.	#6 @ 48" O.C.	#6 @ 40" O.C.
10'-0"	#6 @ 64" O.C.	#6 @ 40" O.C.	#6 @ 32" O.C.

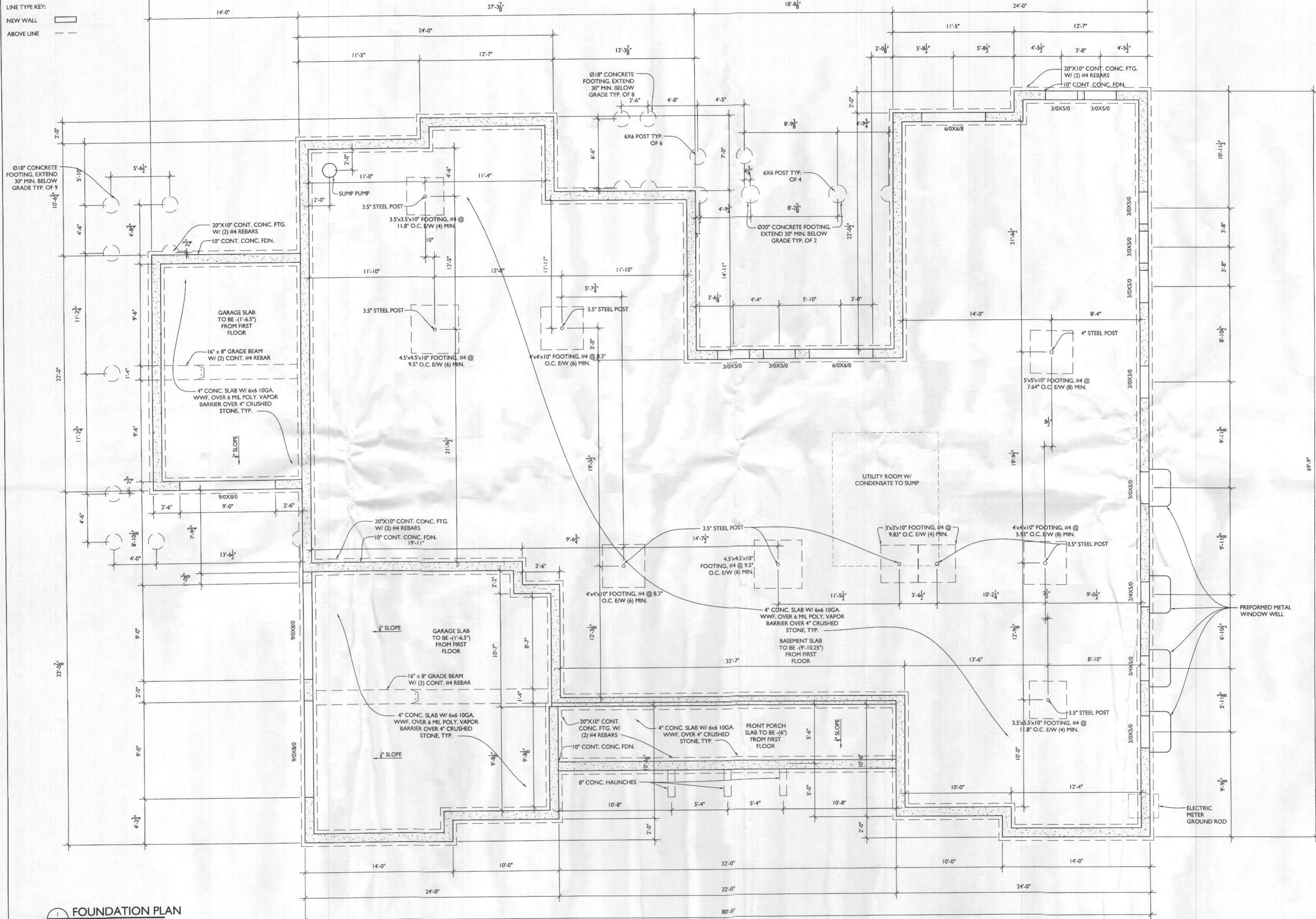
STEEL LINTEL SCHEDULE (U.N.O.)

STEEL ANGLE SIZE	# STORIES ABOVE			# OF 1/2" REBARS
	NONE	ONE	TWO	
3 x 3 x 1/4	6' - 0"	3' - 6"	3' - 0"	1
4 x 3 x 1/4	8' - 0"	5' - 0"	3' - 0"	1
6 x 3-1/2 x 1/4	14' - 0"	8' - 0"	3' - 6"	2
2 - 6 x 3-1/2 x 1/4	20' - 0"	11' - 0"	11' - 0"	4



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301-776-2666
info@TransformingArchitecture.com
www.TransformingArchitecture.com

LINE TYPE KEY:
 NEW WALL 
 ABOVE LINE 



FOUNDATION PLAN
 SCALE: 1/4"=1'-0"



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PROJECT PHASE
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PROJECT TITLE
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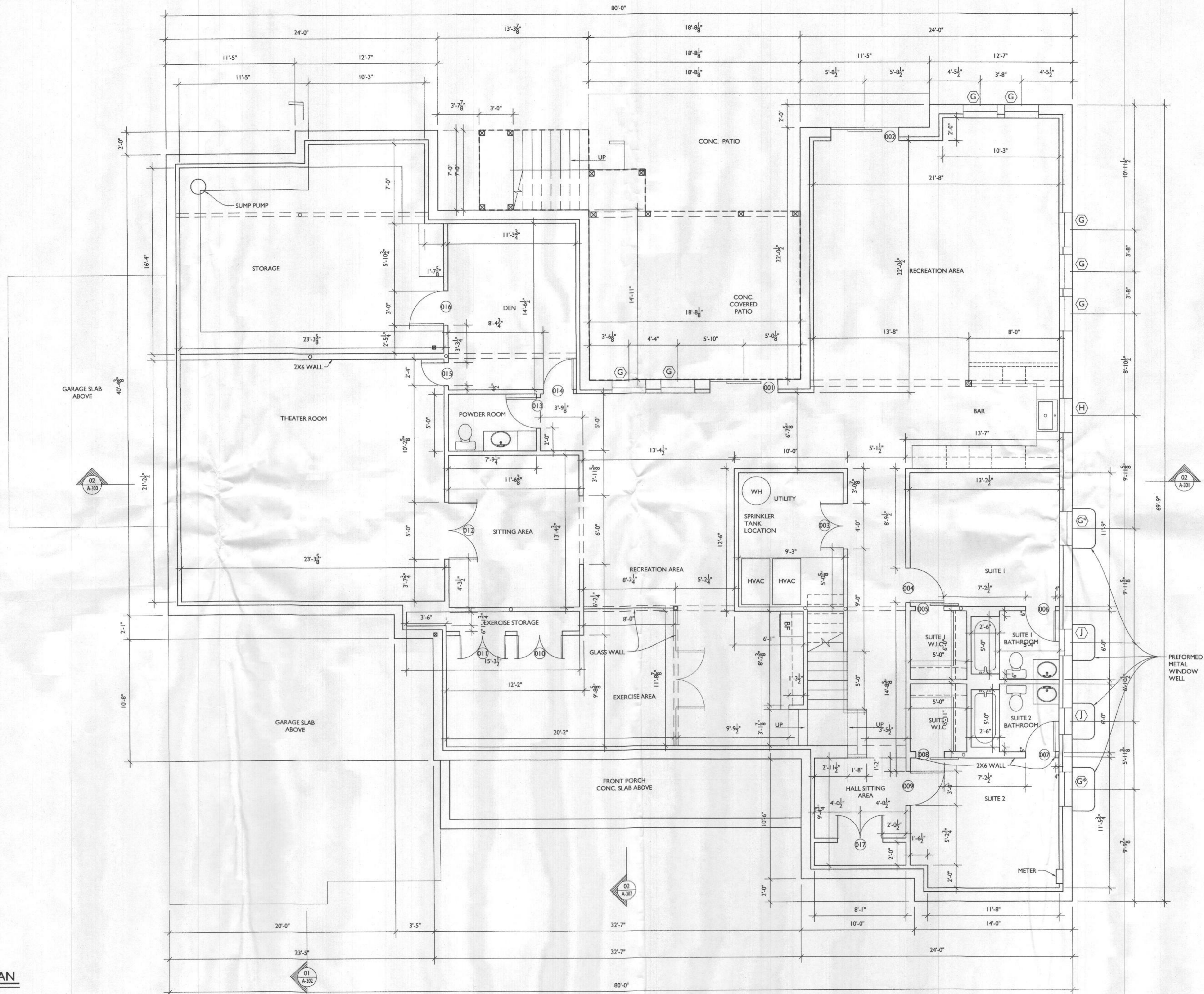
PROJECT NUMBER 21-578
 DATE 09/15/2021
 SCALE AS NOTED

DRAWING TITLE
FOUNDATION PLAN

SHEET NUMBER
A-101

LINE TYPE KEY:

- NEW WALL
- ABOVE LINE
- TYPICAL WALL CONSTRUCTION U.N.O.
- TYP. INT. WALL CONSTR.: 2x4 WOOD STUDS U.N.O. @ 16" O.C. W/ 1/2" DRYWALL EACH SIDE
- TYP. EXT. WALL CONSTR.: 2x6 WD STUDS @ 16" O.C., R-21 BATT. INS., 7/16 OSB SHEATHING, BUILDING PAPER, SIDING, & 1/2" GYP. BD. INTERIOR



FUTURE BASEMENT PLAN
SCALE: 1/4"=1'-0"

FUTURE FINISHED BASEMENT - NOT TO BE FINISHED DURING MAIN HOUSE CONSTRUCTION



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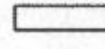
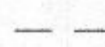
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DRAWING TITLE
FUTURE BASEMENT FLOOR PLAN

SHEET NUMBER
A-102

LINE TYPE KEY:
 NEW WALL 
 ABOVE LINE 



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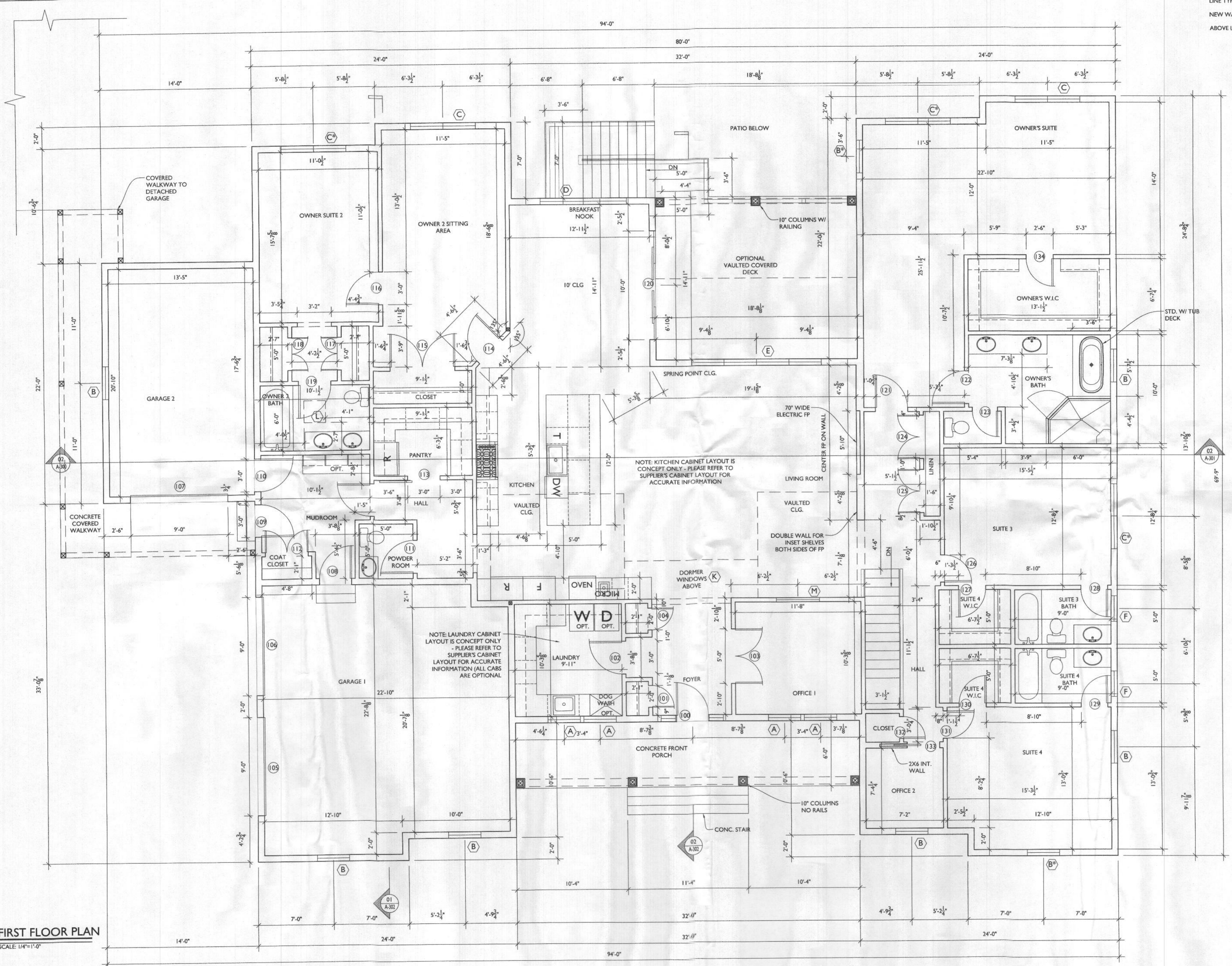
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SYMBOL	DATE	ISSUED FOR



PROJECT NUMBER 21-578
 DATE 09/15/2021
 SCALE AS NOTED

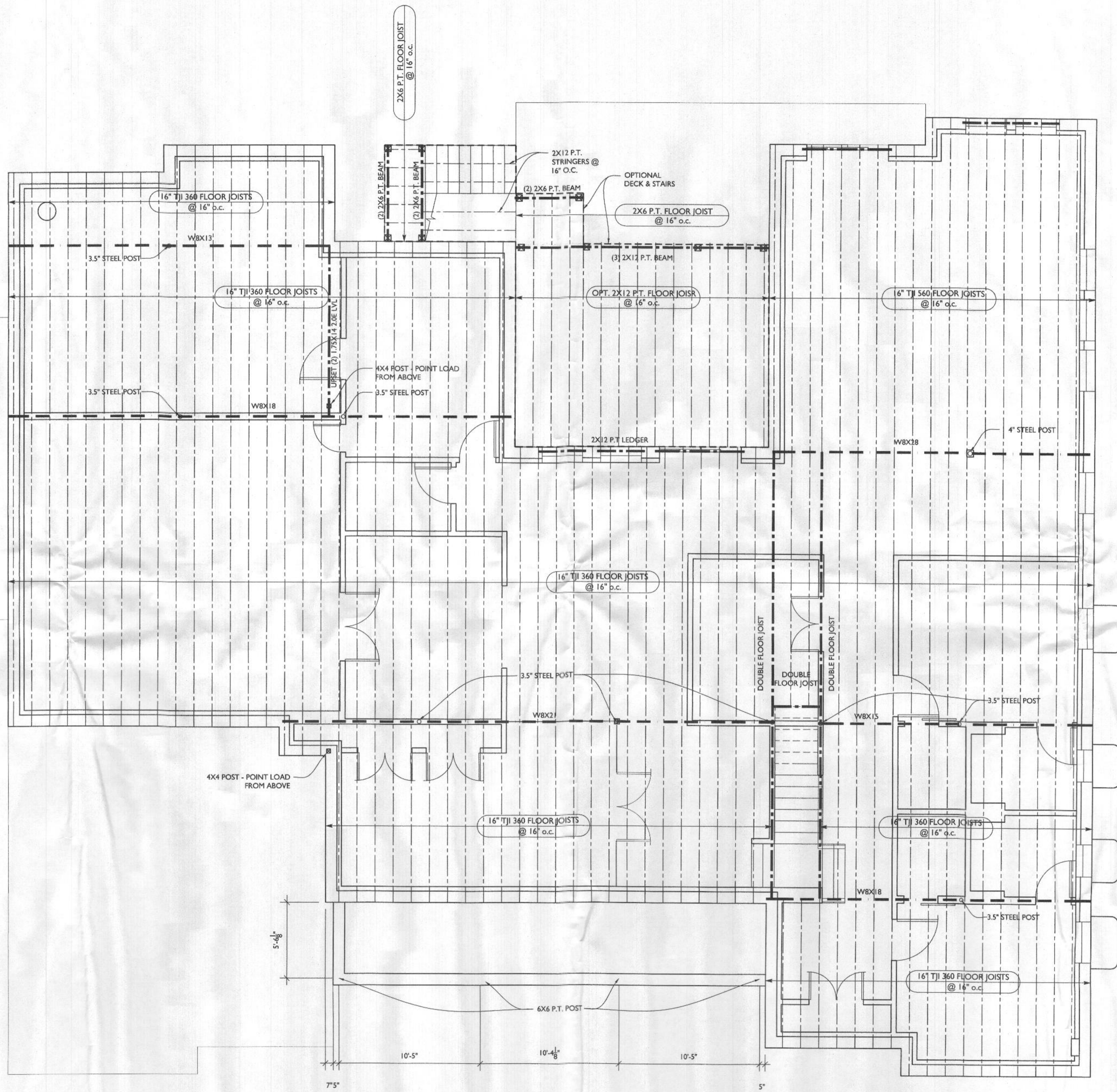
DRAWING TITLE
FIRST FLOOR PLAN

SHEET NUMBER
A-103



FIRST FLOOR PLAN
 SCALE: 1/4"=1'-0"

LINE TYPE KEY:
 NEW WALL 
 ABOVE LINE 



**FIRST FLOOR
 FRAMING PLAN**

A104 SCALE: 1/4"=1'-0"



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 DATE 09/15/2021
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DRAWING TITLE
**FIRST FLOOR
 FRAMING PLAN**

SHEET NUMBER
A-104

LINE TYPE KEY:
 NEW WALL 
 ABOVE LINE 



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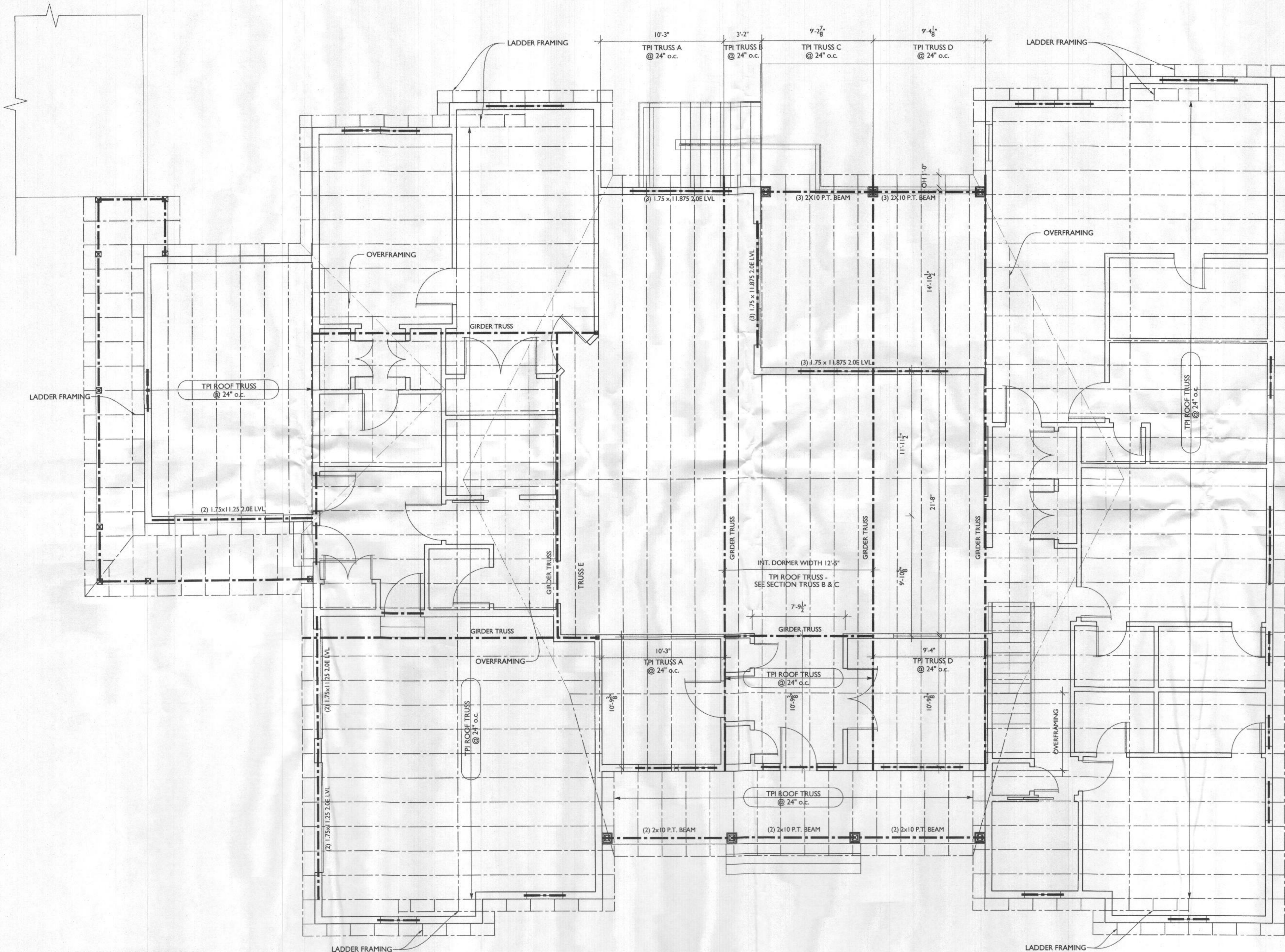
PROJECT NUMBER 21-578
 DATE 09/15/2021
 SCALE AS NOTED

DRAWING TITLE

ROOF FRAMING PLANS

SHEET NUMBER

A-105



1 ROOF FRAMING PLAN
 A105 SCALE: 1/4"=1'-0"