

PLAT 25722

WELL NUMBER: HO-20-0021
 ADDRESS: 1429 HERITAGE RIDGE ROAD
 WOODBINE, MD 21797
 PERMIT NO.: B21002813
 NOTES:
 -AS-BUILT INFORMATION ON SEPTIC IN RED AS OF 8-19-22
 -CUTSHEET INFORMATION ON SEPTIC IN BLUE 6-16-22

*** KEEP WITH FILE ***
 ASB SEPTIC EXHIBIT
 LOT 27
LINDEN GROVE
 LIBER 15899, FOLIO 246
 PLAT NO. 25722
 ELECTION DISTRICT No. 4
 HOWARD COUNTY, MARYLAND

ESE CONSULTANTS
 ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL
 ESE Consultants, Inc.
 6731 Columbia Gateway Drive • Suite 120 • Columbia, MD 21046
 T: 410-872-9105

DATE: 08/22/2022 SCALE: 1" = 40' 00" FILE: ASB SEPTIC LOT 27
 CHK'D: M.J.B. JOB NO: 4683 DRAWN: V.X.P.

HOUSE OPTIONS:

HOUSE TYPE: DUMONT (MODERN FARMHOUSE)

- TWO CAR SIDE ENTRY GARAGE
- FINISHED LOWER LEVEL
- WALK-OUT BASEMENT
- ADD 1' TO HEIGHT OF BASEMENT
- OPEN STAIRS TO LOWER LEVEL
- POWDER ROOM IN FINISHED LOWER LEVEL
- OPTIONAL DROP ZONE
- LUXURY WALK-OUT COVERED DECK

- OPTION No. 012
- OPTION No. 013
- OPTION No. 017
- OPTION No. 070
- OPTION No. 207
- OPTION No. 263036
- OPTION No. 263081
- OPTION No. 263169

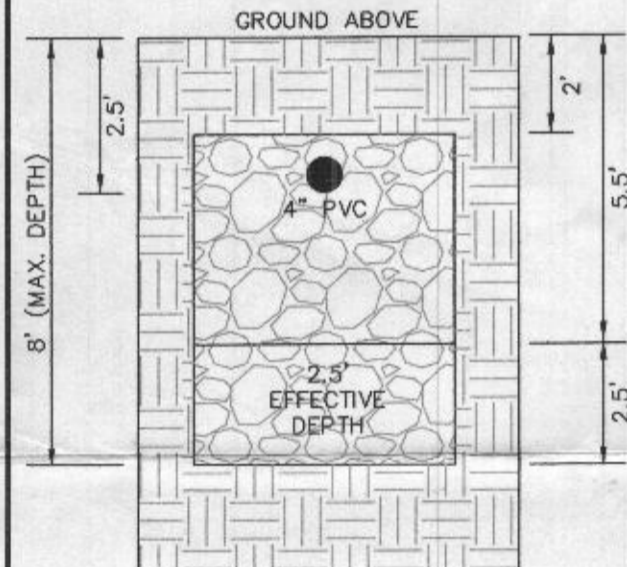
INITIAL TRENCH DATA

BOTTOM MAX. DEPTH (8.0')

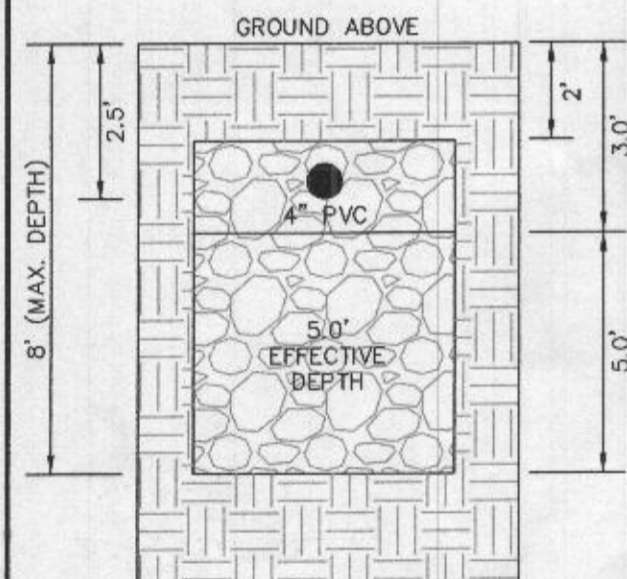
TRENCH 1 (T1): 58.33 LF.
GROUND ABOVE = 559.12'
INV. IN = 556.62'
BOTTOM TRENCH = 551.12'

TRENCH 2 (T2): 58.33 LF.
GROUND ABOVE = 558.43'
INV. IN = 555.93'
BOTTOM TRENCH = 550.43'

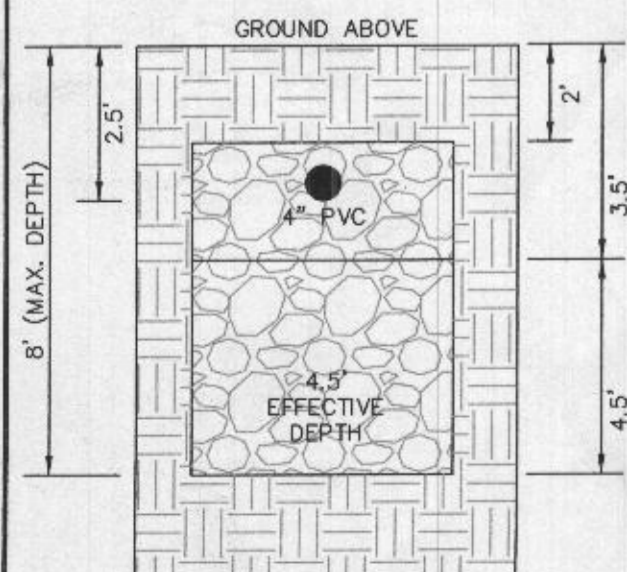
TRENCH 3 (T3): 58.33 LF.
GROUND ABOVE = 557.67'
INV. IN = 555.17'
BOTTOM TRENCH = 549.67'



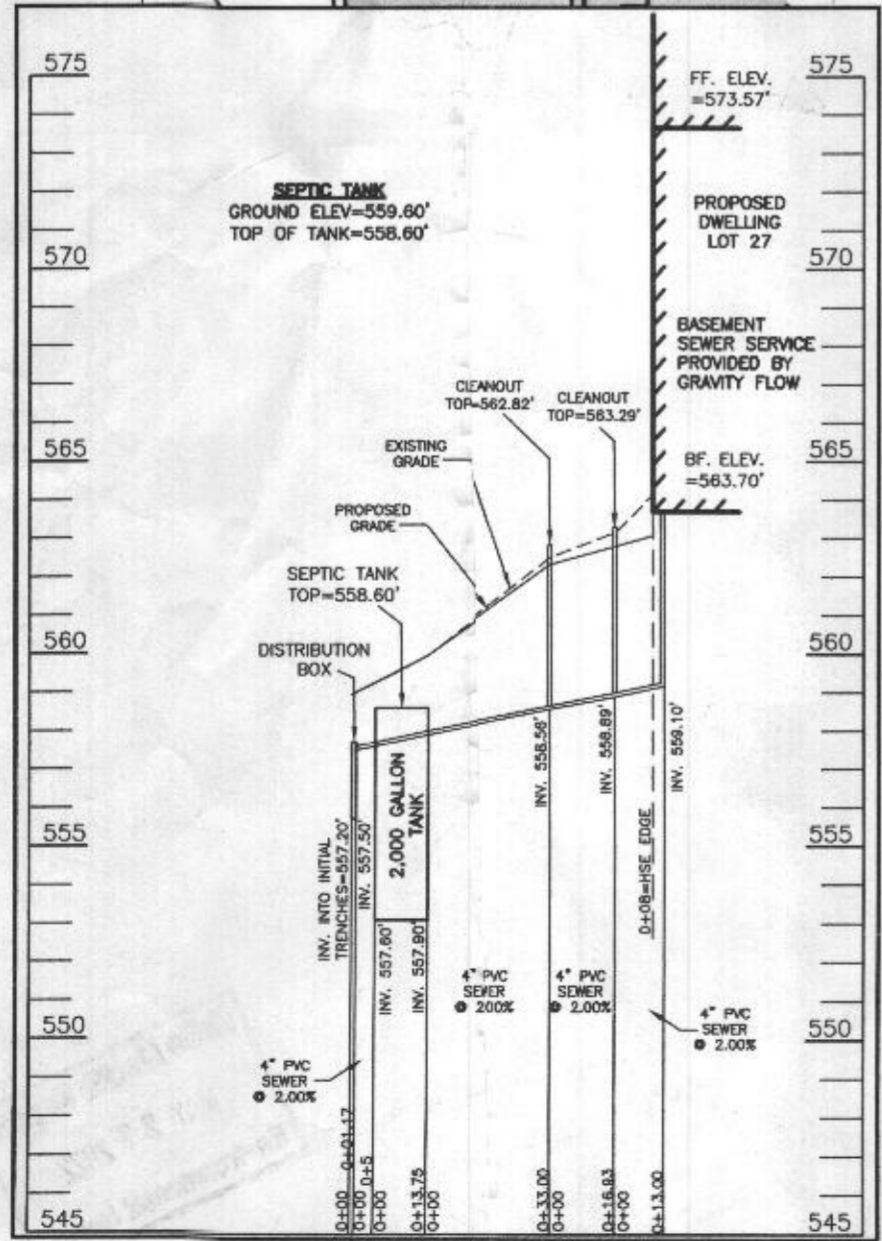
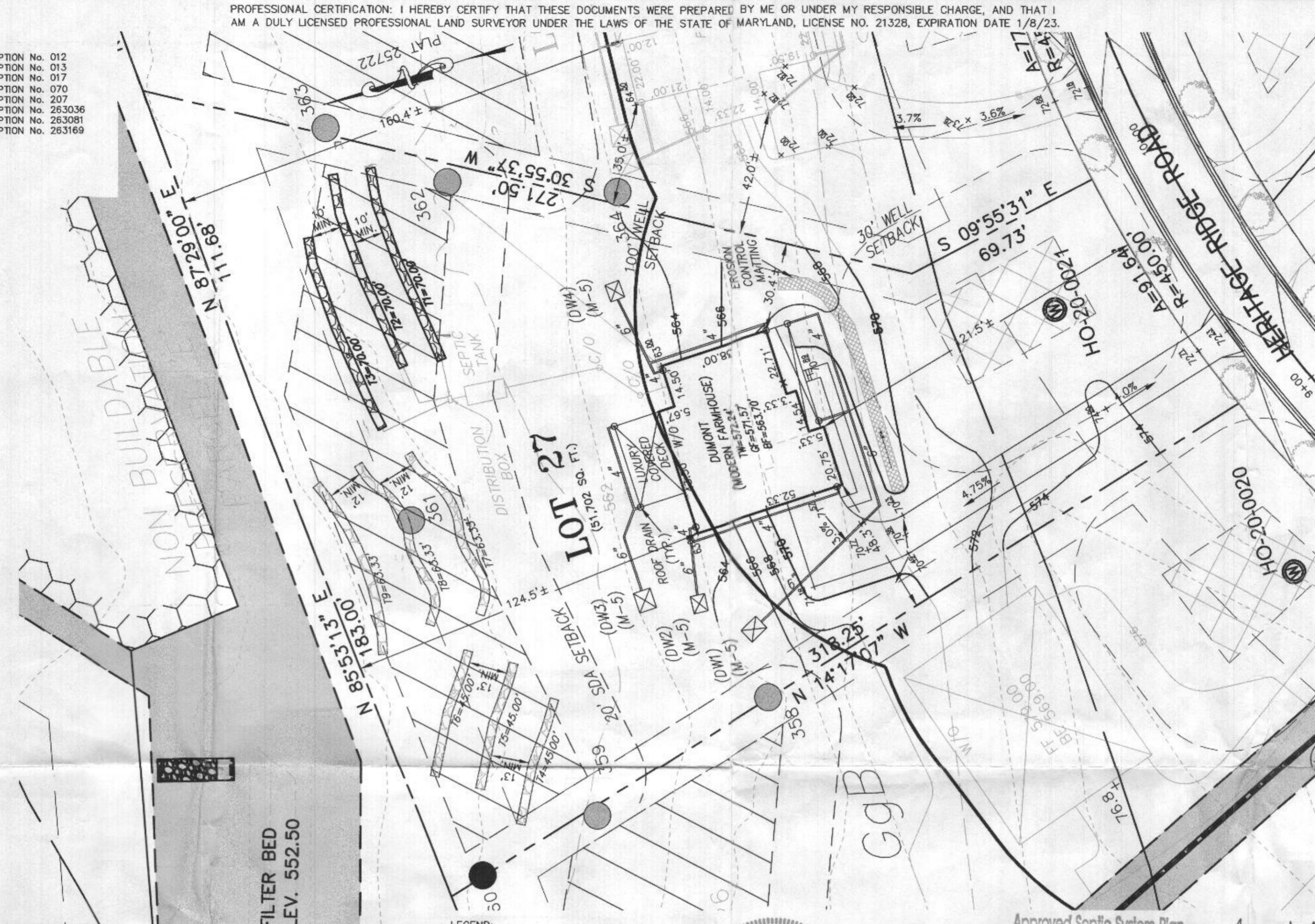
INITIAL SYSTEM TRENCH DETAIL (T1) THRU (T3)
(NOT TO SCALE)



1ST REPLACEMENT SYSTEM TRENCH DETAIL (T4) THRU (T6)
(NOT TO SCALE)



2ND REPLACEMENT SYSTEM TRENCH DETAIL (T7) THRU (T9)
(NOT TO SCALE)



SEPTIC SYSTEM PROFILE
SCALE = HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

- LEGEND:**
- BUILDING RESTRICTION LINE
 - WELL LOCATION
 - T.W.
 - G.F.
 - B.F.
 - PASSED PERC LOCATION
 - FAILED PERC LOCATION
 - ▨ SEWAGE DISPOSAL AREA
 - WELL BOX AREA
 - SCHWER SERVICE PROVIDED BY GRAVITY FLOW
 - PROPOSED DWELLING LOT 27
 - PROPOSED TREE
 - PROPOSED TREE
 - PROPOSED TREE

SEWAGE DISPOSAL SYSTEM DATA (6 BDRM)

- PROPOSED INVERT AT FOUNDATION WALL: 559.10'
- EX. GRADE OVER TANK: 559.60'
PROPOSED GRADE OVER TANK: 559.60'
INVERT IN: 557.90' INVERT OUT: 557.60'
 - DISTRIBUTION BOX
EXISTING GRADE OVER TANK: 558.95'
PROPOSED GRADE OVER TANK: 558.95'
INVERT IN: 557.50' INVERT OUT: 557.20'
 - INITIAL TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)
900 GPD ÷ 0.8 APP. RATE = 1,125 SF
USE 3" WIDE TRENCH WITH 66" GRAVEL BELOW PIPE
10' MIN. SPACING BETWEEN TRENCH EDGES
1,125 SF ÷ 3' WIDTH = 375 LF x 0.56 (SIDEWALL REDUCTION) = 210 LF MIN.
USE 3 70' LONG TRENCHES = 210 LF
 - 1ST REPLACEMENT TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)
900 GPD ÷ 0.8 APP. RATE = 1,125 SF
USE 3" WIDE TRENCH WITH 66" GRAVEL BELOW PIPE
13' MIN. SPACING BETWEEN TRENCH EDGES
1,125 SF ÷ 3' WIDTH = 375 LF x 0.36 (SIDEWALL REDUCTION) = 135 LF MIN.
USE 3 45' LONG TRENCHES = 135 LF
 - 2ND REPLACEMENT TRENCH DESIGN (6 BDRM x 150 GPD/BDRM = 900 GPD)
900 GPD ÷ 0.6 APP. RATE = 1,500 SF
USE 3" WIDE TRENCH WITH 66" GRAVEL BELOW PIPE
12' MIN. SPACING BETWEEN TRENCH EDGES
1,500 SF ÷ 3' WIDTH = 500 LF x 0.38 (SIDEWALL REDUCTION) = 190 LF MIN.
USE 3 63.33' LONG TRENCHES = 190 LF



Approved Septic System Plan
Howard County Health Department
Signature 6/16/2022
Date

SOILS LEGEND

SOIL	NAME	CLASS	Kw
BRD	BRINKLOW CHANNERY LOAM, 15 TO 25 PERCENT SLOPES	B	20
GgA	GLENELG LOAM, 0 TO 3 PERCENT SLOPES	B	20
GgB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	B	20
GgC	GLENELG LOAM, 8 TO 15 PERCENT SLOPES	B	20
*GmA	GLENVILLE SILT LOAM, 0 TO 3 PERCENT SLOPES	C	37
*GmB	GLENVILLE SILT LOAM, 3 TO 8 PERCENT SLOPES	C	37
*GmC	GLENVILLE-BAILE SILT LOAMS, 0 TO 8 PERCENT SLOPES	C	37
MaC	MANOR LOAM, 8 TO 15 PERCENT SLOPES	B	24

- NOTES:**
- * HYDRIC SOILS AND / OR CONTAINS HYDRIC INCLUSIONS
 - ** MAY CONTAIN HYDRIC INCLUSIONS
 - *** DENOTES ERODIBLE SOILS

WELL LOCATION CERTIFICATION:

THE EXISTING WELL SHOWN FOR LOT 27 (TAG NO. HO-20-0021) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN HEREON.

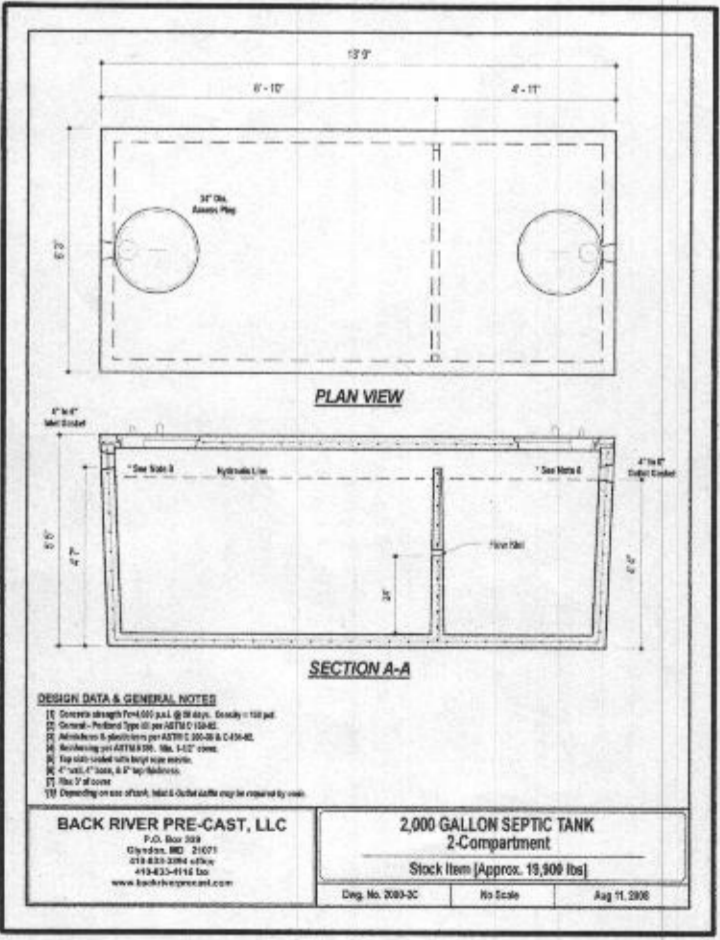
ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN
LOT 27
LINDEN GROVE
LIBER 15899, FOLIO 246
PLAT NO. 25722
ELECTION DISTRICT No. 4
HOWARD COUNTY, MARYLAND
ADDRESS: 1429 HERITAGE RIDGE ROAD
WOODBINE, MARYLAND 21797



VICINITY MAP
1" = 1000'

GENERAL NOTES:

- THESE AREAS DESIGNATE A PRIVATE SEWAGE AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS INTO THE PRIVATE SEWAGE AREA. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
- EXISTING WELLS, SEPTIC SYSTEMS, AND SEWAGE DISPOSAL AREAS WITHIN 100' OF THE PROPERTY AND THOSE WELLS WITHIN 200' DOWN GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS OR SEWAGE DISPOSAL AREAS HAVE BEEN SHOWN.
- ANY CHANGES TO A PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
- BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.
- ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
- THE MAXIMUM EARTH COVER OVER THE TANK IS THREE (3) FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
- THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP, WIDTH, AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
- THE EXISTING TOPOGRAPHY SHOWN HEREON IS FROM HOWARD COUNTY GIS, 2' CONTOUR INTERVAL AND FIELD VERIFIED BY FISHER, COLLINS AND CARTER, INC.



2,000 GALLON SEPTIC TANK
2-Compartment
Stock Item (Approx. 19,900 lbs)
Aug 11, 2008

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DATE: 01/20/2022 SCALE: 1"= 30' FILE: OSDS LOT 27
CHK'D: M.J.B. JOB NO: 4683 DRAWN: V.K.P.

HOUSE OPTIONS:

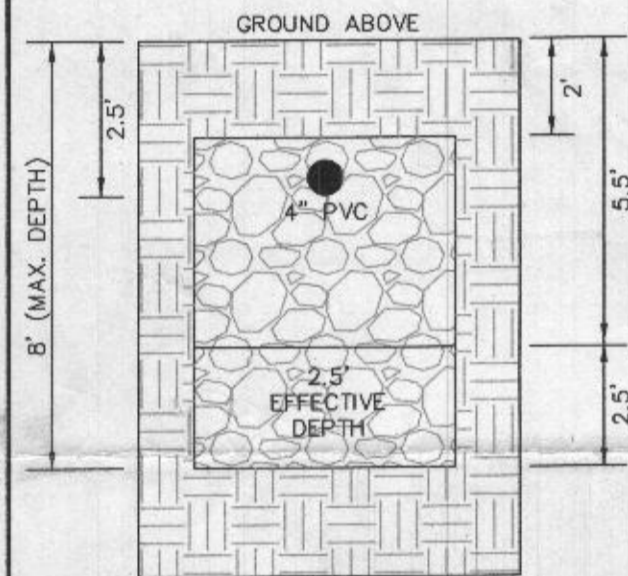
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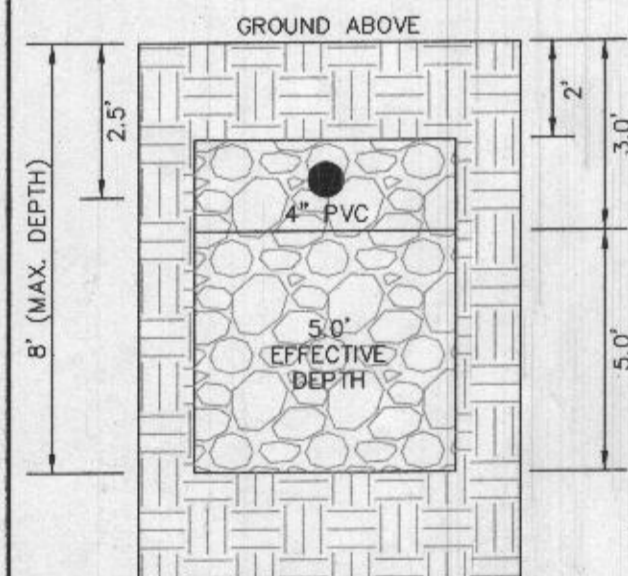
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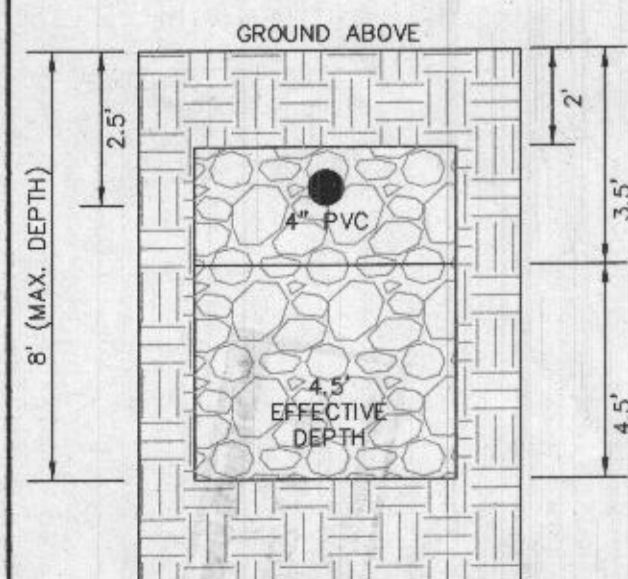
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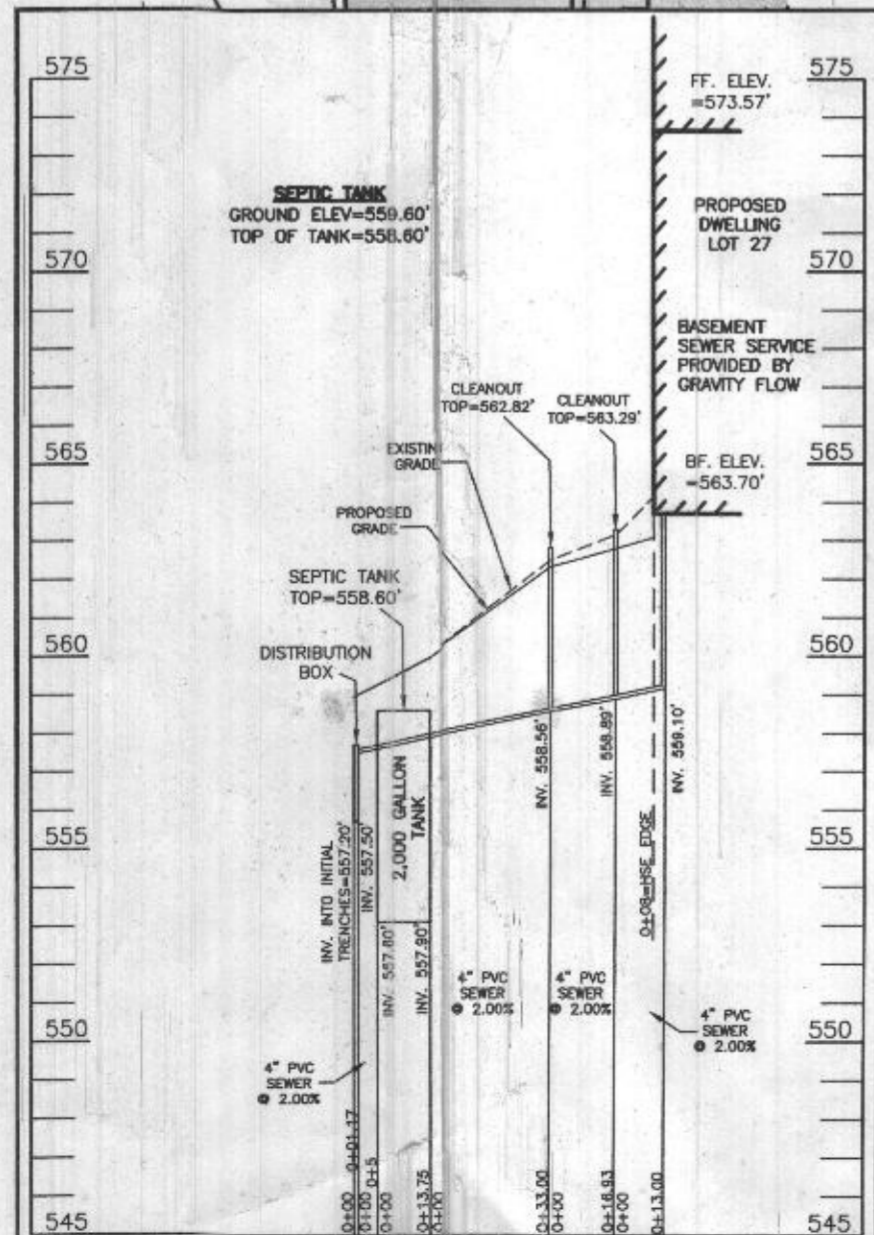
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2ND REPLACEMENT SYSTEM TRENCH DETAIL (T7) THRU (T9) (NOT TO SCALE)



SEPTIC SYSTEM PROFILE SCALE = HORIZONTAL: 1"=50' VERTICAL: 1"=5'

LEGEND:

- BRL BUILDING RESTRICTION LINE
- W.L. WELL LOCATION
- T.W. TOP OF WALL
- C.F. GARAGE FLOOR
- B.F. BASEMENT FLOOR
- PASS PERC LOCATION
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- PROPOSED TREE
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USE 3 63.33' LONG TRENCHES = 190 LF



Approved Septic System Plan
Howard County Health Department
Signature: [Signature] Date: 6/16/2022
Approval for: 6 bedrooms

SOILS LEGEND

SOIL	NAME	CLASS	Kw
BRD	BRINKLOW CHANNERY LOAM, 15 TO 25 PERCENT SLOPES	B	20
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GgB	GLENELG LOAM, 3 TO 8 PERCENT SLOPES	B	20
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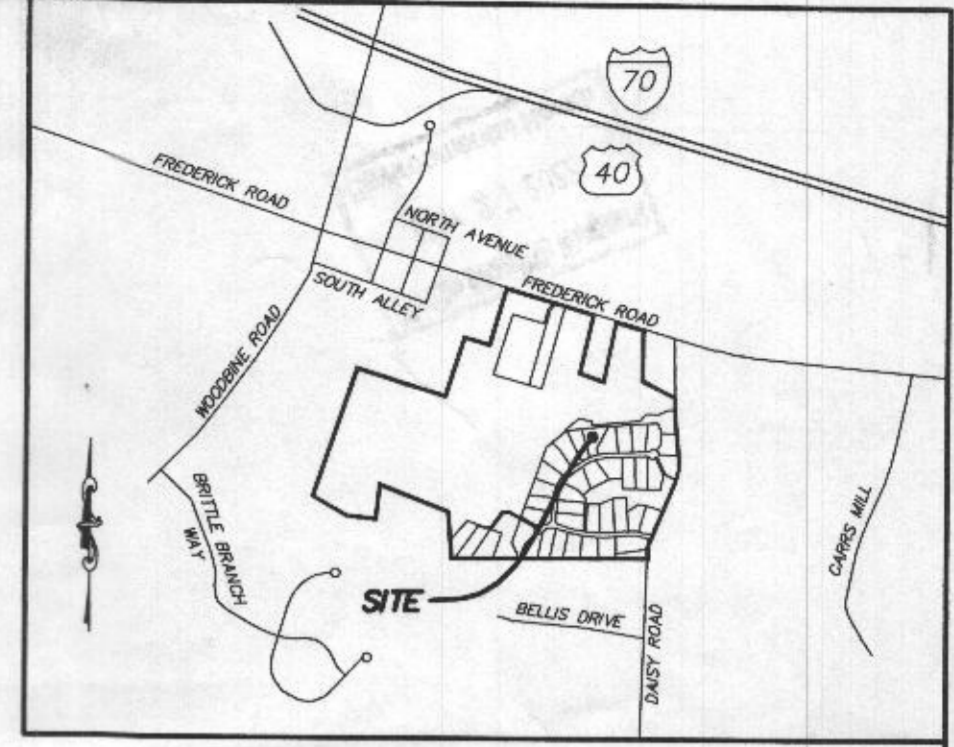
ONSITE SEWAGE DISPOSAL SYSTEM DESIGN PLAN
LOT 27
LINDEN GROVE
LIBER 15899, FOLIO 246
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HOWARD COUNTY, MARYLAND
ADDRESS: 1429 HERITAGE RIDGE ROAD
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DATE: 01/20/2022 SCALE: 1"= 30' FILE: OSDS LOT 27
CHK'D: M.J.B. JOB NO: 4683 DRAWN: V.X.P.

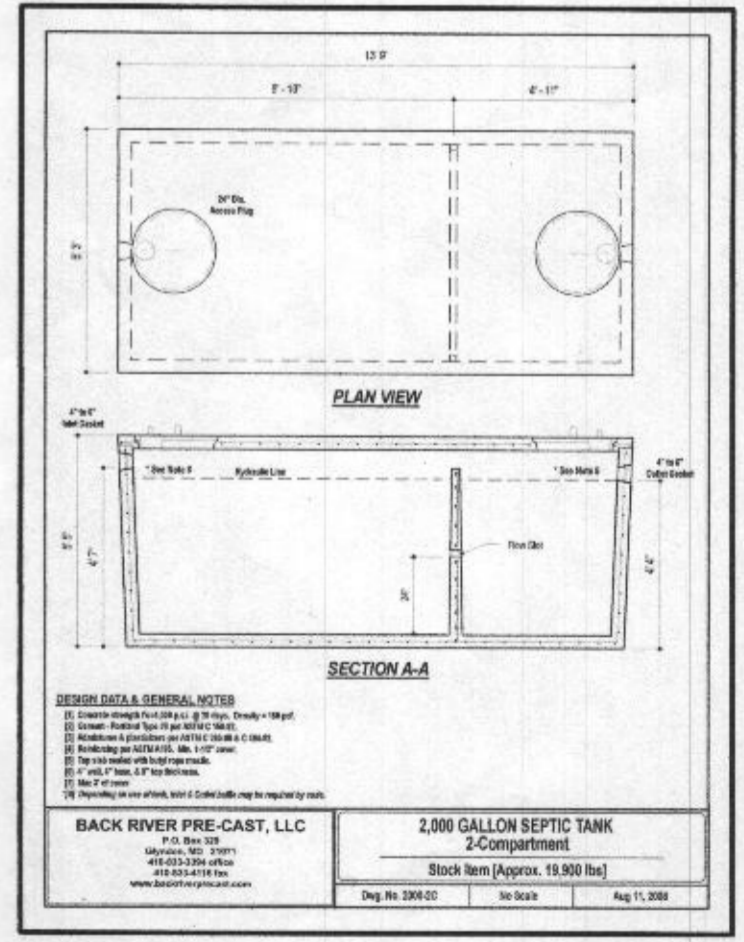
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/23.



VICINITY MAP
1" = 1000'

GENERAL NOTES:

1. THESE AREAS DESIGNATE A PRIVATE SEWAGE AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT VARIANCES FOR ENCROACHMENTS UNTO THE PRIVATE SEWAGE AREA. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.
2. EXISTING WELLS, SEPTIC SYSTEMS, AND SEWAGE DISPOSAL AREAS WITHIN 100' OF THE PROPERTY AND THOSE WELLS WITHIN 200' DOWN GRADIENT OF EXISTING OR PROPOSED SEPTIC SYSTEMS OR SEWAGE DISPOSAL AREAS HAVE BEEN SHOWN.
3. ANY CHANGES TO A PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
4. BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.
5. ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
6. THE MAXIMUM EARTH COVER OVER THE TANK IS THREE (3) FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
7. THE LOT SHOWN HEREON COMPLIES WITH THE MINIMUM OWNERSHIP, WIDTH, AND LOT AREA AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF THE ENVIRONMENT.
8. THE EXISTING TOPOGRAPHY SHOWN HEREON IS FROM HOWARD COUNTY GIS, 2' CONTOUR INTERVAL AND FIELD VERIFIED BY FISHER, COLLINS AND CARTER, INC.

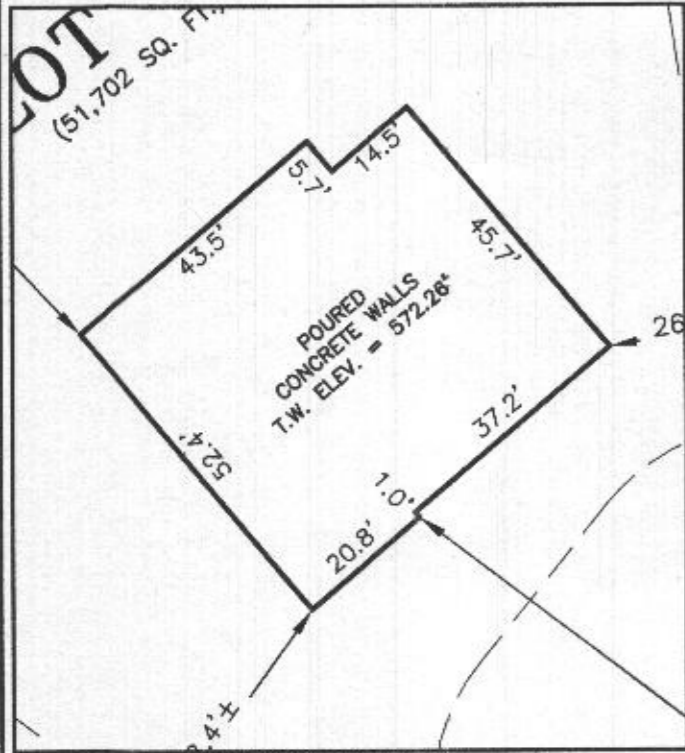


BACK RIVER PRE-CAST, LLC
2,000 GALLON SEPTIC TANK
2-Compartment
Stock Item [Approx. 19,900 lbs]
Aug 11, 2008

PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/23.

LEGEND:

- BRL BUILDING RESTRICTION LINE
- W WELL LOCATION
- T.W. TOP OF WALL
- ELEV. ELEVATION
- SEWAGE DISPOSAL AREA
- WELL BOX AREA



HOUSE ENLARGEMENT
NOT TO SCALE

WELL NUMBER: HO-20-0021
 ADDRESS: 1429 HERITAGE RIDGE ROAD
 WOODBINE, MD 21797
 PERMIT NO.: B21002813

BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE
 DEVELOPMENT PLAN SETBACK DISTANCES SHOWN HEREON
 AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.



SURVEYOR'S CERTIFICATE

THIS WALLCHECK WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, RIGHT-OF-WAYS, COVENANTS, AND RESTRICTIONS, ETC. OF RECORD, SOME OR ALL OF WHICH MAY OR MAY NOT BE SHOWN AND/OR REFERENCED HEREON. BEARINGS AND DISTANCES OF THE PROPERTY BOUNDARY LINES SHOWN HEREON ARE PER AVAILABLE RECORDS AND HAVE NOT BEEN FIELD VERIFIED.

THIS IS NOT A "LOCATION DRAWING" AND IS NOT TO BE USED FOR SETTLEMENT PURPOSES.

SIGNATURE: *Michael Joe Boyce* 21328 5/12/22
 MD. LIC NO. DATE

WALLCHECK
 LOT 27
LINDEN GROVE
 LIBER 15899, FOLIO 246
 PLAT NO. 25722
 ELECTION DISTRICT No. 4
 HOWARD COUNTY, MARYLAND

ESE CONSULTANTS

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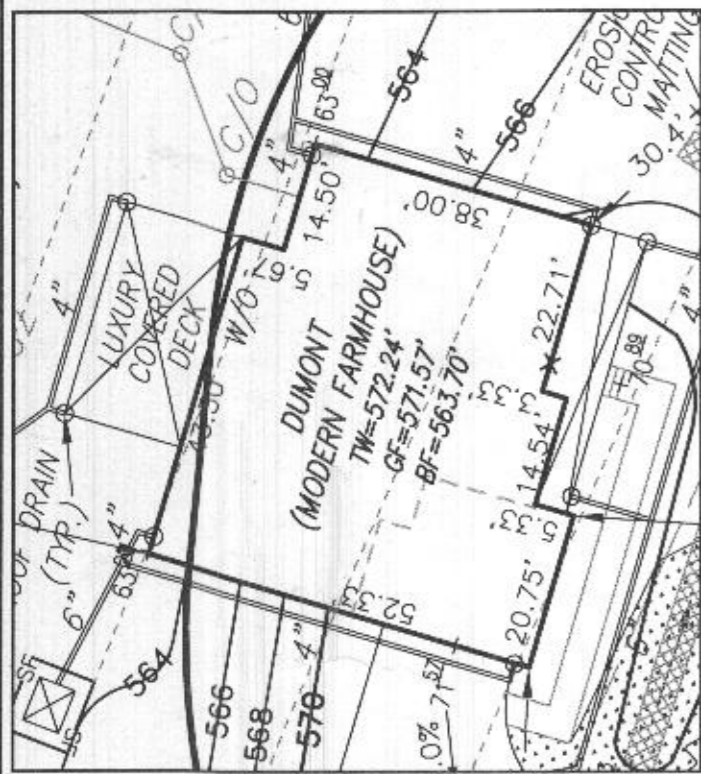
ESE Consultants, Inc.
 6731 Columbia Gateway Drive • Suite 120 • Columbia, MD 21046
 T: 410-872-9105

DATE: 05/12/2022 SCALE: 1" = 40' FILE: WC LOT 27
 CHK'D: M.J.B. JOB NO: 4683 DRAWN: V.X.P.

LEGEND:

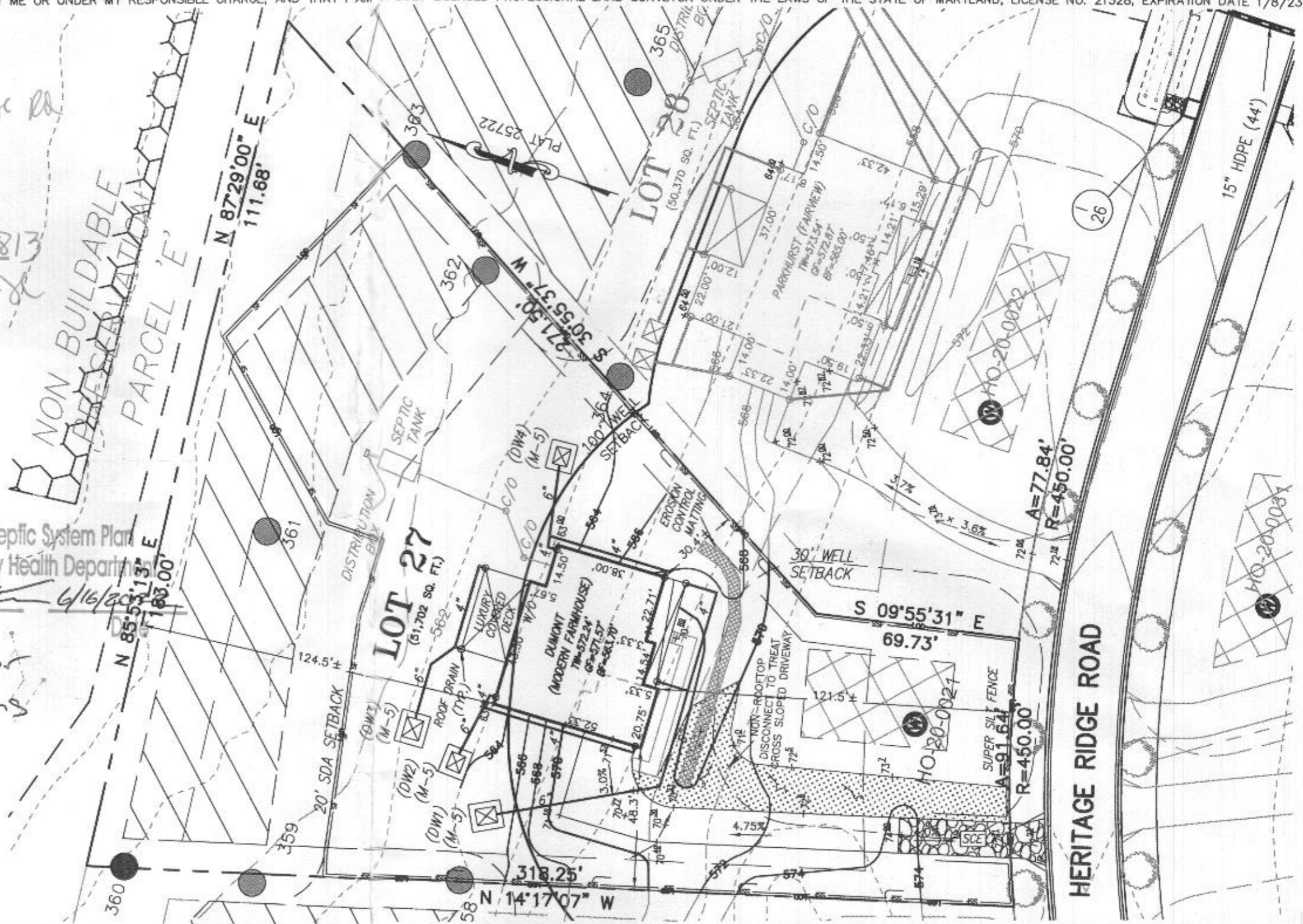
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- FAILED PERC LOCATION
- SILT FENCE
- SUPER SILT FENCE
- SCE STONE CONSTRUCTION ENTRANCE
- ▨ SEWAGE DISPOSAL AREA
- ▩ WELL BOX AREA
- PROPOSED TREE
- PROPOSED TREE
- PROPOSED TREE

NOTE:
TOTAL LIMITS OF DISTURBANCE (LOD) = 37,909 SQ. FT.



1429 Heritage Ridge Rd
REVISED
Date: 5/20/22
Comments: BAI-2813
House type change to a Dumont

Approved Septic System Plan
Howard County Health Department
Robert [Signature] 6/16/2022
Signature
Approved for
6 Bedrooms



BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN
SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.



HOUSE TYPE: DUMONT (MODERN FARMHOUSE)

- TWO CAR SIDE ENTRY GARAGE
- FINISHED LOWER LEVEL
- WALK-OUT BASEMENT
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PLOT PLAN
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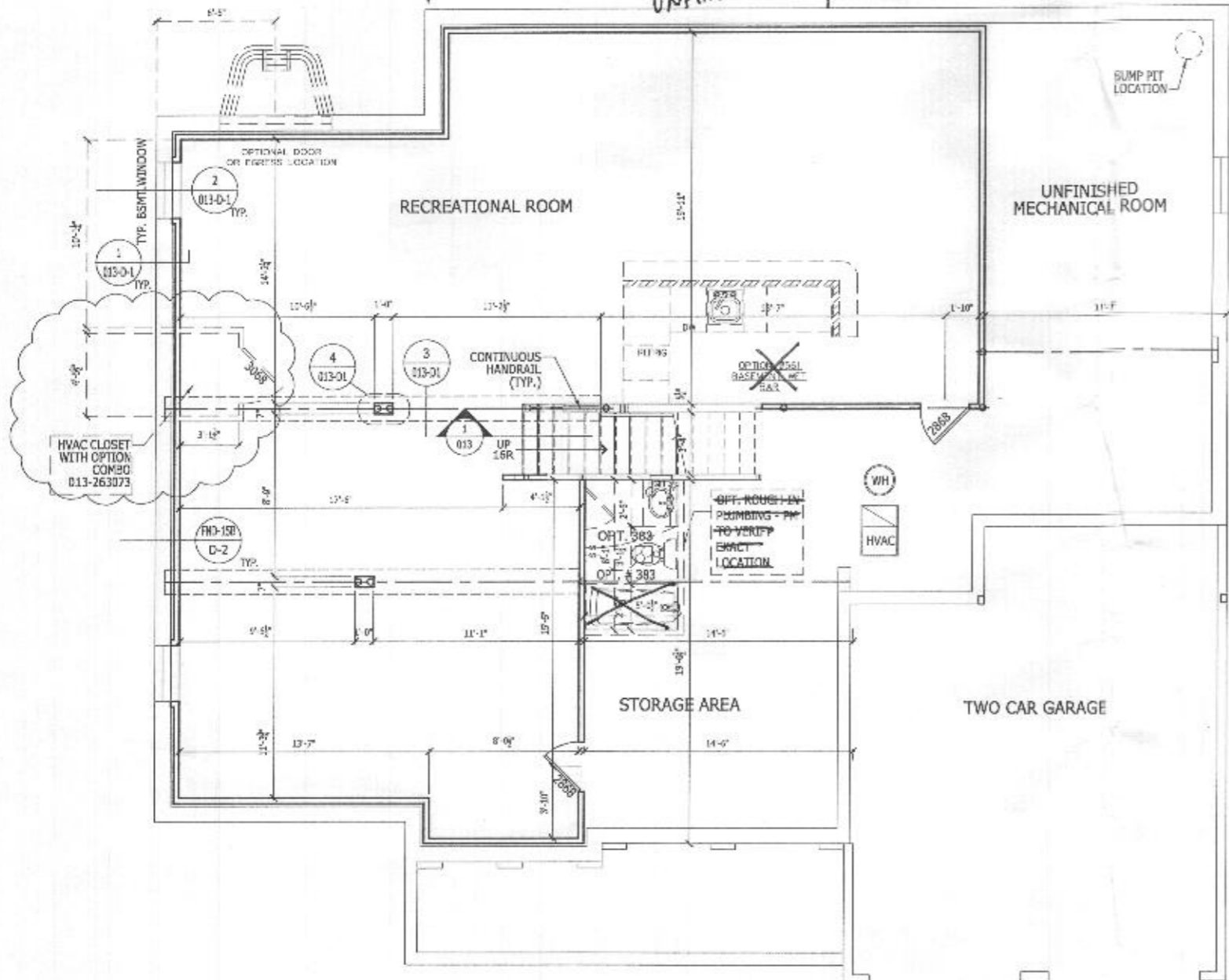
ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF TOLL BROTHERS, INC. AND ARE COPYRIGHTED. THEY WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF TOLL BROTHERS, INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. TOLL BROTHERS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

1429 Heritage Ridge Road
 revision for B21002813
 Linden Grove Lot 27

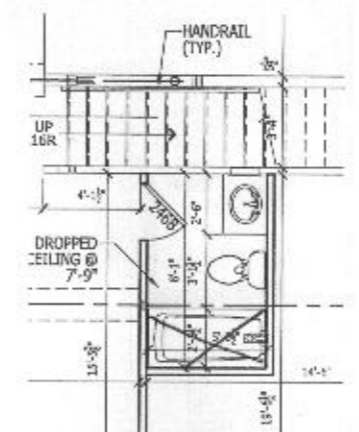
Health Dept

Luxury covered Deck above

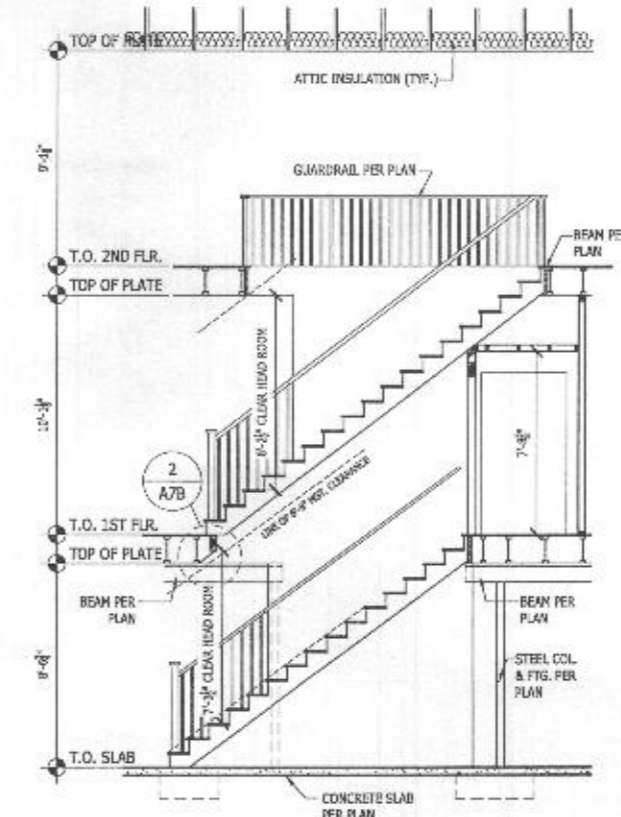
UNFINISHED WORK



FINISHED BASEMENT PLAN
 SCALE: 1/4" = 1'-0"



OPT. 383- OPTIONAL Powder Room FOR FINISHED LOWER LEVEL
 SCALE: 1/4" = 1'-0" ALL ELEVATION



1 BUILDING SECTION
 013 Scale: 1/4" = 1'-0"

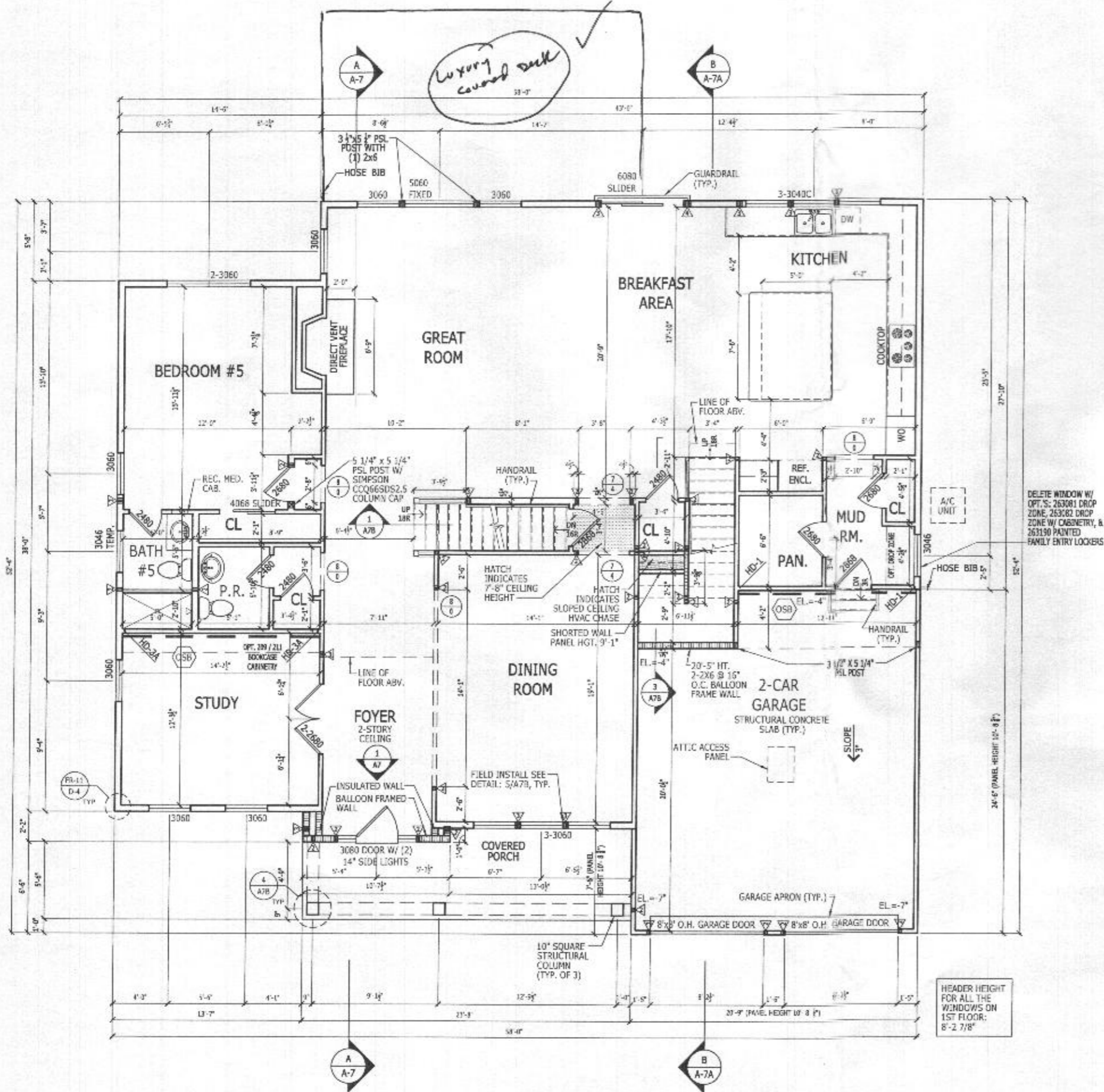
FINISHED LOWER LEVEL NOTES

- REFER TO THE FOUNDATION PLANS FOR "FOUNDATION NOTES", DETAILS AND THE REMAINDER OF THE PLAN.
- REFER TO THE SECTIONS SHEET FOR "SECTION NOTES" AND DETAILS.
- REFER TO THE ELECTRICAL SHEET FOR "ELECTRICAL NOTES" AND "ELECTRICAL LEGEND".
- VERIFY WITH LOCAL MUNICIPALITY/COMMUNITY FOR EGRESS FROM A FINISHED BASEMENT.
- THE INSIDE AND OUTSIDE PERIMETER DRAIN (OUTSIDE DRAIN) SHOULD BE EITHER DAY LIGHTED (WHEN GRADE ALLOWS) OR TIED INTO THE SUMP PUMP AS WELL AS THE DAYLIGHT BASEMENT DOOR DRAIN.
- THE SUMP PUMP SHOULD BE INCLUDED AS A STANDARD PART OF THIS OPTION AND BE NO LESS THAN 1/2 HORSEPOWER, UNLESS PERIMETER DRAINS ARE GRAVITY CAPABLE.
- WATERPROOFING WITH A 10 YEAR GUARANTEE SHOULD BE STANDARD IN LIEU OF DAMP PROOFING.
- BASEMENT WALLS (INSIDE OF CONCRETE FOUNDATION WALLS) SHOULD BE 2X4 STUDS WALLS @ 16" O.C. WITH MINIMUM 2" SPACE BETWEEN BACK OF FRAMING AND INSIDE FACE OF FOUNDATION WALL (TO ALLOW FOR VENTILATION).
- NO VAPOR BARRIER IS TO BE INSTALLED AS PART OF THE BASEMENT WALL FRAMING AS IT WILL HINDER VENTILATION AND PROMOTE THE POSSIBILITY FOR MOLD GROWTH.
- CEILINGS SHOULD BE 2X2 REVEAL EDGE SUSPENDED TYPE OR DAYWALLS, AT THE DISCRETION OF THE DIVISIONAL VICE PRESIDENT.
- HVAC SHOULD ALLOW FOR SEVERAL RETURNS AS WELL AS FEEDS TO THE OUTSIDE WALLS TO ADEQUATELY HEAT AND AIR CONDITION THE BASEMENT AREA.
- RELOCATE SUMP PUMP TO AN AREA OF THE BASEMENT NOT BEING FINISHED.
- INCLUDE ADDITIONAL 15 AMP CIRCUIT FOR LIGHTING IN THE FINISHED BASEMENT AREA.
- ELECTRICAL PANEL LOCATION IS MOVED TO UNFINISHED SPACE.
- FINISH LOWER LEVEL LIGHTING SHALL BE BASED ON (1) 60 WATT, RECESSED FIXTURE, FOR EVERY 100 SQUARE FEET OF FINISHED AREA FOR DRYWALL CEILING (AS SHOWN ON PLAN) OR INSTALL 2X2 FLUORESCENT LIGHTING APPROXIMATELY EVERY 100 SQUARE FEET FOR 2X2 REVEAL EDGE SUSPENDED TYPE CEILING, AT THE DISCRETION OF THE DIVISIONAL VICE PRESIDENT.
- 2X4 FRAME WALLS, AGAINST FOUNDATION WALLS, TO BE INSULATED WITH UNFACED BATTS R-13. LOWER HALF OF WALLS SHALL BE DEMI GLASS OR EQUAL, TOP 1/2 GYPSUM WALLBOARD.

RIGHT HAND SET

TOLLARCHITECTURE	
PHILADELPHIA · ORLANDO DALLAS · LOS ANGELES · SEATTLE	
1140 Virginia Drive, Fort Washington, PA 19004 P 215-293-5300 F 215-293-5314 A Division of Toll Brothers	
SHEET REVISION INFO AC 229545	SET REVISION INFO 202347
PRODUCT LINE MODEL/PROJECT NAME DUMONT	ELEVATION NAME CRAFTSMAN
DRAWN BY - K.SIDHURA	CHECKED BY - TOLLARCH
SHEET DATE - 03.13.2019	
SHEET DESCRIPTION OPT # 013- FINISHED BASEMENT PLAN	
SHEET NUMBER 013	SERIAL NUMBER 1018.0

DATE: Tuesday, November 01, 2023 11:13:28 AM
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LATERAL BRACING
 THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOAD USING AN ENGINEERED METHOD FOR 115 MPH BASIC WIND SPEED.
 FOR OSB + DRYWALL ATTACHMENT SEE A411 DETAIL SHEET

FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

10' CEILING HEIGHT
 CRAFTSMAN

Shown see additional pages for "Modern farmhouse" elev

RIGHT HAND SET

SHEET DESCRIPTION FIRST FLOOR PLAN		SHEET REVISION INFO SET REVISION INFO 202347		TOLLARCHITECTURE PHILADELPHIA · ORLANDO DALLAS · LOS ANGELES · SEATTLE 250 Gibraltar Road, Hershamp, PA 19044 P 215-293-5300 F 215-293-5314 A Division of Toll Brothers	
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SHEET DATE - 03.13.2019		SHEET REVISION INFO 202347		ELEVATION NAME CRAFTSMAN	
SERIAL NUMBER		SHEET NUMBER		A2_31	
				1018.0	