

**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED STORMWATER INFILTRATION TRENCHES (I-1) AND DRY WELLS (M-5)**

1. THE OWNER SHALL INSPECT THE MONITORING WELLS AND STRUCTURES ON A QUARTERLY BASIS, AND AFTER EVERY LARGE STORM EVENT.
2. THE OWNER SHALL RECORD THE WATER LEVELS AND SEDIMENT BUILD UP IN THE MONITORING WELLS OVER A PERIOD OF SEVERAL DAYS TO INSURE TRENCH DRAINAGE.
3. THE OWNER SHALL MAINTAIN A LOG BOOK TO DETERMINE THE RATE AT WHICH THE FACILITY DRAINS.
4. WHEN THE FACILITY BECOMES CLOGGED, SO THAT IT DOES NOT DRAIN DOWN WITHIN A SEVENTY-TWO (72) HOUR TIME PERIOD, CORRECTIVE ACTION SHALL BE TAKEN.
5. THE MAINTENANCE LOGBOOK SHALL BE AVAILABLE TO HOWARD COUNTY FOR INSPECTION TO INSURE COMPLIANCE WITH OPERATION AND MAINTENANCE CRITERIA.
6. ONCE THE PERFORMANCE CHARACTERISTICS OF THE INFILTRATION FACILITY HAVE BEEN VERIFIED, THE MONITORING SCHEDULE CAN BE REDUCED TO AN ANNUAL BASIS, UNLESS THE PERFORMANCE DATA INDICATES THAT A MORE FREQUENT SCHEDULE IS REQUIRED.

**N-2. DISCONNECTION OF NON-ROOFTOP RUNOFF**

**CONSTRUCTION CRITERIA:**

THE FOLLOWING SHOULD BE ADDRESSED DURING CONSTRUCTION OF PROJECTS WITH NON-ROOFTOP DISCONNECTIONS:

- EROSION AND SEDIMENT CONTROL: EROSION AND SEDIMENT CONTROL PRACTICES (E.G., SEDIMENT TRAPS) SHALL NOT BE LOCATED IN AREAS DESIGNATED FOR NON-ROOFTOP DISCONNECTIONS.
- SITE DISTURBANCE: TO MINIMIZE DISTURBANCE AND COMPACTION, CONSTRUCTION VEHICLES AND EQUIPMENT SHOULD AVOID AREAS RECEIVING DISCONNECTED RUNOFF. SHOULD AREAS RECEIVING DISCONNECTED RUNOFF BECOME COMPACTED, SCARIFYING THE SURFACE OR ROTOTILLING THE SOIL TO A DEPTH OF FOUR TO SIX INCHES SHALL BE PERFORMED TO ENSURE PERMEABILITY. ADDITIONALLY, AMENDMENTS MAY BE NEEDED FOR TIGHT, CLAYEY SOILS.

**INSPECTION:**

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**OPERATION AND MAINTENANCE SCHEDULE FOR PRIVATELY OWNED AND MAINTAINED DISCONNECTION OF ROOFTOP RUNOFF (N-1) AND DISCONNECTION OF NON-ROOFTOP RUNOFF (N-2)**

1. MAINTENANCE OF AREAS RECEIVING DISCONNECTED RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE AREAS RECEIVING RUNOFF SHOULD BE PROTECTED FROM FUTURE COMPACTION OR DEVELOPMENT OF IMPERVIOUS AREA. IN COMMERCIAL AREAS, FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.

**OWNER**  
ESTATES AT RIVER HILL, LLC  
MICHAEL PFAU, MEMBER  
3675 PARK AVENUE, SUITE 301  
ELLCOTT CITY, MD 21043  
(410) 480-0023

**DEVELOPER**  
TRINITY HOMES MARY LAND, LLC  
3675 PARK AVENUE, SUITE 301  
ELLCOTT CITY, MD 21043  
(410) 480-0023

**ROBERT H. VOGEL ENGINEERING, INC.**  
ENGINEERS • SURVEYORS • PLANNERS  
3300 N. RIDGE ROAD, SUITE 110  
ELLCOTT CITY, MD 21043  
TEL: 410.461.7666  
FAX: 410.461.8961

**DRYWELL SIZE CHART**

DW#	LOT	DRAINAGE AREA	VOLUME REQUIRED	PROPOSED DIMENSIONS	VOLUME PROVIDED
18A	5	883 SF	350 CF	8.4'x8.4'x5'	353 CF
18B	5	678 SF	268 CF	8.2'x8.2'x4'	269 CF
18C	5	1,170 SF	463 CF	9.7'x9.7'x5'	470 CF

**DRYWELL #18A**  
 $ESD_v = (0.95)(2.0)(883)/12 = 140 \text{ CF}$   
 $140/0.4 = 350 \text{ CF (REQ.)}$   
 $8.4'x8.4'x5' = 353 \text{ CF (PROV.)}$

**DRYWELL #18B**  
 $ESD_v = (0.95)(2.0)(678)/12 = 107 \text{ CF}$   
 $107/0.4 = 268 \text{ CF (REQ.)}$   
 $8.2'x8.2'x4' = 269 \text{ CF (PROV.)}$

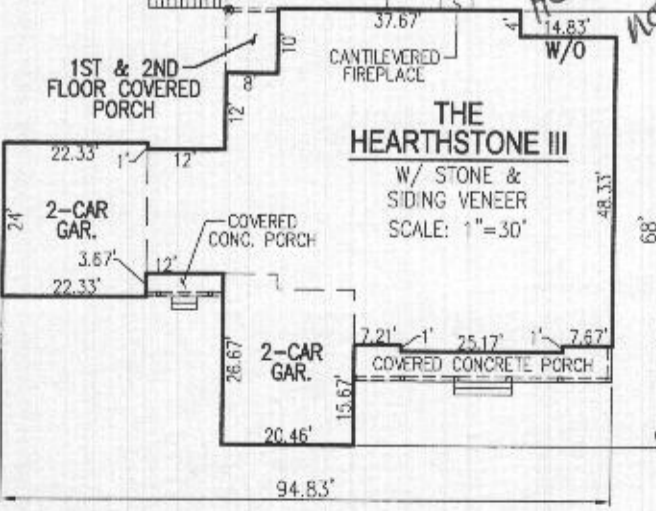
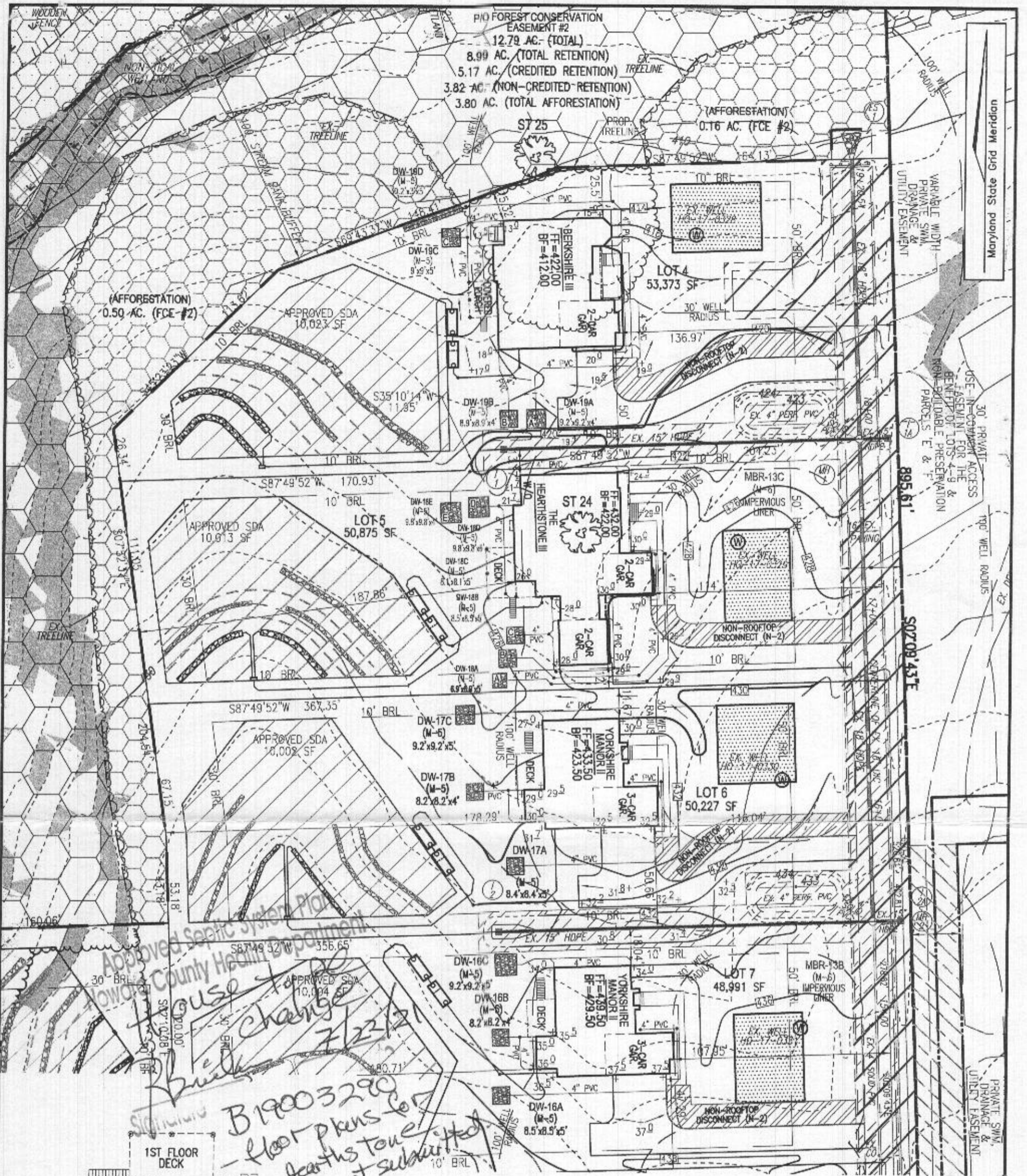
**DRYWELL #18C**  
 $ESD_v = (0.95)(2.0)(1,170)/12 = 185 \text{ CF}$   
 $185/0.4 = 463 \text{ CF (REQ.)}$   
 $9.7'x9.7'x5' = 470 \text{ CF (PROV.)}$

**PLOT PLAN**  
**THE ESTATES AT RIVER HILL - LOT 5**  
13617 NOBLE WAY  
HIGHLAND, MD 20777

SCALE AS SHOWN  
DRAWN BY JMR  
CHECKED BY RHY  
DATE JUNE 19, 2019  
W. O. # 15-39  
SHEET# 2 OF 2

5TH ELECTION DISTRICT  
TAX MAP: 34 PARCEL: 389  
DPZ REF'S: ECP-16-064, WP-17-034,  
WP-17-128, SP-17-007, F-18-064

BLOCK: 23  
ZONED: RR-DEO  
HOWARD COUNTY, MARYLAND



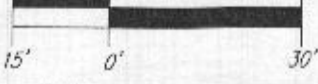
**SITE PLAN**

SCALE: 1"=50'

SCALE 1"=50'



SCALE 1"=30'



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MICHAEL PFAL, MEMBER  
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**DEVELOPER**

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**REVISED**  
Date: 7/2/21  
Comments: B19-3290

**VOGEL ENGINEERING**  
**TIMMONS GROUP**

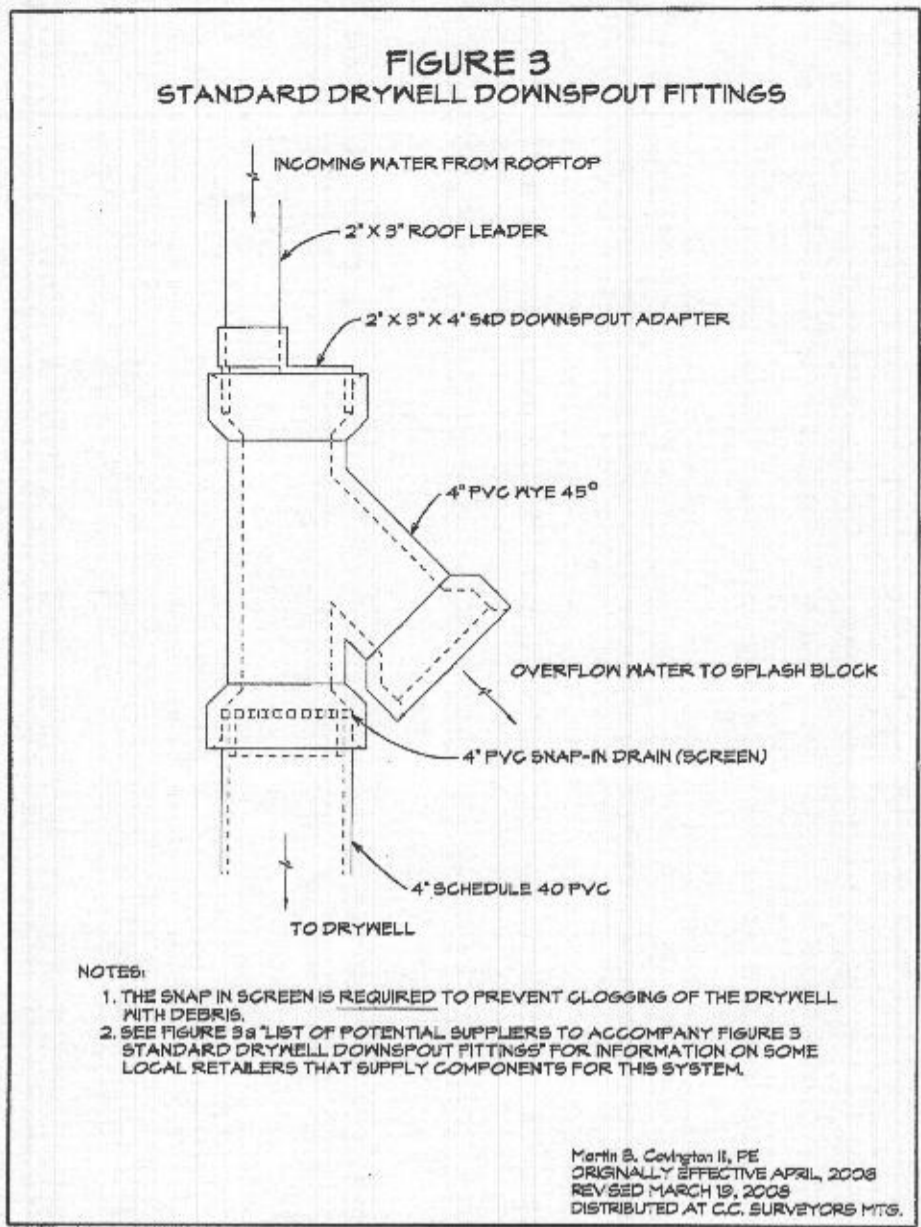
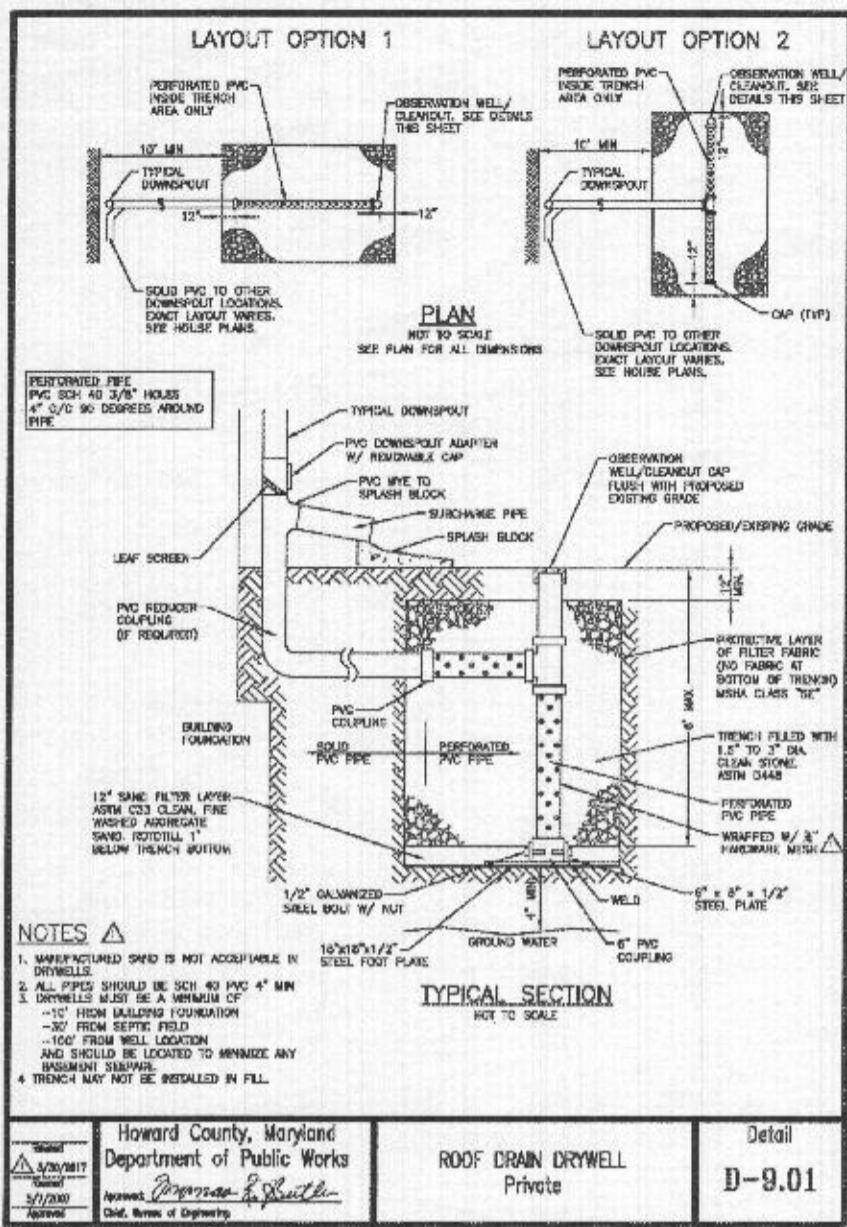
3300 NORTH RIDGE ROAD, SUITE 110, ELLCOTT CITY, MD 21043  
P: 410.461.7666 F: 410.461.8961 www.timmons.com

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SCALE AS SHOWN  
DRAWN BY JMR  
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DATE APRIL 21, 2021  
W. O. # 15-39  
SHEET # 1 OF 2

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REVISED  
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DW#	LOT	DRAINAGE AREA	VOLUME REQUIRED	PROPOSED DIMENSIONS	VOLUME PROVIDED
18A	5	590 SF	233 CF	6.9'x6.9'x5'	238 CF
18B	5	900 SF	358 CF	8.5'x8.5'x5'	361 CF
18C	5	812 SF	323 CF	8.1'x8.1'x5'	328 CF
18D	5	1,201 SF	475 CF	9.8'x9.8'x5'	480 CF
18E	5	963 SF	380 CF	9.8'x9.8'x4'	384 CF

**DRYWELL #18A**  
ESDv = (0.95)(2.0)(590)/12 = 93 CF  
93/0.4 = 233 CF (REQ.)  
6.9'x6.9'x5' = 238 CF (PROV.)

**DRYWELL #18B**  
ESDv = (0.95)(2.0)(900)/12 = 143 CF  
143/0.4 = 358 CF (REQ.)  
8.5'x8.5'x5' = 361 CF (PROV.)

**DRYWELL #18C**  
ESDv = (0.95)(2.0)(812)/12 = 129 CF  
129/0.4 = 323 CF (REQ.)  
8.1'x8.1'x5' = 328 CF (PROV.)

**DRYWELL #18D**  
ESDv = (0.95)(2.0)(1,201)/12 = 190 CF  
190/0.4 = 475 CF (REQ.)  
9.8'x9.8'x5' = 480 CF (PROV.)

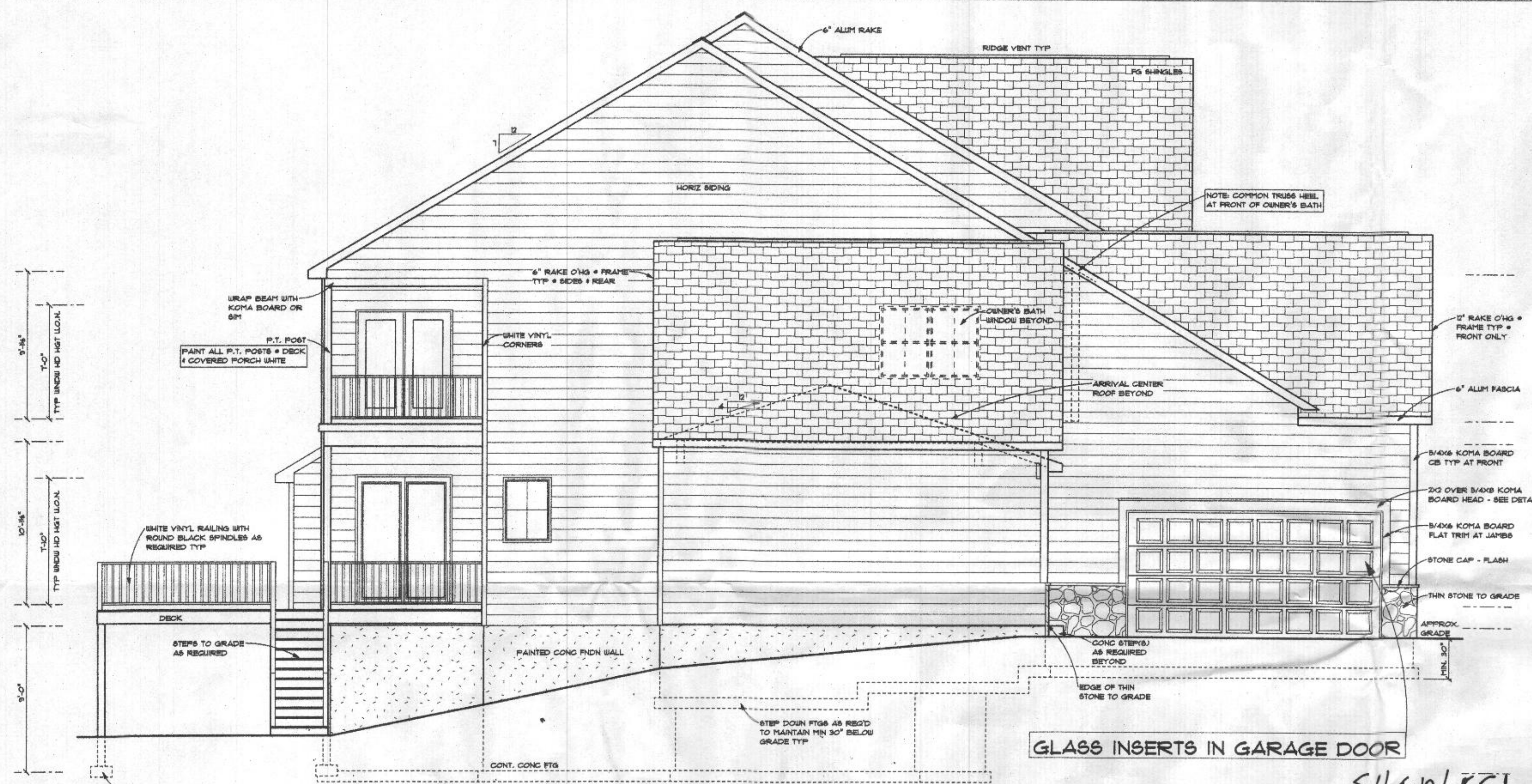
**DRYWELL #18E**  
ESDv = (0.95)(2.0)(963)/12 = 152 CF  
152/0.4 = 380 CF (REQ.)  
9.8'x9.8'x4' = 384 CF (PROV.)

SCALE AS SHOWN  
DRAWN BY JMR  
CHECKED BY RHV  
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W. O. # 15-39  
SHEET# 2 OF 2

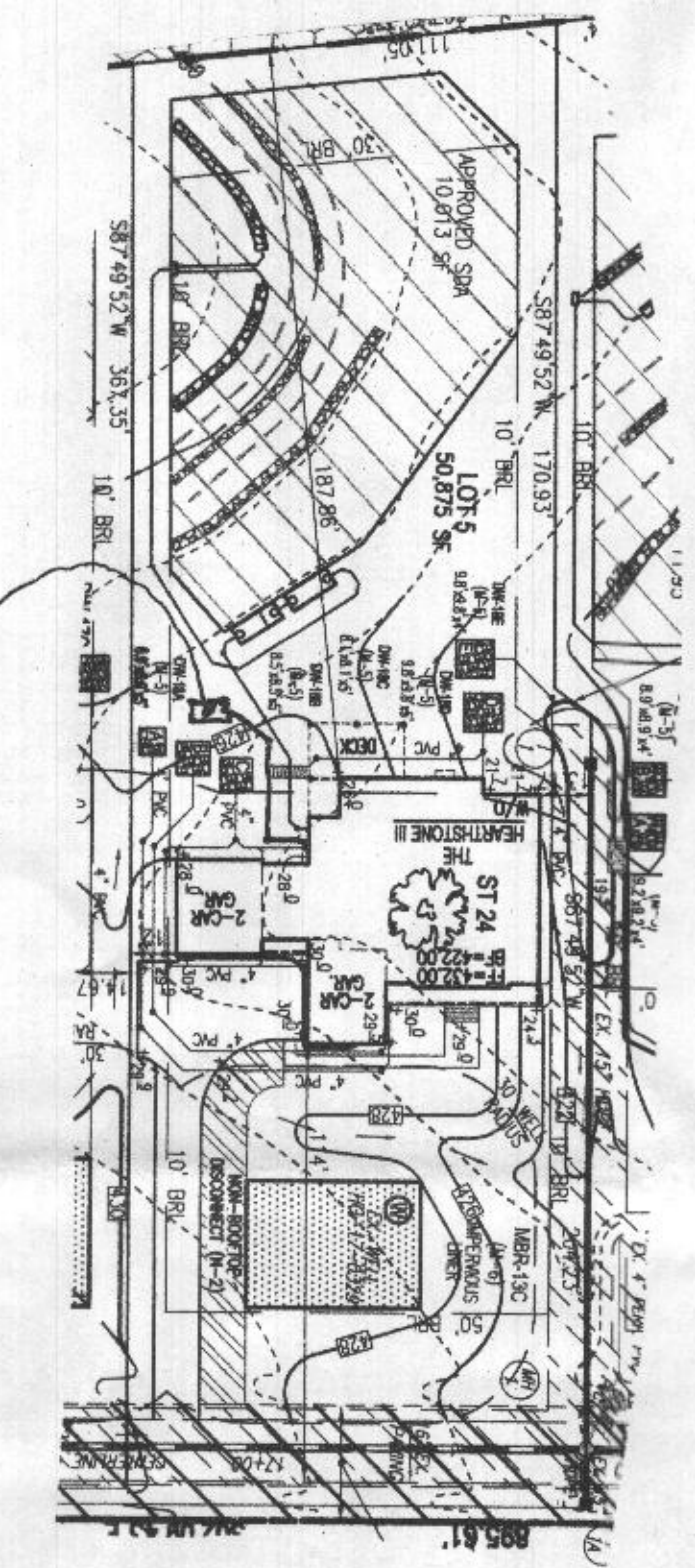
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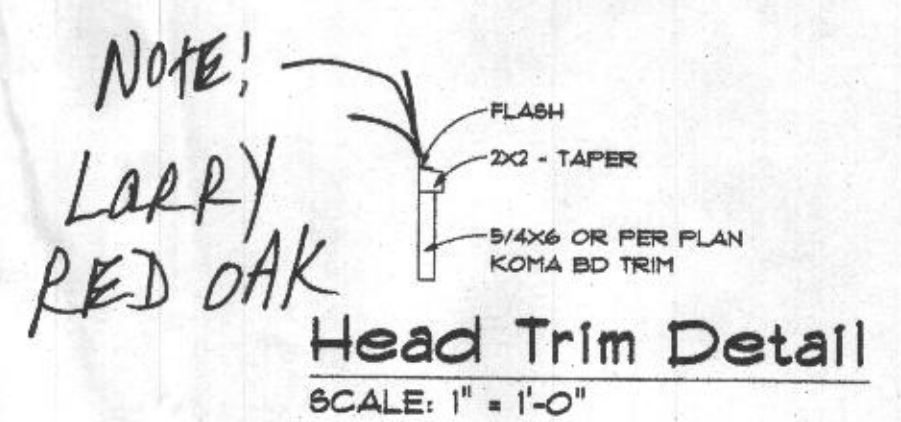
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HOWARD COUNTY, MARYLAND



APPROX. LOC. PROPANE TANK



NOTE: LARRY Walnut  
NOTE: SIDING CONTRACTOR / JIM FRONT PORCH CEILING WHITE BEADED VINYL SIDING.



NOTE: FRONT, SIDES & REAR, WHITE ALUM. SOFFIT & FASCIA.

NOTE: INSULATOR  
ANTI-AIR INFILTRATION SYSTEM: CAULKING AT EXTERIOR JOINTS, BEAMS, AND OPENINGS AROUND DOOR AND WINDOW JAMBS, FOAM SEALER AT OPENINGS ON EXTERIOR WALLS.

NOTE: CARPENTER  
TYE-K HOUSE WRAP ALL 4 SIDES

UNITED DOUBLE-HUNG WINDOWS  
5900 DOUBLE HUNG, LOW-E TILT & WASH WINDOWS W/ GRILLES, SCREENS, WOOD EXTENSIONS & CASINGS EXCEPT GARAGE R32/ARGON GAS  
NOTE: USE WINDOW DEVICES WHERE REQUIRED PER IRC 2018 R312.2

NOTE: HERITAGE 30 YEAR LAYERED ARCHITECTURAL SHINGLE BY TAMKO

INTERIOR SPRINKLER  
STANDARD HEADS EXPOSED  
CONSEALED 1<sup>ST</sup> AND 2<sup>ND</sup> FLOOR / LOWER LEVEL STANDARD

2018 CODE

## The Hearthstone III

THE ESTATES AT RIVER HILL - LOT 5  
13617 NOBLE WAY  
HIGHLAND, MD 20777

B. PERMIT #

# LOT 5 ESTATES AT RIVER HILL

6080 Front Doors to be ThermaTru 8196P Fiber Classic Oak, prefinished Redwood with Kensington glass in brushed nickel casing. Includes Venture wide multi-point hardware in brushed nickel and brushed nickel hinges.



Right Elevation  
 SCALE: 3/16" = 1'-0"



Rear Elevation  
 SCALE: 3/16" = 1'-0"

*PAINT PT. POSTS (FLAT CONG. FIBR WHITE)*

2018 CODE

The Hearthstone III

REVISIONS	
DATE	05-11-2021
SHEET NO.	A-2
© 2021	

**NOTE: PLUMBER**  
PASSIVE RADON SYSTEM  
3" PVC PIPE VENTED THROUGH  
ROOF (LOCATION PER PLUMBER)

**HYAC: EQUIPMENT - GOODMAN**  
ZONE 1: 92% EFFICIENCY PROPANE GAS  
FURNACE WITH 14 BEER A/C UNITS TON  
ZONE 2: 14 BEER HEAT PUMP 4 TON  
\* VENT RANGE HOOD TO EXTERIOR

\* NOTE: ADD APRILAIRE 600 TO ONE  
(1) ZONE HYAC

\* BILL/ZEPTER HOOD: 1200 CFM  
ADD SEPARATE DUCT  
w/ Damper

NOTE: FOOTING SIZES CALLED  
ARE CALCULATED BASED ON  
ACTUAL BUILDING WEIGHTS AND  
DESIGN LOADS

ADD: WHOLE HOUSE WATER SOFTNER  
NOTE: NOT REQUIRED BY  
JAMES Ho. Co. HEALTH

MINIMUM 6" REINFORCED CONCRETE  
FOUNDATION WALL - THICKNESS PER  
GRADE & SOIL CONDITIONS AND LOCAL  
CODES - ON MINIMUM 12"x8" CONCRETE  
FOOTING U.O.N.

	GAS:	PROPANE
Gas Furnace Zones:	ONE	YES
Fire Place		YES
Cook Top		YES

STORM DRAIN LINE  
W/C  
EJECTOR PUMP  
ELECTRIC METER

NOTE: 9'-0" FOUNDATION WALLS

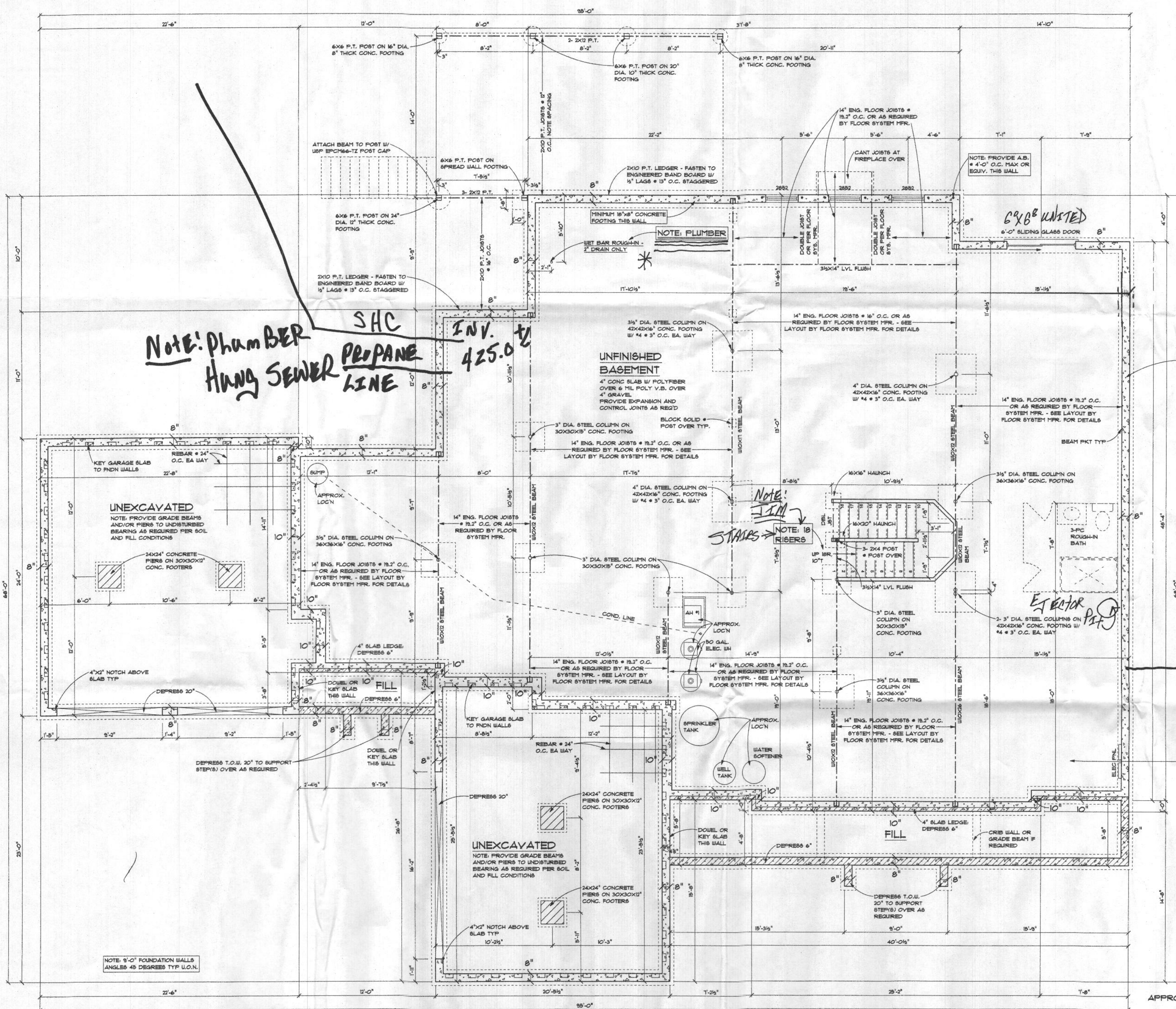
NOTE: ENGINEERED FLOOR JOISTS TO BE MINIMUM  
W/TERMINATED 1 1/2" TO SERIES OR EQUAL UNLESS  
OTHERWISE NOTED. FLOOR JOISTS TO BE DESIGNED  
FOR L/480 MAX DEFLECTION (L/840 = TILE/BRITTLE  
FINISHES) TYPICAL THROUGHOUT.

**NOTES**  
1. 2000 PSF SOIL BEARING CAPACITY ASSUMED.  
2. BEAMS, JOISTS, HEADERS AND RAFTERS TO BE  
S-P-F # 1/2 OR EQUAL TYPICAL THROUGHOUT  
UNLESS OTHERWISE NOTED  
3. VERIFY SIZE AND LOCATIONS OF DOORS AND  
WINDOWS THIS PLAN PER GRADE AND BUILDER

**HYAC**  
C.F.A. = 5,511

APPROX. 3,056 SF UNFINISHED BASEMENT

**2018 CODE**



NOTE: PLUMBER  
HANG SEWER  
PROPANE LINE

SHC  
INV. 425.0

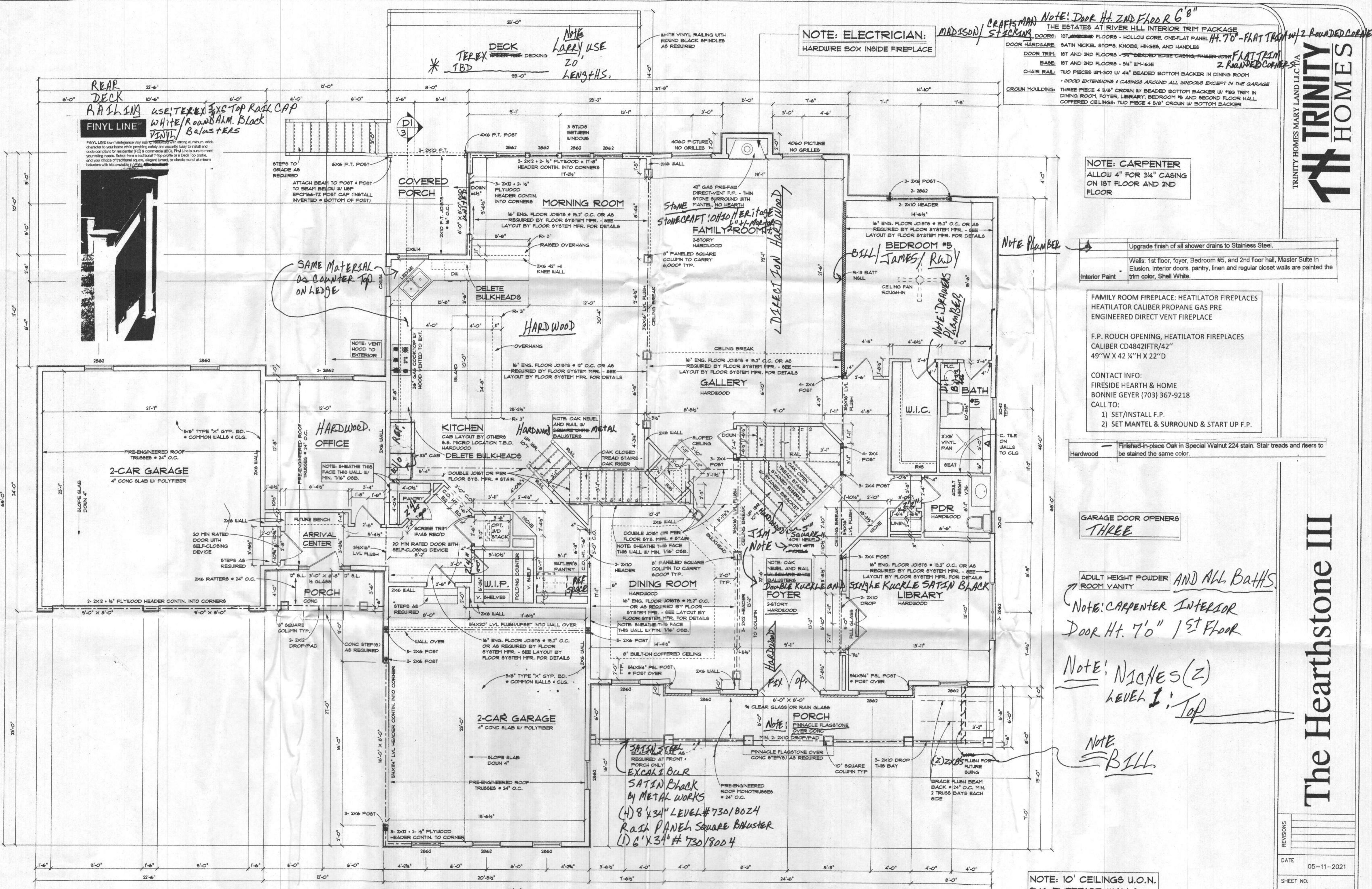
UNFINISHED  
BASEMENT

NOTE: 18  
RIGERS

STORM DRAIN LINE  
W/C  
EJECTOR PUMP  
ELECTRIC METER

Foundation Plan  
SCALE: 1/4" = 1'-0"

The Hearthstone III



NOTE: ELECTRICIAN:  
HARDWARE BOX INSIDE FIREPLACE

NOTE: DOOR HT. 2ND FLOOR 6'8"  
THE ESTATES AT RIVER HILL INTERIOR TRIM PACKAGE  
1ST AND 2ND FLOORS - HOLLOW CORE ONE-FLAT PANEL HT. 7'0" - FLAT TRIM w/ 2 ROUNDED CORNERS  
DOOR HARDWARE: SATIN NICKEL STOPS, KNOBS, HINGES, AND HANDLES  
DOOR TRIM: 1ST AND 2ND FLOORS - 3/4" BEADED EDGE CASING, FINGER JOINT FLAT TRIM w/ 2 ROUNDED CORNERS  
BASE: 1ST AND 2ND FLOORS - 5/4" WM-163E  
CHAIR RAIL: TWO PIECES WM-302 w/ 1/4" BEADED BOTTOM BACKER IN DINING ROOM  
WOOD EXTENSIONS: CASINGS AROUND ALL WINDOWS EXCEPT IN THE GARAGE  
CROWN MOULDING: THREE PIECE 4 5/8" CROWN w/ BEADED BOTTOM BACKER w/ 1/2" TRIM IN DINING ROOM, FOYER, LIBRARY, BEDROOM #5 AND SECOND FLOOR HALL  
COFFERED CEILING: TWO PIECE 4 5/8" CROWN w/ BOTTOM BACKER

NOTE: CARPENTER  
ALLOW 4" FOR 3/4" CASING  
ON 1ST FLOOR AND 2ND FLOOR

NOTE PLUMBER  
Upgrade finish of all shower drains to Stainless Steel.  
Interior Paint: Walls: 1st floor, foyer, Bedroom #5, and 2nd floor hall, Master Suite in Elusion. Interior doors, pantry, linen and regular closet walls are painted the trim color, Shell White.

FAMILY ROOM FIREPLACE: HEATILATOR FIREPLACES  
HEATILATOR CALIBER PROPANE GAS PRE  
ENGINEERED DIRECT VENT FIREPLACE

F.P. ROUGH OPENING, HEATILATOR FIREPLACES  
CALIBER CD4842IFTR/42"  
49"W X 42 1/2"H X 22"D

CONTACT INFO:  
FIRESIDE HEARTH & HOME  
BONNIE GEYER (703) 367-9218  
CALL TO:  
1) SET/INSTALL F.P.  
2) SET MANTEL & SURROUND & START UP F.P.

Hardwood: Finished-in-place Oak in Special Walnut 224 stain. Stair treads and risers to be stained the same color.

GARAGE DOOR OPENERS  
THREE

ADULT HEIGHT POWDER ROOM VANITY AND ALL BATHS

NOTE: CARPENTER INTERIOR  
DOOR HT. 7'0" 1ST FLOOR

NOTE: NICHES (Z)  
LEVEL 1: Top

NOTE: BILL

First Floor Plan  
SCALE: 1/4" = 1'-0"

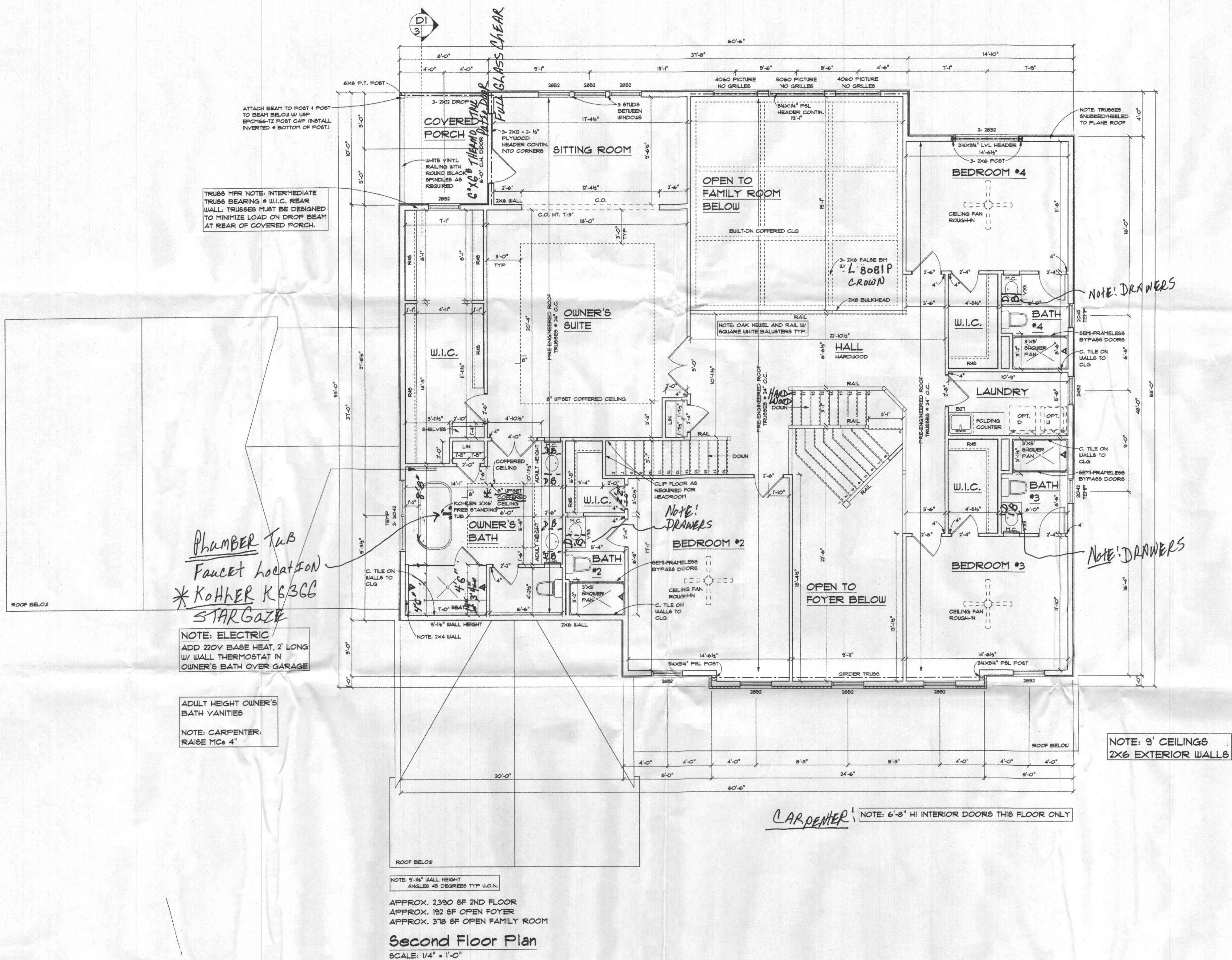
NOTE: 10'-11 1/2" WALL HEIGHT  
ANGLES 45 DEGREES TYP. U.O.N.  
APPROX. 3,121 SF 1ST FLOOR

CARPENTER: NOTE: 1'-0" HI INTERIOR DOORS THIS FLOOR ONLY

NOTE: 10' CEILINGS U.O.N.  
2X6 EXTERIOR WALLS

2018 CODE

# The Hearthstone III



ATTACH BEAM TO POST & POST TO BEAM BELOW W/ USP EPC#66-TZ POST CAP (INSTALL INVERTED @ BOTTOM OF POST)

TRUSS MFR NOTE: INTERMEDIATE TRUSS BEARING @ W.I.C. REAR WALL. TRUSSES MUST BE DESIGNED TO MINIMIZE LOAD ON DROP BEAM AT REAR OF COVERED PORCH.

Plumber Tub  
 Faucet Location  
 \*Kohler K5366  
 StarGaze

NOTE: ELECTRIC  
 ADD 220V BASE HEAT, 2' LONG W/ WALL THERMOSTAT IN OWNER'S BATH OVER GARAGE

ADULT HEIGHT OWNER'S BATH VANITIES  
 NOTE: CARPENTER: RAISE MC @ 4"

NOTE: 9' CEILINGS  
 2X6 EXTERIOR WALLS

CARPENTER! NOTE: 6'-8" HI INTERIOR DOORS THIS FLOOR ONLY

NOTE: 9'-1/4" WALL HEIGHT ANGLES 45 DEGREES TYP U.O.N.

APPROX. 2390 SF 2ND FLOOR  
 APPROX. 192 SF OPEN FOYER  
 APPROX. 378 SF OPEN FAMILY ROOM

**Second Floor Plan**  
 SCALE: 1/4" = 1'-0"

2018 CODE