

**Howard County Health Department**

Maura J. Rossman, M.D., Health Officer

**Bureau of Environmental Health**  
 8930 Stanford Boulevard, Columbia, MD 21045  
 Main: 410-313-2640 | Fax: 410-313-2648  
 TDD 410-313-2323 | Toll Free 1-866-313-6300  
[www.hchealth.org](http://www.hchealth.org)  
 Facebook: [www.facebook.com/hocohealth](http://www.facebook.com/hocohealth)

RECEIPT DATE: 6/23/2022 **ONSITE SEWAGE DISPOSAL SYSTEM**

P 571599

APPROVAL DATE: 10/12/2022 **PERMIT: CONSTRUCTION**

A \_\_\_\_\_

PROPERTY ADDRESS: 1429 HERITAGE RIDGE ROAD, WOODBINE, MD 21797

SUBDIVISION: LINDEN GROVE, PHASE 2 LOT: 27 TAX ID: 04-603249

CONTRACTOR: CHAVIS ENTERPRISES & SEPTIC SERVICES, LLC EMAIL: Ryan@chavisenterprises.com

CONTRACTOR ADDRESS: 23 EAST ELLENDALE, BELL AIR, MD 21014 PHONE: (410)838-3007

PROPERTY OWNER: TOLL MID-ATLANTIC LP COMPANY, INC EMAIL: nbrandenburg@tollbrothers.com

OWNER ADDRESS: 250 GIBRALTER ROAD, HORSHAM, PA 19044 PHONE: (410)381-3271

SEPTIC TANK SIZE (GALLONS): 2000 TANK MANUFACTURER: Back River Pre-Cast, LLC

PUMP MODEL: n.a. PUMP SIZE n.a. PUMP TANK CAPACITY: n.a.

DISTRIBUTION SYSTEM:  GRAVITY  PRESSURE DOSED BEDROOMS: 5 6 APPLICATION RATE: 0.8

TRENCHES:	LINEAR FEET REQUIRED: <u>175 210</u>	INLET DEPTH: <u>2.5</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8.0</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>10</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>5.5</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:	SET DISTRIBUTION BOX CLOSER TO UPPER TRENCH THAN ILLUSTRATED INSTALL CLEANOUT AT BEND IN SHC.	

ISSUED BY: R BRICKER ISSUE DATE: 7/19/22 EXPIRATION DATE: 7/18/23

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
- ELECTRICAL PERMIT ISSUED E n.a.
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

**NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.  
 PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.  
 CALL 410-313-1771 TO SCHEDULE INSPECTIONS.**

NOT TO SCALE

See attached  
for as built.

ROAD NAME

**TRENCH/DRAINFIELD DATA**

WIDTH	INLET	BOTTOM
3'	2.5'	8'
NUMBER OF TRENCHES		3
TOTAL LENGTH		210 F
ABSORPTION AREA		630 SF + 2.5' SIDE WALL
DISTRIBUTION BOX LEVEL		SPEED
DISTRIBUTION BOX BAFFLE		CONC
DISTRIBUTION BOX PORT		YES

**SEPTIC TANK DATA**

SEPTIC TANK 1 LEVEL	YES
MANUFACTURER	BACKRIVER OR BABYLON
CAPACITY	2000 GAL
SEAM LOC	TOP
TANK LID DEPTH	~1'
BAFFLES	YES
BAFFLE FILTER	-
MANHOLE LOC	FRONT/BACK
6" PORT LOC	-
WATERTIGHT TEST	-
SLOTTED	YES
DATE ON LID	06/05/2022

PUMP/SEPTIC TANK LEVEL	
MANUFACTURER	
CAPACITY	GAL
SEAM LOC	
TANK LID DEPTH	
BAFFLES	
BAFFLE FILTER	
MANHOLE LOC	
6" PORT LOC	
WATERTIGHT TEST	
SLOTTED	
DATE ON LID	

**PRE-CONSTRUCTION:**

7/22/22 - laid out 3x 70' trenches → total of 210', Chavis was setting tank when I arrived for layout, stated they shot elevations at house and at tank stake, will have to put a step in the SL to make proper fall. (SL's tank set before layout)

**INSTALLATION: 07/25/2022 SHC AND SL INSTALLED TO TANK; SET.**

07/26/2022 INSTALLED LOWER AND MID TRENCH. fo

7/29/22 Onsite late pm Jordan installed per plan. Obs. pipes installed. Dbox levelled but no speedy leveling permit. Trenches look to be installed off the lot onto Lot 2B. Mentioned to contractor but he was not able to confirm, may need to confirm this w/ builder

08/04/2022 TR IS 1' AWAY FROM PROP LINE. → Further investigation led into the drain system found corner of trench 6" w/ property. This was corrected and signed on 10/12/22 by S.C.

FINAL INSPECTOR

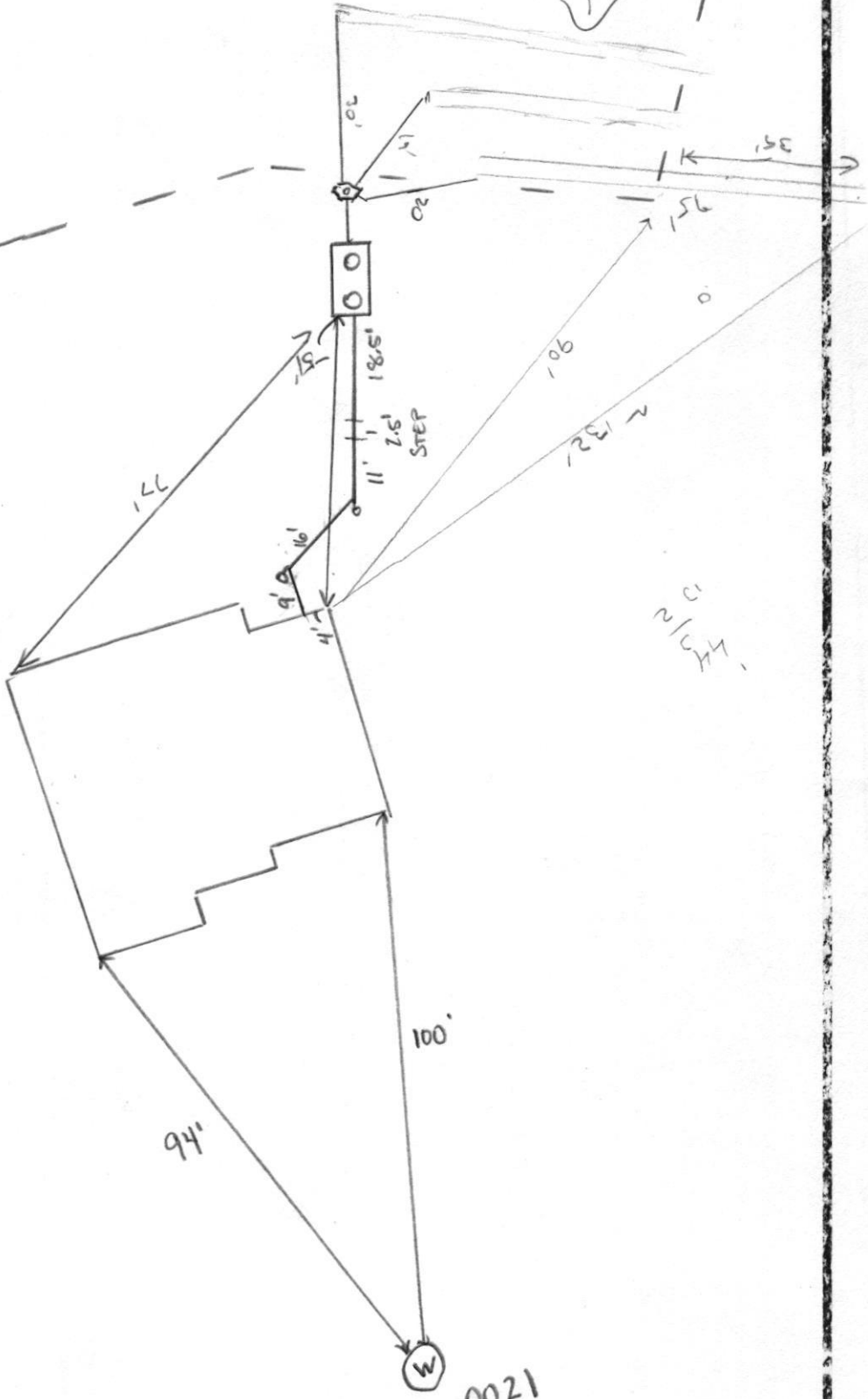
DATE OF APPROVAL

08/04/2022

10/12/2022

see As-Built submitted by  
ESE 8/22/2022  
K.M.

NOT TO SCALE



HO-20-0021

# ESE CONSULTANTS

ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

Civil Engineering, Land Surveying and Land Planning Services  
4101 Ritchie Marlboro Road, Upper Marlboro, Maryland 20772  
PHONE: (301) 627-8504 FAX: (301)627-7985

## Septic Certification

Subdivision: **Linden Grove**

Job Address: **1429 Heritage Ridge Road, Woodbine, Maryland 21797**

Lot #: **27** Block #:

Field Inspection Date: **10/12/2022**

Permit No.: **B21002813**

This is to certify to the best of my knowledge, information, and belief that all Septic Trenches at the captioned site have been completed in substantial accordance per the approved Onsite Sewage Disposal System Design Plan dated 02/07/2022. Field inspection to verify on 10/12/2022.

**Professional Certification:** I hereby certify that these documents were prepared by me or under my responsible charge, and that I am a duly licensed professional Land Surveyor under the laws of Maryland License No. 21328, Expiration Date: 1/8/23.

**SEAL**



Signature

**Michael Joe Boyce**

Print Name

**10/14/2022**

Date

## Wolf, Kevin

---

**From:** Wolf, Kevin  
**Sent:** Friday, September 30, 2022 12:01 PM  
**To:** Michael Boyce  
**Cc:** Greg Simons; Chase Randall; Ryan Ketner; Vincent Paylor; Davis, Michael J  
**Subject:** RE: 1429 Heritage Ridge Road | As Built

Mike,

Thanks for this. Based on your conclusion and findings, it looks like we will have to move the trench (delete a few feet of the trench end) so that it is on the subject property hence agreeing to your option number 2 noted below. I know this is not the way we all want this to go but I light of what we found, I see no other option.

Greg – please contact us when this all has been dug up and taken care of. We should have someone come out to look at it at a minimum.

Mike B. – Once this is completed and verified by our office, I will await your certified plan as requested and noted in option 2 below.

Kevin

**From:** Michael Boyce <MBOYCE@eseconsultants.com>  
**Sent:** Thursday, September 29, 2022 12:33 PM  
**To:** Wolf, Kevin <KWolf@howardcountymd.gov>  
**Cc:** Greg Simons <gsimons@tollbrothers.com>; Chase Randall <wrandall@tollbrothers.com>; Ryan Ketner <rketner@eseconsultants.com>; Vincent Paylor <vpaylor@eseconsultants.com>; Davis, Michael J <mjdavis@howardcountymd.gov>  
**Subject:** RE: 1429 Heritage Ridge Road | As Built

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Kevin/ Greg

I met Toll and contractor on site today to have the trenches exposed. Please see attached photos for reference.

It appears the corner of the trench (stone only) is slightly over the PL, roughly 0.5' or less.

We had the beginning of the trench exposed and measured from the beginning to the cleanout at the end, and came up with 71'. (required 70' by design).

From what I can tell on site, the lateral, is on the property, but some stone does cross the PL. It appears the trench was built slightly longer than required.

I see two options to solve this, and will leave it up to the HD to choose what is best method.

- 1) Leave it as is, knowing the functional portion of the trench is on the property, I would be fine certifying to something to the effect of...  
The septic system is on the property of lot 27, however the stone for trench 1 does cross over the PL by 0.50' +- at one corner.
- 2) This is my preferred option- cut the lateral back 2-3' leaving 68-69' of lateral, and dig out the stone at the property line and back fill with natural material, the reasoning for this to be preferred is, in the future if

neighbor digs along PL for whatever reason, fence etc. they don't hit stone and don't cause an investigation after this situation is forgotten and we have all retired. I would then be fine certifying that the entire system is on lot 27 (please note, we need to be there to locate the new location prior to backfill).

3)

Please let me and Greg know how you would like to proceed, I discussed with Greg on site and I believe they would like to mobilize by next Tuesday.

thanks

**Michael Boyce**

*Regional Director – ESE, Survey*

**ESE Consultants, Inc.**

6731 Columbia Gateway Drive, Suite 120, Columbia, MD 21046

P: 410-381-3058 C: 410-365-4175

[www.eseconsultants.com](http://www.eseconsultants.com)      [LinkedIn](#)

**From:** Wolf, Kevin <[KWolf@howardcountymd.gov](mailto:KWolf@howardcountymd.gov)>

**Sent:** Friday, September 23, 2022 12:48 PM

**To:** Michael Boyce <[MBOYCE@eseconsultants.com](mailto:MBOYCE@eseconsultants.com)>

**Cc:** Greg Simons <[gsimons@tollbrothers.com](mailto:gsimons@tollbrothers.com)>; Chase Randall <[wrandall@tollbrothers.com](mailto:wrandall@tollbrothers.com)>; Ryan Ketner <[rketner@eseconsultants.com](mailto:rketner@eseconsultants.com)>; Vincent Paylor <[vpaylor@eseconsultants.com](mailto:vpaylor@eseconsultants.com)>; Davis, Michael J <[mjdavis@howardcountymd.gov](mailto:mjdavis@howardcountymd.gov)>

**Subject:** RE: 1429 Heritage Ridge Road | As Built

Mike,

I understand your reasoning here but we need all to be clear here in what we are stating, approving and certifying. The observation pipe does sit at the end of the trench, but the trench itself is 3feet wide. You can certainly provide a cut or detail of the trench end in relation to the property line to more accurately show this (scale can be set to as low as you can to give greater depth and detail).

Kevin

**From:** Michael Boyce <[MBOYCE@eseconsultants.com](mailto:MBOYCE@eseconsultants.com)>

**Sent:** Friday, September 23, 2022 12:42 PM

**To:** Wolf, Kevin <[KWolf@howardcountymd.gov](mailto:KWolf@howardcountymd.gov)>

**Cc:** Greg Simons <[gsimons@tollbrothers.com](mailto:gsimons@tollbrothers.com)>; Chase Randall <[wrandall@tollbrothers.com](mailto:wrandall@tollbrothers.com)>; Ryan Ketner <[rketner@eseconsultants.com](mailto:rketner@eseconsultants.com)>; Vincent Paylor <[vpaylor@eseconsultants.com](mailto:vpaylor@eseconsultants.com)>

**Subject:** RE: 1429 Heritage Ridge Road | As Built

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Kevin,

We can certify that the clean out is located on the property. We cant see the trench/ stone/ lateral, so I can only certify what is visible. I am fine rewording it to state that. We will send the exhibit sealed with wording changed to reflect the clean out.

**Michael Boyce**

*Regional Director – ESE, Survey*

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**From:** Wolf, Kevin <[KWolf@howardcountymd.gov](mailto:KWolf@howardcountymd.gov)>

**Sent:** Friday, September 23, 2022 12:34 PM

**To:** Michael Boyce <[MBOYCE@esiconsultants.com](mailto:MBOYCE@esiconsultants.com)>

**Cc:** Greg Simons <[gsimons@tollbrothers.com](mailto:gsimons@tollbrothers.com)>; Chase Randall <[wrandall@tollbrothers.com](mailto:wrandall@tollbrothers.com)>; Ryan Ketner <[rketner@esiconsultants.com](mailto:rketner@esiconsultants.com)>

**Subject:** RE: 1429 Heritage Ridge Road | As Built

Hey Mike,

I think this is getting better but still few things to mention here. We still need the plan to say that the entire system (upper trench) is located on the subject property. If not, we need to fix it to move it on the property. You indicate “appears to be within the property limits by 1’”. This needs to be very clear as to it either is on the property or not. Lastly, we need the plan to have your stamp approval.

Thanks

Kevin

**From:** Michael Boyce <[MBOYCE@esiconsultants.com](mailto:MBOYCE@esiconsultants.com)>

**Sent:** Tuesday, September 20, 2022 9:01 AM

**To:** Wolf, Kevin <[KWolf@howardcountymd.gov](mailto:KWolf@howardcountymd.gov)>

**Cc:** Greg Simons <[gsimons@tollbrothers.com](mailto:gsimons@tollbrothers.com)>; Chase Randall <[wrandall@tollbrothers.com](mailto:wrandall@tollbrothers.com)>; Ryan Ketner <[rketner@esiconsultants.com](mailto:rketner@esiconsultants.com)>

**Subject:** RE: 1429 Heritage Ridge Road | As Built

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Kevin,

Wanted to follow up on this, the exhibit you requested was sent on 9/6.

Please let us know if you need anything further.

**Michael Boyce**

*Regional Director – ESE, Survey*

**ESE Consultants, Inc.**

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**From:** Wolf, Kevin <[KWolf@howardcountymd.gov](mailto:KWolf@howardcountymd.gov)>  
**Sent:** Wednesday, August 31, 2022 3:26 PM  
**To:** Michael Boyce <[MBOYCE@eseconsultants.com](mailto:MBOYCE@eseconsultants.com)>  
**Cc:** Greg Simons <[gsimons@tollbrothers.com](mailto:gsimons@tollbrothers.com)>; Chase Randall <[wrandall@tollbrothers.com](mailto:wrandall@tollbrothers.com)>; Ryan Ketner <[rketner@eseconsultants.com](mailto:rketner@eseconsultants.com)>  
**Subject:** RE: 1429 Heritage Ridge Road | As Built

Yes that is correct. There is really no straight line here, we just want things to be clear enough to that the trench is entirely on the property, and not off the property. If we need to move or cut out the trench a few feet, we can do that now.

Kevin

**From:** Michael Boyce <[MBOYCE@eseconsultants.com](mailto:MBOYCE@eseconsultants.com)>  
**Sent:** Wednesday, August 31, 2022 12:09 PM  
**To:** Wolf, Kevin <[KWolf@howardcountymd.gov](mailto:KWolf@howardcountymd.gov)>  
**Cc:** Greg Simons <[gsimons@tollbrothers.com](mailto:gsimons@tollbrothers.com)>; Chase Randall <[wrandall@tollbrothers.com](mailto:wrandall@tollbrothers.com)>; Ryan Ketner <[rketner@eseconsultants.com](mailto:rketner@eseconsultants.com)>  
**Subject:** RE: 1429 Heritage Ridge Road | As Built

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Correct, the trenches do appear to be remaining on the lot. This was just an exhibit for discussion, not knowing what was exactly needed, therefore no seal.

If I understand correctly you want something showing a larger scale plan view, and a profile showing trench ends as related to Property line?

**Michael Boyce**  
*Regional Director – ESE, Survey*

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**From:** Wolf, Kevin <[KWolf@howardcountymd.gov](mailto:KWolf@howardcountymd.gov)>  
**Sent:** Wednesday, August 31, 2022 12:04 PM  
**To:** Michael Boyce <[MBOYCE@eseconsultants.com](mailto:MBOYCE@eseconsultants.com)>  
**Cc:** Greg Simons <[gsimons@tollbrothers.com](mailto:gsimons@tollbrothers.com)>; Chase Randall <[wrandall@tollbrothers.com](mailto:wrandall@tollbrothers.com)>  
**Subject:** 1429 Heritage Ridge Road | As Built

Mike,  
The septic contractor sent this over to me. I don't see anything on this plan that indicates the trench is on the subject property. If that means giving us a scaled down plan (1"= 5", etc.), cross-sectional diagram, etc, than that may be what we need. Also I don't see a stamp on this plan.

I have discussed this with Mike Davis and he is in agreeance on this. Let me know if you need something from me or you need to discuss over the phone.

Thanks,

Kevin M. Wolf, LEHS, REHS/RS  
Groundwater Mgmt. Sec. Supervisor  
Well & Septic Program  
Howard County Health Department  
8930 Stanford Blvd.  
Columbia, MD 21045  
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**Wolf, Kevin**

---

**From:** Wolf, Kevin  
**Sent:** Wednesday, August 17, 2022 12:10 PM  
**To:** Chase Randall; Greg Simons  
**Subject:** 1429 Heritage Ridge Road

Greg/Chase,

I wanted to follow-up on this lot. The last we met, you were to have the property lines staked out to verify the trenches were installed in the location per the approved OSDS plan. Joseph from our office visited the site there after and was able to see the property line stakes. He confirmed that the upper trench was installed approximately 9 feet out of the sda and within 1 foot of the property line. I am not sure what exactly happened here with the contractor but we need to clear this matter up before I can approve the septic permit. In order for this to happen, I feel as though we need a surveyed site plan/as-built showing the exact locations of the septic system including the trenches, property lines, septic tank, dist. Box. As long as the surveyed trenches are on the subject property, we should be ok with moving forward with an approval on the permit. Let me know if you have questions on this to discuss.

Thanks,

Kevin M. Wolf, LEHS, REHS/RS  
Groundwater Mgmt. Sec. Supervisor  
Well & Septic Program  
Howard County Health Department  
8930 Stanford Blvd.  
Columbia, MD 21045  
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Project: Linden Grove

6731 Columbia Gateway Drive, Suite 120

Tele#: (410) 381-3058

Project Number. 4683

Columbia, MD 21046

Fax#: (410) 872-4870

File Path: N:\Projects\Maryland\4683 Linden Grove\SurvDept\Lot Plans\Lot 27\Septic22.0616-Stakeout\Cutsheet

### SEPTIC STAKEOUT LOT 27

Grade To: See Comments Column

Staked By: T. LEWIS

Date: 06/16/2022

Location: Heritage Ridge Road

Prepared By: C. REDMILES

Date: 06/16/2022

Note: Flagged Blue & Pink 3' Stakes

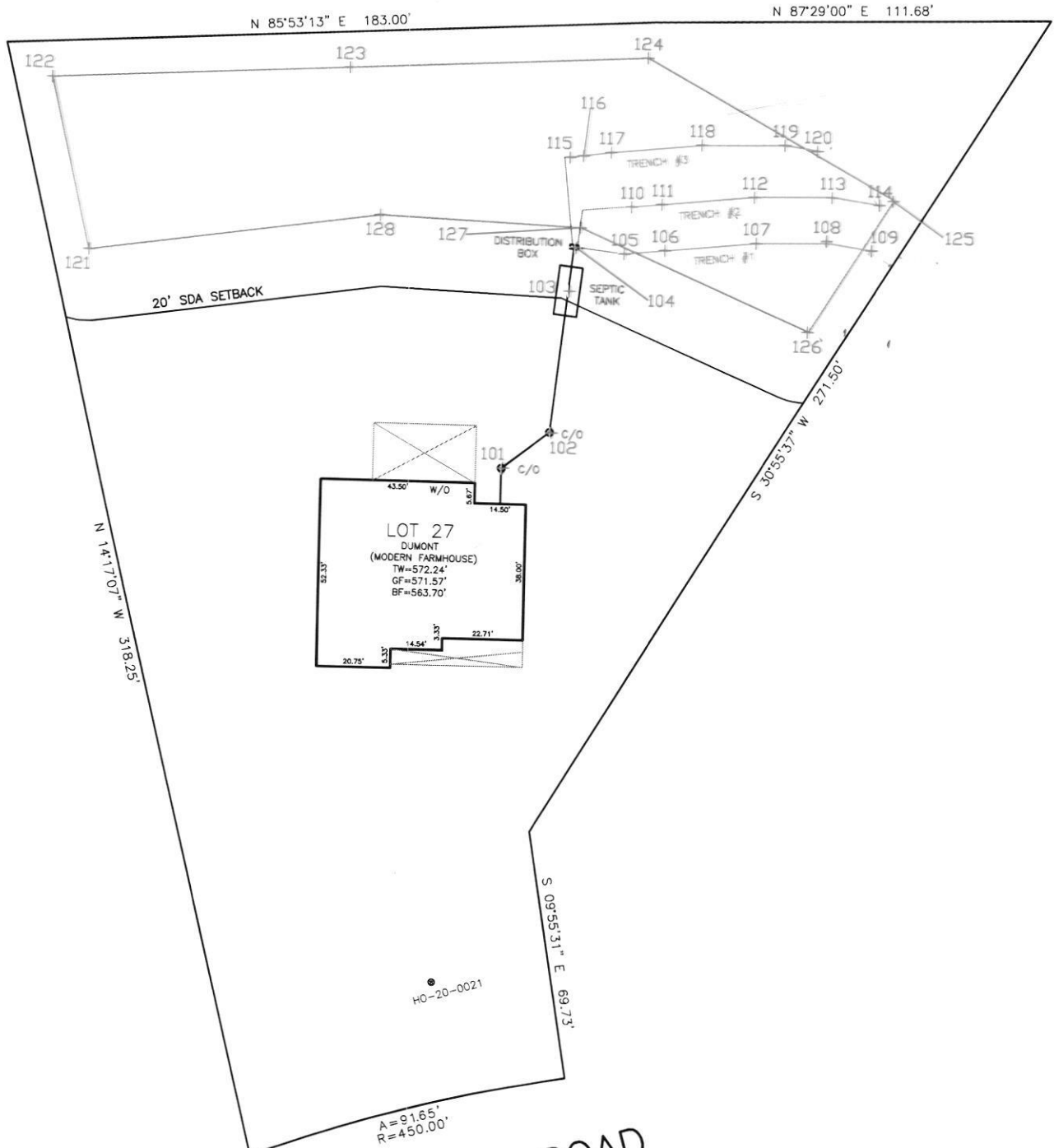
Checked By: C. REDMILES

Date: 06/16/2022

Note: Design Elevations per Onsite Sewage Disposal System Design Plan, dated 02/07/2022.

Point#	Description	Offset	Survey Elev	Design Elev	Cut/Fill	Comment
101	C/L CLEANOUT	0.00'	562.24	558.89	C-3.35	INV. PIPE ELV.
102	C/L CLEANOUT	0.00'	562.17	558.56	C-3.61	INV. PIPE ELV.
103	C/L SEPTIC TANK	0.00'	559.09	558.60	C-0.49	TOP TANK ELV.
104	C/L DISTRIBUTION BOX	0.00'	558.35	557.50	C-0.85	INV. PIPE ELV.
	<b>TRENCH #1</b>					
105	C/L TRENCH #1	0.00'	558.56	551.12	C-7.44	BTTM TRENCH ELV.
106	C/L TRENCH #1	0.00'	558.63	551.12	C-7.51	BTTM TRENCH ELV.
107	C/L TRENCH #1	0.00'	558.55	551.12	C-7.43	BTTM TRENCH ELV.
108	C/L TRENCH #1	0.00'	558.52	551.12	C-7.40	BTTM TRENCH ELV.
109	C/L TRENCH #1	0.00'	558.66	551.12	C-7.54	BTTM TRENCH ELV.
	<b>TRENCH #2</b>					
110	C/L TRENCH #2	0.00'	558.01	550.43	C-7.58	BTTM TRENCH ELV.
111	C/L TRENCH #2	0.00'	558.10	550.43	C-7.67	BTTM TRENCH ELV.
112	C/L TRENCH #2	0.00'	558.01	550.43	C-7.58	BTTM TRENCH ELV.
113	C/L TRENCH #2	0.00'	558.02	550.43	C-7.59	BTTM TRENCH ELV.
114	C/L TRENCH #2	0.00'	557.93	550.43	C-7.50	BTTM TRENCH ELV.
	<b>TRENCH #3</b>					
115	C/L TRENCH #3	0.00'	557.27	549.67	C-7.61	BTTM TRENCH ELV.
116	C/L TRENCH #3	0.00'	557.15	549.67	C-7.48	BTTM TRENCH ELV.
117	C/L TRENCH #3	0.00'	557.27	549.67	C-7.60	BTTM TRENCH ELV.
118	C/L TRENCH #3	0.00'	557.39	549.67	C-7.72	BTTM TRENCH ELV.
119	C/L TRENCH #3	0.00'	557.52	549.67	C-7.85	BTTM TRENCH ELV.
120	C/L TRENCH #3	0.00'	557.48	549.67	C-7.81	BTTM TRENCH ELV.

The contractor shall verify at least 3 hubs prior to commencing work. Failure to do so shall relieve ESE Consultants Inc. of any responsibility for discrepancies found thereafter. If discrepancies are found, M.J. Boyce 410-365-4175 shall be notified immediately.



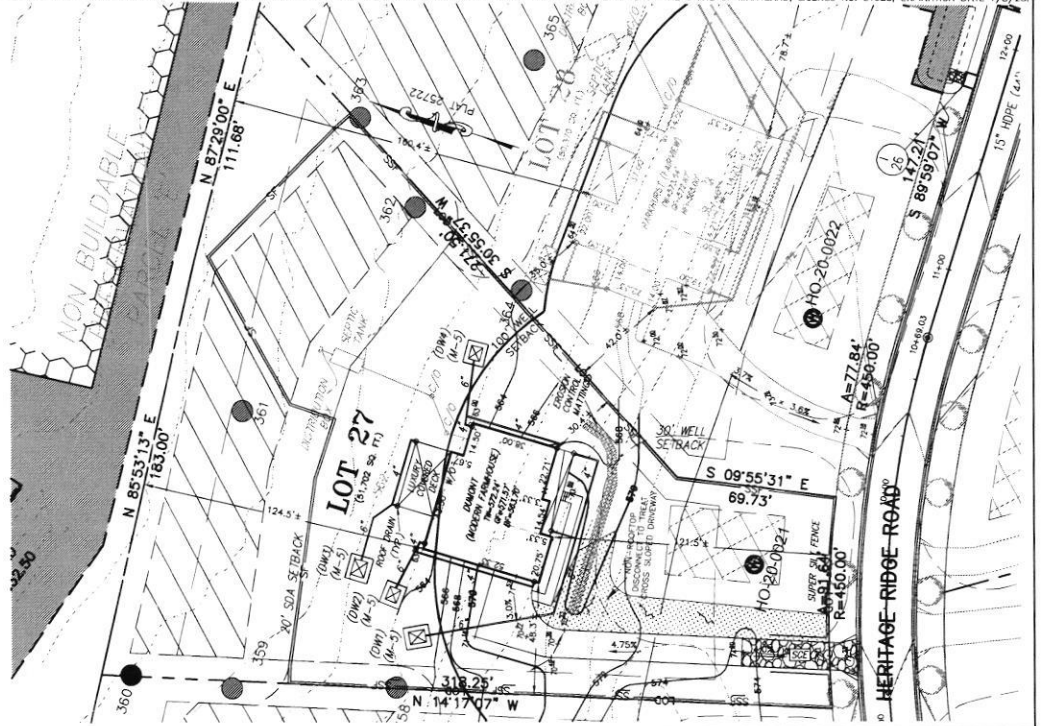
PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/23.

- LEGEND:**
- B.R.L. BUILDING RESTRICTION LINE
  - W.L. WELL LOCATION
  - T.W. TOP OF WALL
  - G.F. GARAGE FLOOR
  - B.F. BASEMENT FLOOR
  - P.P. PASSED PERC LOCATION
  - F.P. FAILED PERC LOCATION
  - S.F. SILT FENCE
  - S.S.F. SUPER SILT FENCE
  - S.C.E. STONE CONSTRUCTION ENTRANCE
  - S.D.A. SEWAGE DISPOSAL AREA
  - W.B.A. WELL BOX AREA
  - P.T. PROPOSED TREE

NOTE:  
TOTAL LIMITS OF DISTURBANCE (LOD) = 37,909 SQ. FT.



BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "4" HAVE AN ACCURACY OF ±0.1' FOOT.



HOUSE TYPE: DUMONT (MODERN FARMHOUSE)

TWO CAR SIDE ENTRY GARAGE  
FINISHED LOWER LEVEL  
WALK-OUT BASEMENT  
ADD 1' TO HEIGHT OF BASEMENT  
OPEN STAIRS TO LOWER LEVEL  
POWDER ROOM IN FINISHED LOWER LEVEL  
OPTIONAL DROP ZONE  
LUXURY WALK-OUT COVERED DECK

WELL NUMBER: HO-20-0021  
ADDRESS: 1429 HERITAGE RIDGE ROAD  
WOODBINE, MD 21797

- OPTION No. 012
- OPTION No. 013
- OPTION No. 017
- OPTION No. 070
- OPTION No. 207
- OPTION No. 263036
- OPTION No. 263081
- OPTION No. 263169

PLOT PLAN  
LOT 27  
**LINDEN GROVE**  
LIBER 15899, FOLIO 246  
PLAT NO. 25722  
ELECTION DISTRICT No. 4  
HOWARD COUNTY, MARYLAND

**ESE CONSULTANTS**  
ENGINEERING • PLANNING • SURVEYING • ENVIRONMENTAL

ESE Consultants, Inc.  
6731 Columbia Gateway Drive • Suite 120 • Columbia, MD 21046  
T: 410-872-8106

DATE: 01/20/2022 SCALE: 1" = 40' FILE: PP LOT 27 DUMONT M.F.  
CHK'D: M.J.B. JOB NO: 4683 DRAWN: V.X.P.