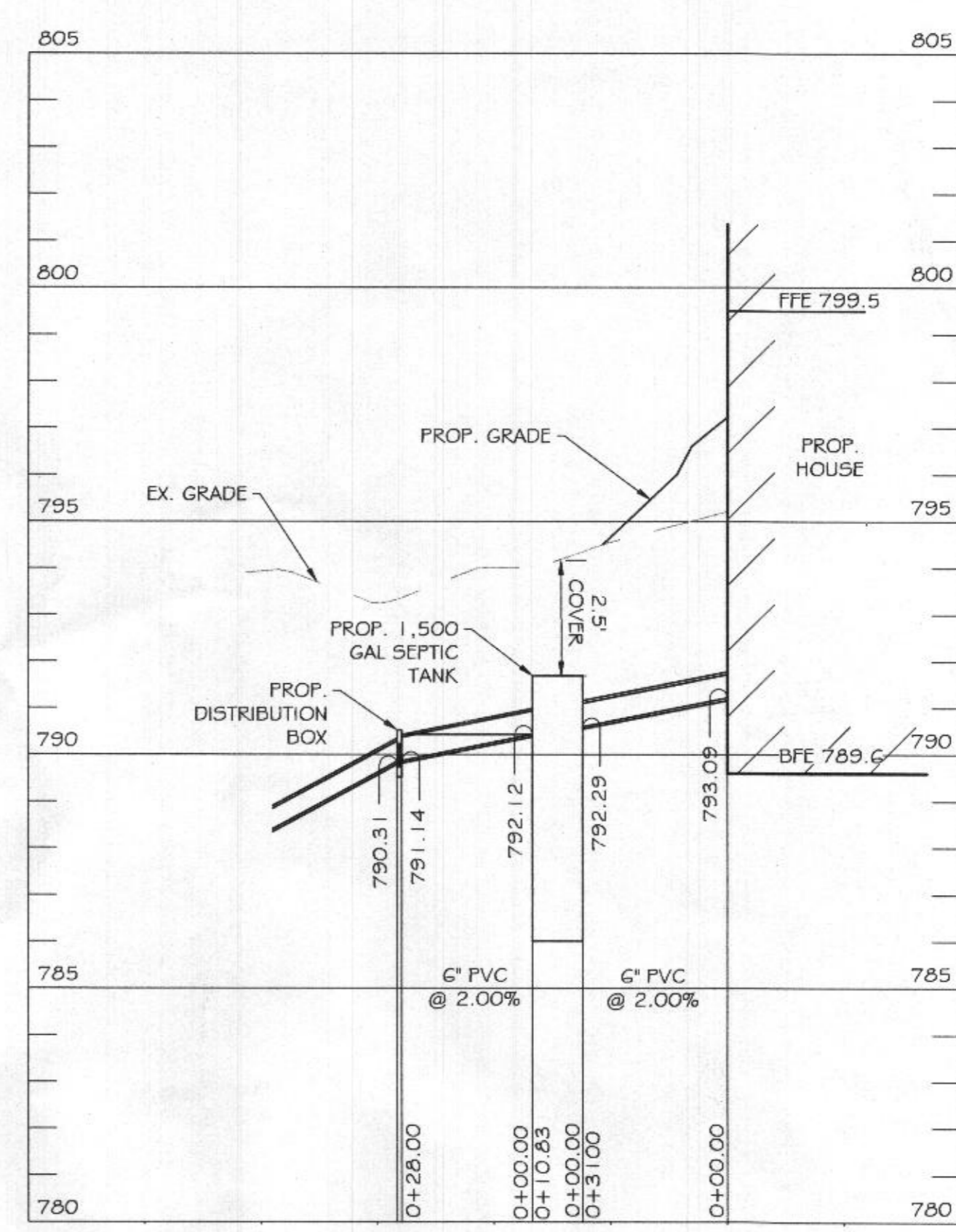


PLAN VIEW
SCALE: 1" = 30'



PROP. SEPTIC SYSTEM PROFILE
SCALE: H. 1" = 30'
V. 1" = 3'

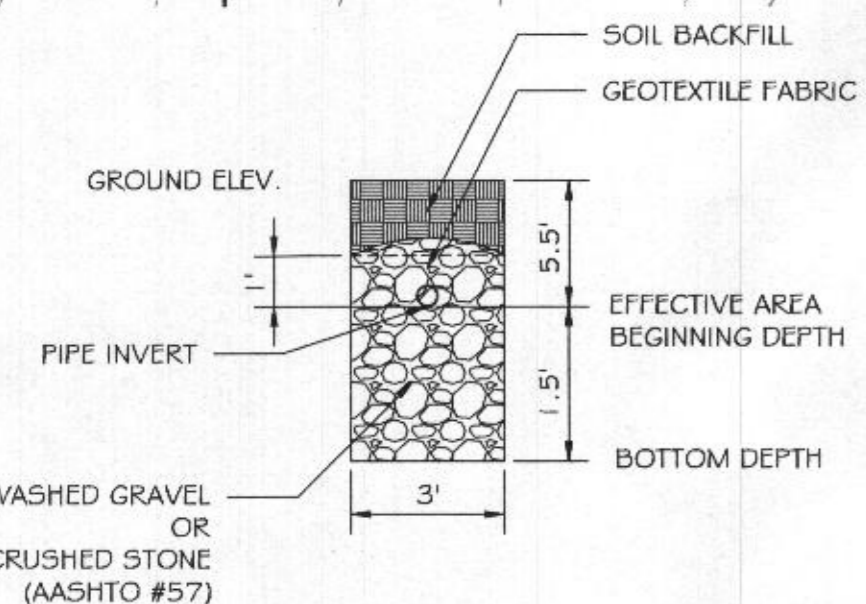
TRENCH LENGTH AND SPACING CALCULATIONS
TRENCH DESIGN (4 BDRM X 150 GPD/BDRM = 750 GPD)

INITIAL SYSTEM
750 GPD / 0.8 GPD/SF (APP. RATE) = 938 SF
USE 3' WIDE TRENCH W/ 18" OF GRAVEL BELOW PIPE EFFECTIVE AREA 5.5' - 7'
938 SF / 3' WIDTH = 313 LF x 0.714 = 224 LF MIN. TRENCH
10' MIN. SPACING BETWEEN TRENCH EDGES

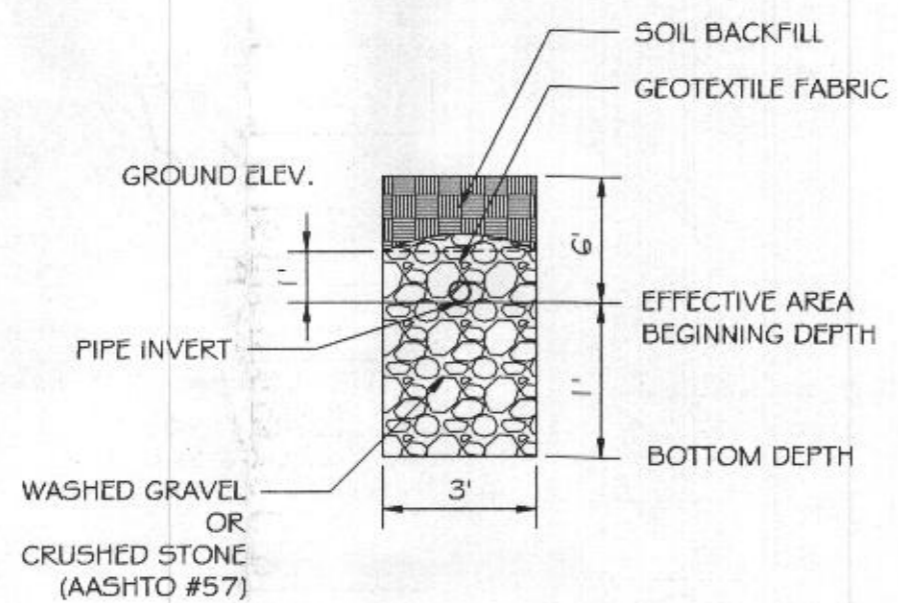
1ST REPLACEMENT SYSTEM
750 GPD / 1.2 GPD/SF (APP. RATE) = 625 SF
USE 3' WIDE TRENCH W/ 24" OF GRAVEL BELOW PIPE EFFECTIVE AREA 6' - 7'
625 SF / 3' WIDTH = 209 LF x 0.833 = 174 LF MIN. TRENCH
10' MIN. SPACING BETWEEN TRENCH EDGES

2ND REPLACEMENT SYSTEM
750 GPD / 1.2 GPD/SF (APP. RATE) = 625 SF
USE 3' WIDE TRENCH W/ 24" OF GRAVEL BELOW PIPE EFFECTIVE AREA 4' - 6'
625 SF / 3' WIDTH = 209 LF x 0.625 = 131 LF MIN. TRENCH
10' MIN. SPACING BETWEEN TRENCH EDGES

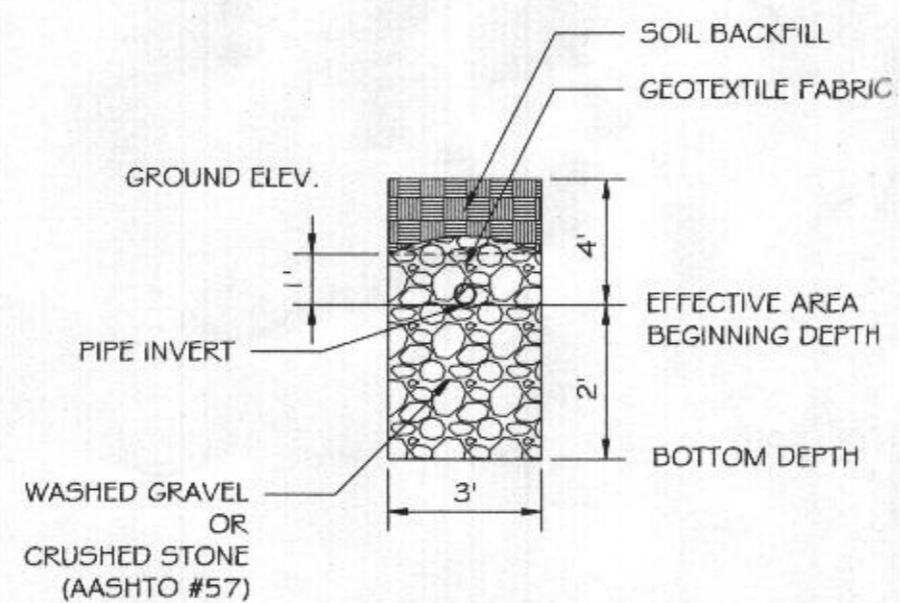
3 - 75' LONG TRENCHES FOR INITIAL SYSTEM
2 - 87' LONG TRENCHES FOR 1ST REPLACEMENT SYSTEM
2 - 66' LONG TRENCHES FOR 2ND REPLACEMENT SYSTEM



INITIAL TRENCHES DETAIL
N.T.S.



1ST REPLACEMENT TRENCHES DETAIL
N.T.S.



2ND REPLACEMENT TRENCHES DETAIL
N.T.S.

- LEGEND**
- - - 750 - - - EXISTING MINOR CONTOUR (2' INTERVAL)
 - - - 760 - - - EXISTING MAJOR CONTOUR (10' INTERVAL)
 - - - 307.90 - - - ADJACENT PROPERTY LINE
 - - - N22°37'18"W - - - EXISTING PROPERTY BOUNDARY
 - - - 761 - - - EXISTING ROAD / EDGE OF PAVING
 - - - 760 - - - EXISTING ROAD CENTERLINE
 - - - 761 - - - PROPOSED MINOR CONTOUR (2' INTERVAL)
 - - - 760 - - - PROPOSED MAJOR CONTOUR (10' INTERVAL)
 - [] - - - EXISTING BUILDING
 - [] - - - PROPOSED BUILDING
 - 765.0 X - - - PROPOSED SPOT ELEVATION
 - |--- - - - LIMIT OF DISTURBANCE
 - |--- - - - PROPOSED SILT FENCE
 - |--- - - - SOIL DELINEATION LINE
 - - - - EXISTING PERCOLATION TEST HOLE

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
HEALTH OFFICER, HOWARD COUNTY HEALTH DEPT. DATE

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREIN IS BASED ON FIELD WORK PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AND IS CORRECT, TO THE BEST OF MY KNOWLEDGE AND BELIEF. LICENSE NO. 28935 EXPIRATION DATE: 1/15/2023

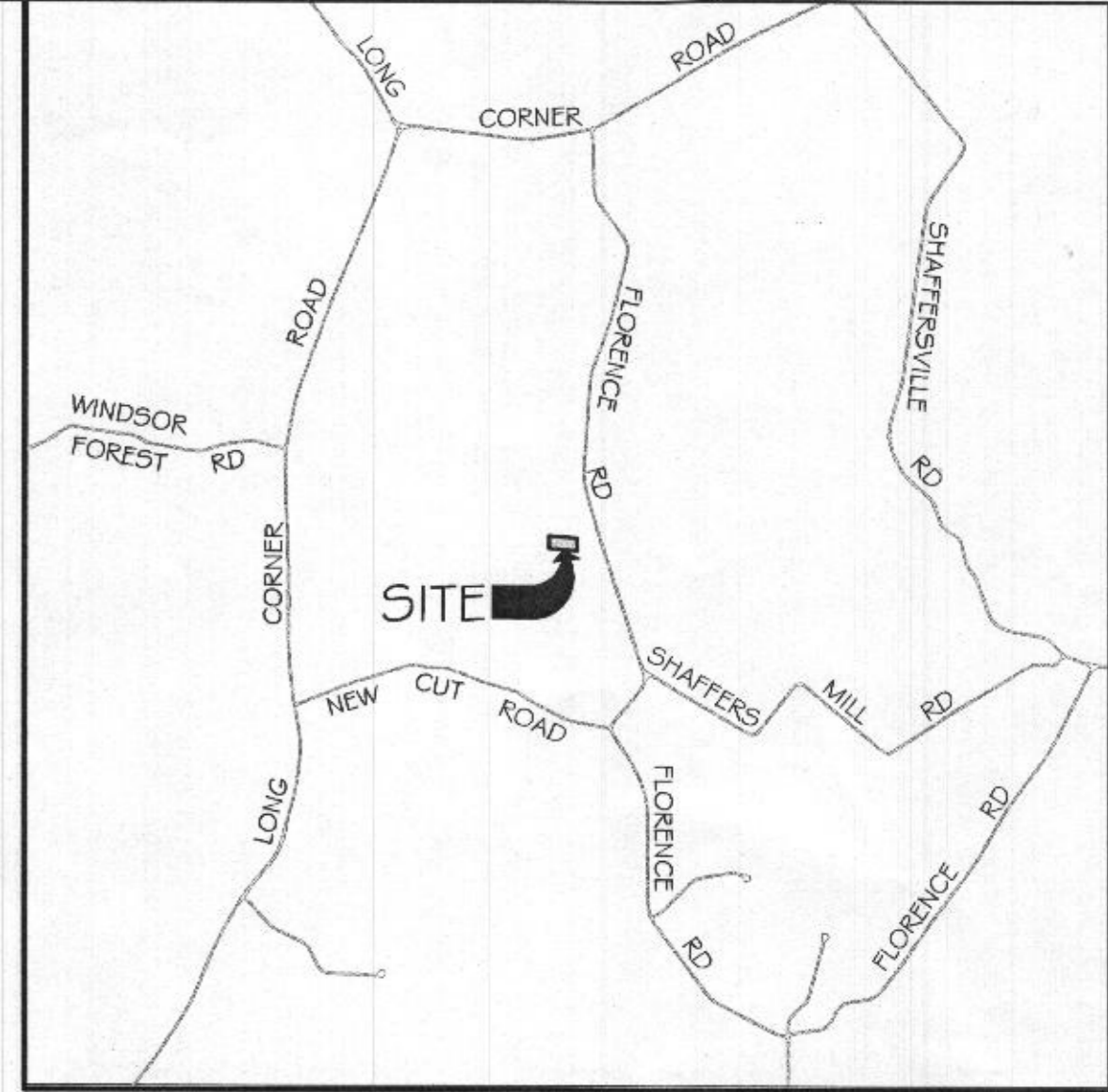


KCI TECHNOLOGIES
ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS
936 RIDGEBROOK ROAD
SPARKS, MARYLAND 21152
TELEPHONE: (410) 316-7800
FAX: (410) 316-7818

REVISIONS			
NO.	DATE	DESCRIPTION	BY

	APPROXIMATE ELEVATIONS		
	GROUND ELEVATION	INVERT ELEVATION	BOTTOM ELEVATION
INITIAL SYSTEM TRENCH A	793.8	788.3	786.8
INITIAL SYSTEM TRENCH B	793.2	787.7	786.2
INITIAL SYSTEM TRENCH C	792.6	787.1	785.6
1ST REPLACEMENT TRENCH A	792.0	786.0	785.0
1ST REPLACEMENT TRENCH B	791.0	785.0	784.0
2ND REPLACEMENT TRENCH A	789.9	785.9	783.9
2ND REPLACEMENT TRENCH B	788.7	784.7	782.7

	RELATIVE DEPTHS		
	PIPE INVERT	EFFECTIVE AREA BEGINNING	MAXIMUM TRENCH BOTTOM
INITIAL SYSTEM TRENCH A,B,C	5.50	5.50	7.00
1ST REPLACEMENT TRENCH A # B	6.00	6.00	7.00
2ND REPLACEMENT TRENCH A # B	4.00	4.00	6.00



VICINITY MAP
SCALE: 1" = 2000'

- GENERAL NOTES:**
- ANY CHANGE TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
 - THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
 - ELECTRICAL WORK FOR THE INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
 - THE WELL (TAG HO-17-0395) HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.
 - ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.
 - EXISTING SYSTEM LOCATION IS BASED ON DATA PROVIDED BY THE HOWARD COUNTY HEALTH DEPARTMENT.
 - THIS AREA DESIGNATES A PRIVATE SEWAGE AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENT OF ENVIRONMENT IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THIS AREA SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWAGE AREA. RECORDATION OF A MODIFIED SEWAGE ARE SHALL NOT BE NECESSARY.
 - TOPOGRAPHY SHOWN IS AT TWO-FOOT CONTOUR INTERVALS (ONE-FOOT INTERVALS ARE REQUIRED FOR MOUND SYSTEMS AND SYSTEMS WITH PIPE DEPTH LESS THAN TWO FEET) AND HAS BEEN FIELD VERIFIED OR FIELD RUN.
 - ANY CHANGES TO A PRIVATE SEWAGE AREA SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
 - THE LOT SHOWN HEREIN COMPLIES WITH THE MINIMUM OWNERSHIP, WIDTH AND LOT AREA AS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
 - A PROFESSIONAL SURVEYOR OR ENGINEER MUST MARK THE PROPERTY LINE WHEN THE TRENCHES ARE BEING INSTALLED IN AREAS WHERE THE PROPERTY LINE SETBACK HAS BEEN REDUCED.

Approved Septic System Plan
Howard County Health Department
Dena Burnell 2-26-23
Signature Date
B21004725

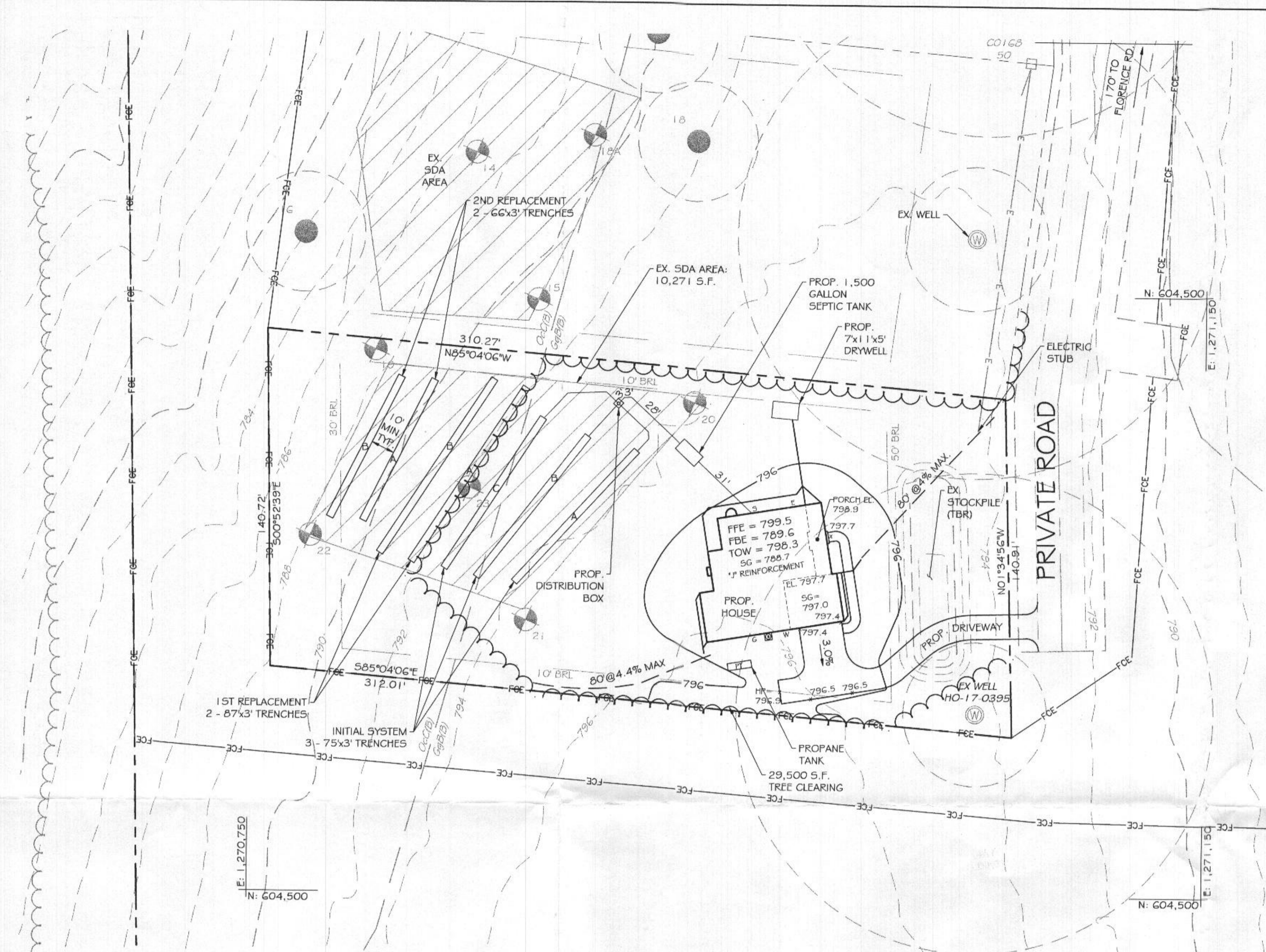
OWNER:
ROBERT & BRITANY SCHUCK
8703 WILD GINGER WAY
MONTGOMERY VILLAGE, MD 20886
(734) 223-0945

DEVELOPER:
KEYSTONE CUSTOM HOMES
GREG REINSMITH
227 GRANITE RUN DR. SUITE 100,
LANCASTER, PA 17601
(717) 464-9060 EXT. 1108

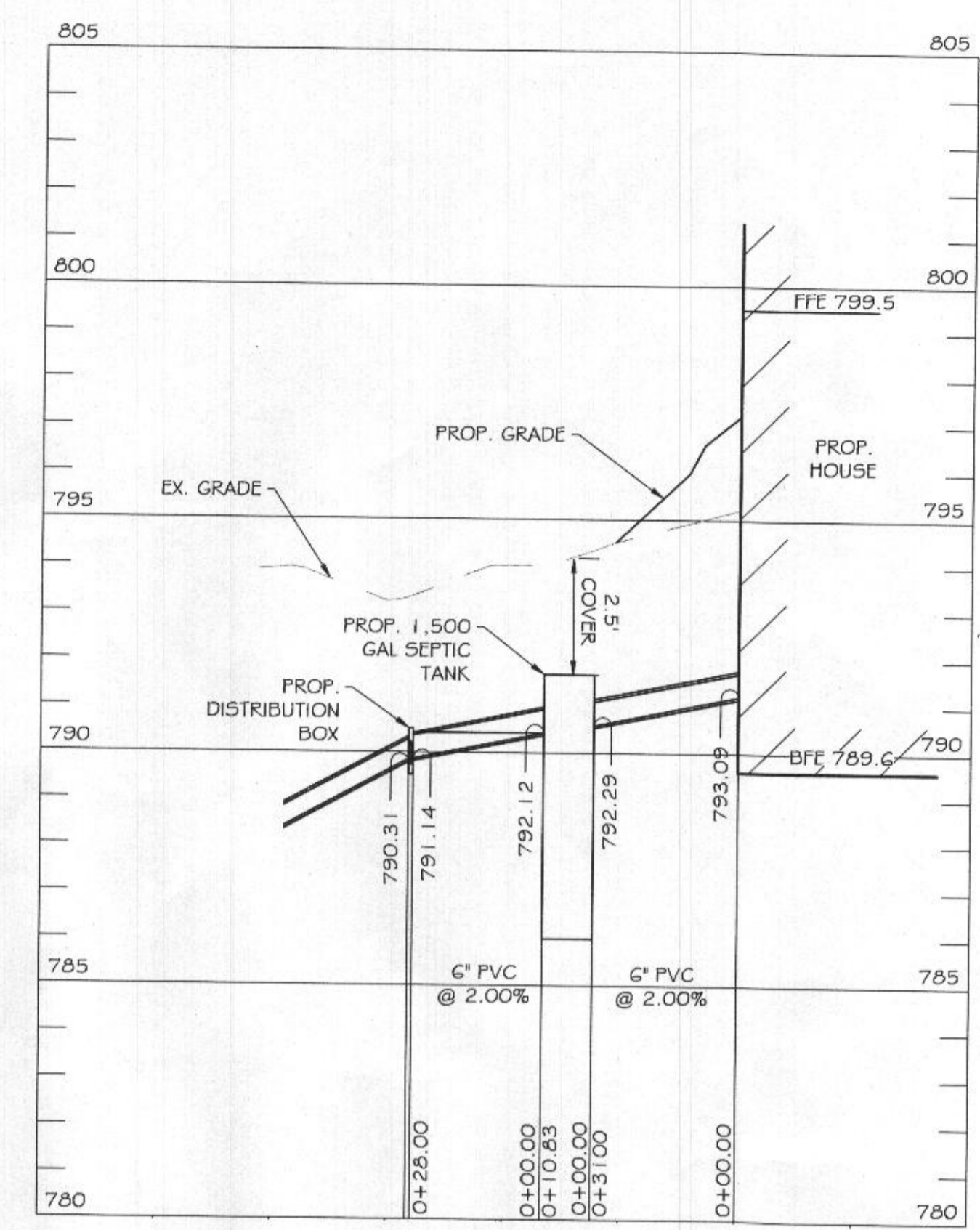
DESIGNER:
KCI TECHNOLOGIES INC.
MICHAEL MARKAKIS
936 RIDGEBROOK RD,
SPARKS, MD 21152
(732) 535-3605

LOT 2, SCHUCK PROPERTY
ON SITE DISPOSAL SYSTEM PLAN
1612 FLORENCE RD,
MT AIRY, MD 21771
TAX#: 602021, SUB: 1002

DRAWING NO.
SHEET 1 OF 1
KCI JOB NUMBER
271803754.90



PLAN VIEW
SCALE: 1" = 30'



PROP. SEPTIC SYSTEM PROFILE
SCALE: H. 1" = 30'
V. 1" = 3'

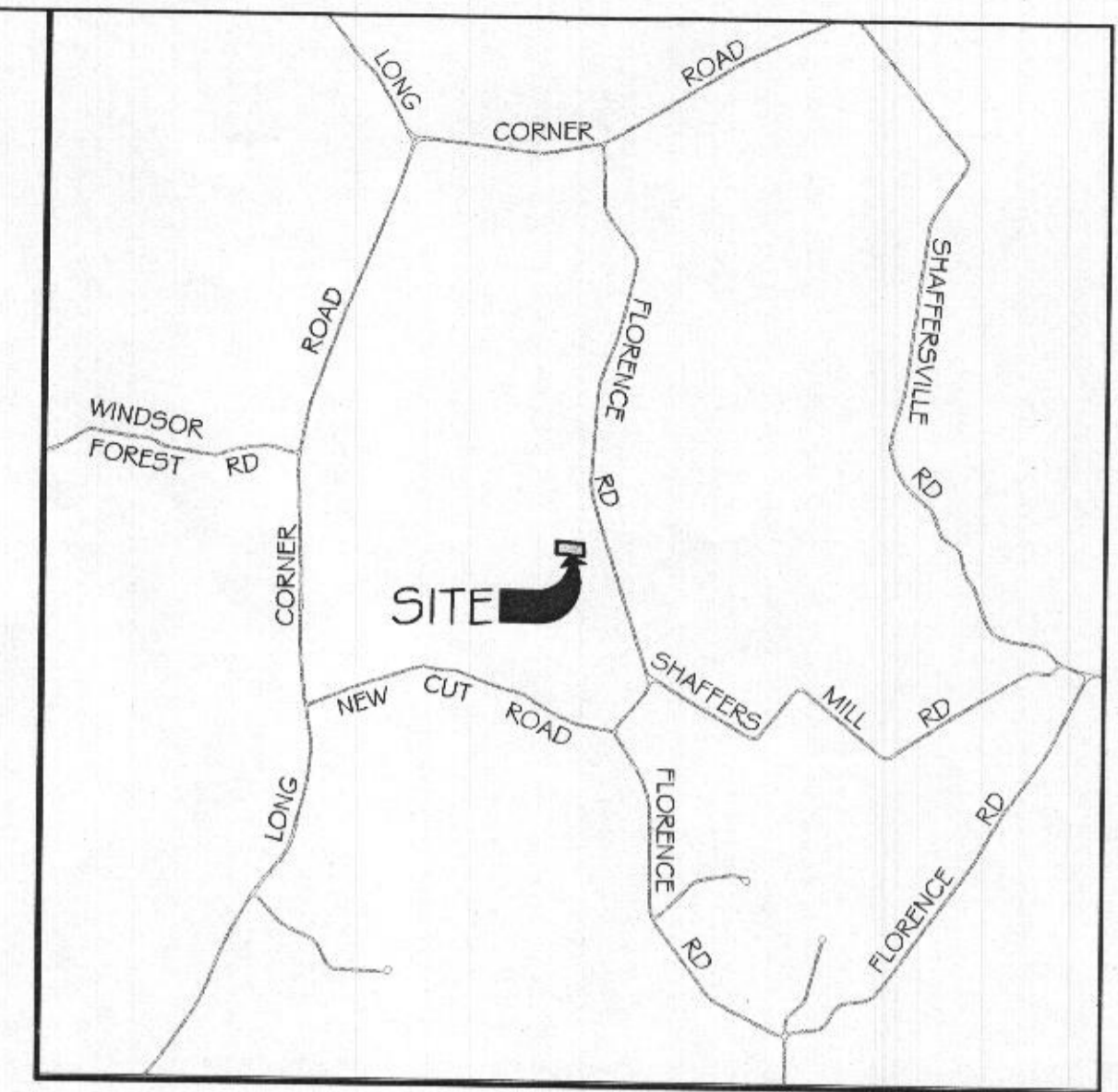
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1ST REPLACEMENT SYSTEM
750 GPD / 1.2 GPD/SF (APP. RATE) = 625 SF
USE 3' WIDE TRENCH W/ 12" OF GRAVEL BELOW PIPE EFFECTIVE AREA 6' - 7'
625 SF / 3' WIDTH = 209 LF x 0.833' = 174 LF MIN. TRENCH
10' MIN. SPACING BETWEEN TRENCH EDGES

2ND REPLACEMENT SYSTEM
750 GPD / 1.2 GPD/SF (APP. RATE) = 625 SF
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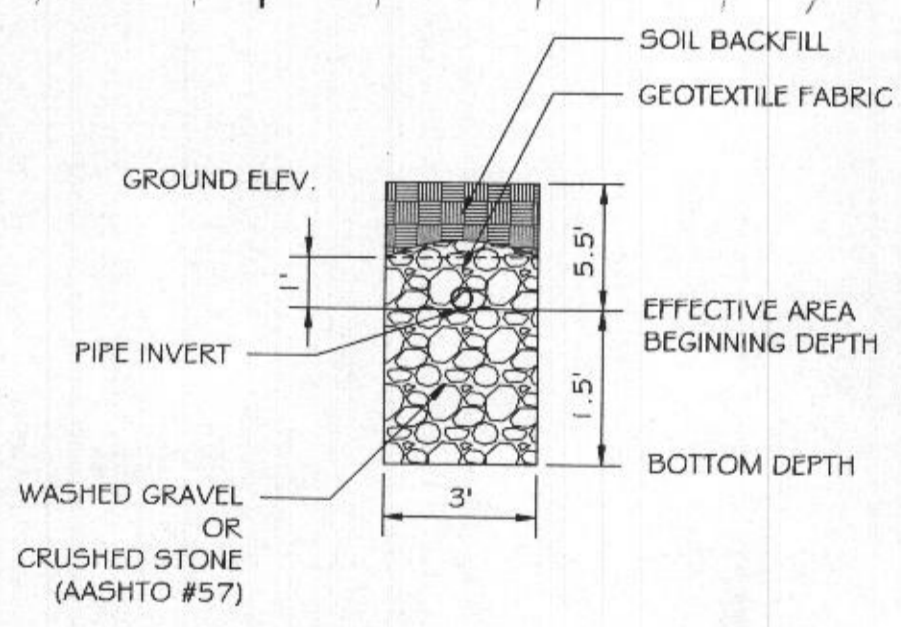
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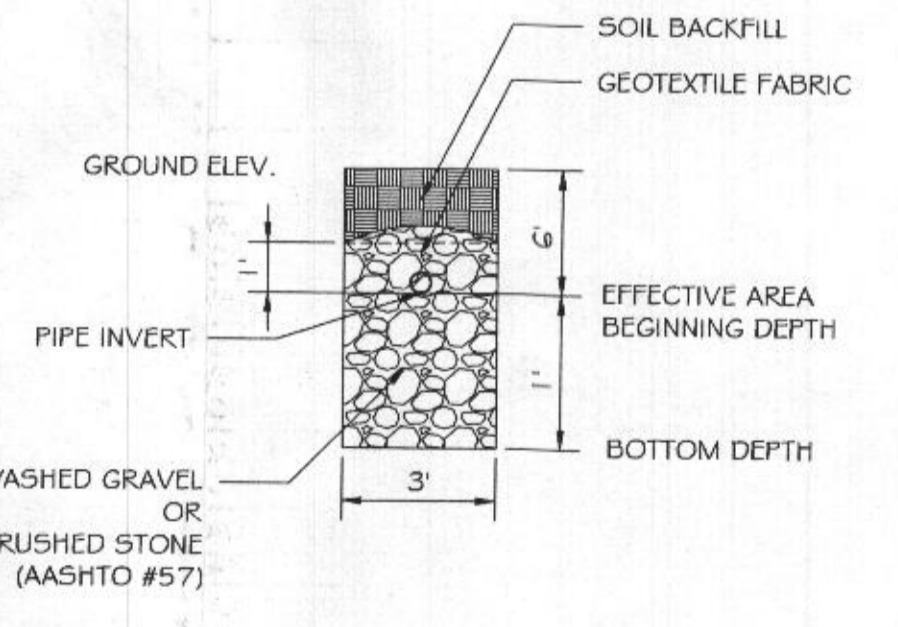
VICINITY MAP
SCALE: 1" = 2000'

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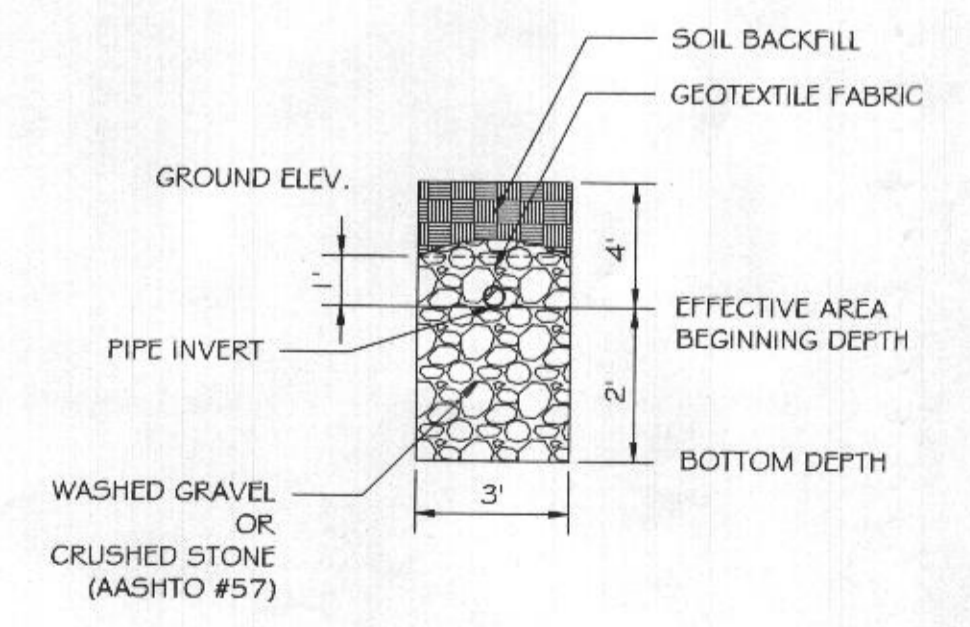
Approved Septic System Plan
Howard County Health Department
Dana Bernal 2/26/22
Signature Date
B 2100 4733



INITIAL TRENCHES DETAIL
N.T.S.



1ST REPLACEMENT TRENCHES DETAIL
N.T.S.



2ND REPLACEMENT TRENCHES DETAIL
N.T.S.

- LEGEND
- 7.50--- EXISTING MINOR CONTOUR (2' INTERVAL)
 - 7.60--- EXISTING MAJOR CONTOUR (10' INTERVAL)
 - - - - - ADJACENT PROPERTY LINE
 - - - - - EXISTING PROPERTY BOUNDARY
 - - - - - EXISTING ROAD / EDGE OF PAVING
 - - - - - EXISTING ROAD CENTERLINE
 - 7.61--- PROPOSED MINOR CONTOUR (2' INTERVAL)
 - 7.60--- PROPOSED MAJOR CONTOUR (10' INTERVAL)
 - [] EXISTING BUILDING
 - [] PROPOSED BUILDING
 - [] PROPOSED SPOT ELEVATION
 - [] LIMIT OF DISTURBANCE
 - [] PROPOSED SILT FENCE
 - [] SOIL DELINEATION LINE
 - [] EXISTING PERCOLATION TEST HOLE

	RELATIVE DEPTHS		
	PIPE INVERT	EFFECTIVE AREA BEGINNING	MAXIMUM TRENCH BOTTOM
INITIAL SYSTEM TRENCH A, B, C	5.50	5.50	7.00
1ST REPLACEMENT TRENCH A & B	6.00	6.00	7.00
2ND REPLACEMENT TRENCH A & B	4.00	4.00	6.00

	APPROXIMATE ELEVATIONS		
	GROUND ELEVATION	INVERT ELEVATION	BOTTOM ELEVATION
INITIAL SYSTEM TRENCH A	793.8	788.3	786.8
INITIAL SYSTEM TRENCH B	793.2	787.7	786.2
INITIAL SYSTEM TRENCH C	792.6	787.1	785.6
1ST REPLACEMENT TRENCH A	792.0	786.0	785.0
1ST REPLACEMENT TRENCH B	791.0	785.0	784.0
2ND REPLACEMENT TRENCH A	789.9	785.9	783.9
2ND REPLACEMENT TRENCH B	788.7	784.7	782.7

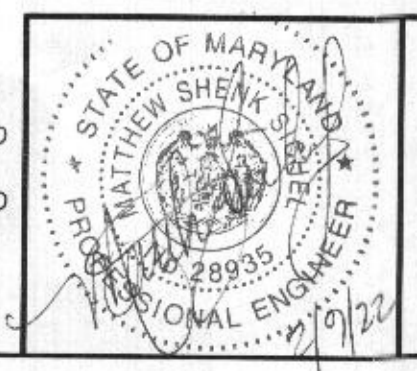
OWNER:
ROBERT & BRITTANY SCHUCK
8703 WILD GINGER WAY
MONTGOMERY VILLAGE, MD 20886
(734) 223-0945

DEVELOPER:
KEYSTONE CUSTOM HOMES
GREG REINSMITH
227 GRANITE RUN DR, SUITE 100,
LANCASTER, PA 17601
(717) 464-9060 EXT. 1108

DESIGNER:
KCI TECHNOLOGIES INC.
MICHAEL MARKAKIS
936 RIDGEBROOK RD,
SPARKS, MD 21152
(732) 535-3605

APPROVED FOR PRIVATE WATER AND PRIVATE SEWERAGE SYSTEMS
HEALTH OFFICER, HOWARD COUNTY HEALTH DEPT. DATE

PROFESSIONAL CERTIFICATION. I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREIN IS BASED ON FIELD WORK PERFORMED BY ME OR UNDER MY DIRECT SUPERVISION, AND IS CORRECT, TO THE BEST OF MY KNOWLEDGE AND BELIEF. LICENSE NO. 28935 EXPIRATION DATE: 1/15/2023



ENGINEERS
PLANNERS
SCIENTISTS
CONSTRUCTION MANAGERS
KCI
TECHNOLOGIES
936 RIDGEBROOK ROAD
SPARKS, MARYLAND 21152
TELEPHONE: (410) 316-7800
FAX: (410) 316-7818

NO.	DATE	REVISIONS		BY	DATE
		DESCRIPTION			
					02/03/2022

LOT 2, SCHUCK PROPERTY
ON SITE DISPOSAL SYSTEM PLAN
1612 FLORENCE RD,
MT AIRY, MD 21771
TAX#: 602021, SUB: 1002

DRAWING NO.
SHEET 1 OF 1
KCI JOB NUMBER
271803754.90

KEYSTONE CUSTOM HOMES, INC

3-Time winner of NAHB's "America's Best Builder" Award

THESE DRAWINGS HAVE BEEN CAREFULLY PREPARED BY CAD PROFESSIONALS FOR CONSTRUCTION REFERENCES ONLY. AT ALL TIMES, THE CONTENTS OF THE CURRENT EXECUTED KEYCHOICE SUMMARY DOCUMENT TAKES PRECEDENCE IN DETERMINING THE SCOPE OF ALL CONTRACTUAL OBLIGATIONS.

JOB INFORMATION

COMMUNITY/LOT #:	ZhoFR2	SALES MANAGER:	Marian Klaips
CLIENT'S NAME(S):	Brittany & Robert Schuck		
PHONE NO. :	(828) 280-7169	PHONE NO. :	
SITE ADDRESS:	1612 Florence Rd Mount Airy, MD 21771		
DRAFTER:	RAS	LC DATE:	00/00/00
		FLC DATE:	00/00/00

DRAWING INDEX

CS1.0	COVER PAGE
A1.0	FRONT ELEVATION
A1.1	LIVING SIDE ELEVATION
A1.2	REAR ELEVATION
A1.3	GARAGE SIDE ELEVATION
P1.0	FIRST FLOOR PLAN
P1.1	SECOND FLOOR PLAN
P1.2	FOUNDATION PLAN
E1.0	ELECTRICAL LEGEND
E1.1	FIRST FLOOR ELECTRICAL
E1.2	SECOND FLOOR ELECTRICAL
E1.3	FOUNDATION ELECTRICAL
F1.0	FIRST FLOOR FLOORING
F1.1	SECOND FLOOR FLOORING
F1.1	SECOND FLOOR FLOORING
K1.0	KITCHEN
J1.0	FIRST FLOOR FRAMING
J1.1	SECOND FLOOR FRAMING
S1.0	SECTIONS
D1.0	PLAN SPECIFIC DETAILS
D1.1	PLAN SPECIFIC DETAILS
B1.0	FIRST FLOOR BRACING
B1.1	SECOND FLOOR BRACING

DETAILS

ALL DETAILS CAN BE LOCATED ONLINE UNDER KEYCHOICES. AFTER LOG IN, CLICK THE "PLAN DETAILS" HYPERLINK ON THE LEFT OF THE SIDEBAR. ALL DETAIL DOCUMENTS ARE PDF FORMAT.

aSchedule_DoorExterior	aSchedule_DoorInterior	aSchedule_Window			
aSchedule_Appliances1	All UD_Details	OP_E003	OP_E006		
OP_F020	OP_P001	OP_T021	ST_001	ST_006	ST_007
ST_008	ST_010	ST_022	ST_029	ST_032	ST_033
ST_024	ST_112	ST_113
...
...

LIVING SPACE SQ FT

STANDARD		JOB AS BUILT	
1ST FLOOR:	1721	1ST FLOOR:	1964
2ND FLOOR:	1937	2ND FLOOR:	1937
TOTAL	3658	TOTAL	3901
BASEMENT:	1721	BASEMENT:	1964
FIN. BSMT:	NA	FIN. BSMT:	313
GARAGE:	396	GARAGE:	436
PORCH:	36	PORCH:	187

INSPECTOR INFO:

THE DEPT. OF INSPECTIONS,
LICENSING AND PERMITS

HOWARD COUNTY
(410) 313-3800

INTERNATIONAL RESIDENTIAL CODE 2018

Please see "10.15 Community Standards" for more information.

ONLY LOCATION-SPECIFIC OPTIONS ARE SHOWN ON THESE DRAWINGS. PLEASE REFER TO "KEYCHOICE SUMMARY" AND/OR "PURCHASE ORDER(S)" FOR COMPLETE LISTING OF OPTIONS.

DRAFTER "LC" QUESTIONS TO SM:



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 50358, Expiration Date: 12-12-2022.

PLAN REVISIONS - FOR DRAFTER USE ONLY

DATE INITIALS	REVISION	SHEET(S) REVISED	DATE INITIALS	REVISION	SHEET(S) REVISED
...
...
...
...
...

BUYERS SIGNATURE

X

X

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227 GRANITE RUN DRIVE, SUITE 100
LANCASTER, PENNSYLVANIA 17601
PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystonecustomhome.com



KEYSTONE CUSTOM HOMES, INC.

SHEET DESCRIPTION: COVER PAGE
MODEL: ZHOFR2
SCHUCK

UPDATED: OCT 11 2021
SCALE: AS NOTED
DRAWN BY: T.BEMONT

SHEET NO. CS1.0
PLAN ID: ahw 20

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 LANCASTER, PENNSYLVANIA 17601
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 www.keystoncustomhome.com



KEYSTONE CUSTOM HOMES, INC.

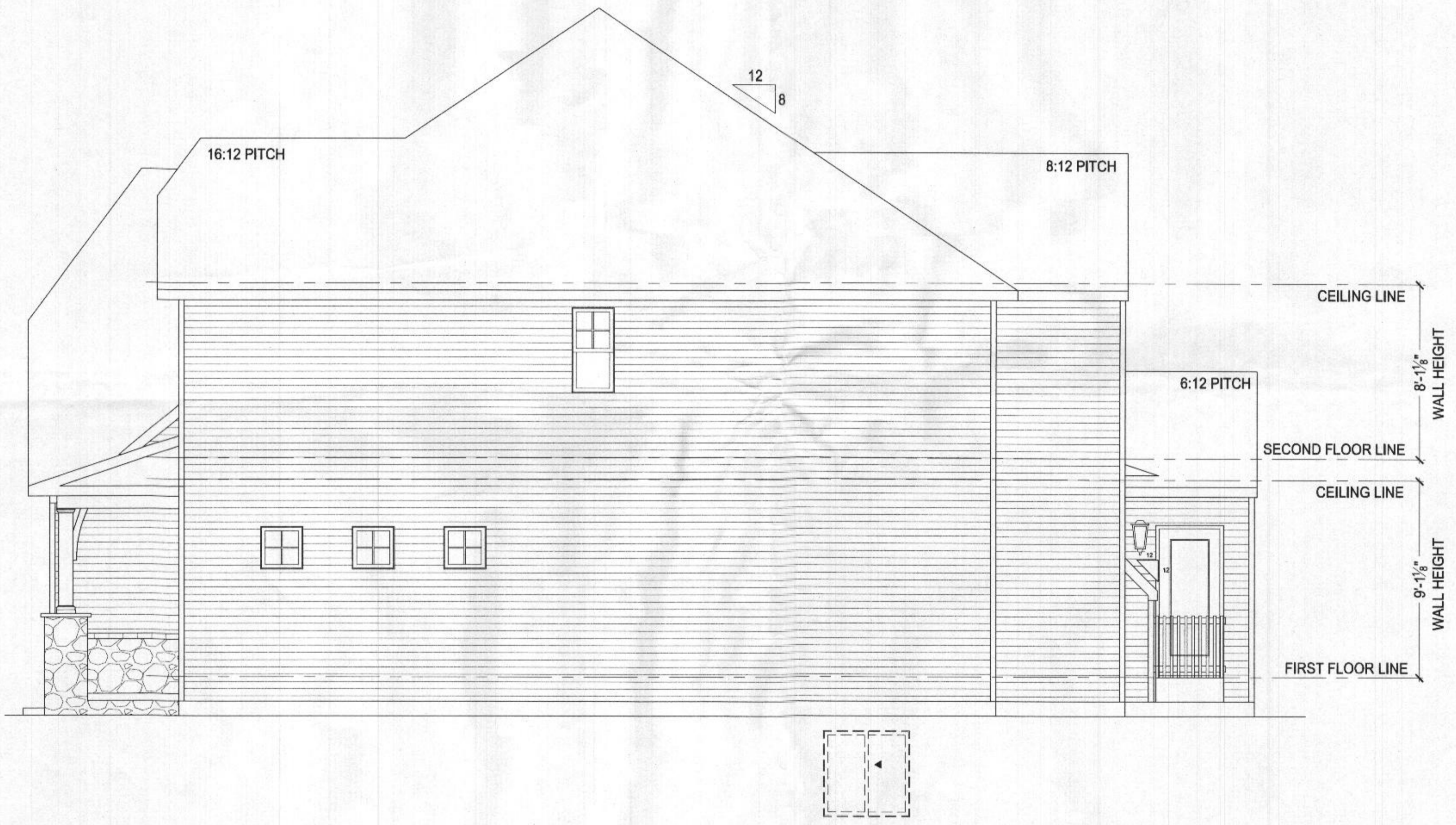


FRONT ELEVATION
 SCALE: 1/4" = 1'-0"



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 50358, Expiration Date: 12-12-2022

SHEET DESCRIPTION:	FRONT ELEVATION
MODEL:	ZHOFR2 SCHLUCK
UPDATED:	OCT 11 2021
SCALE:	AS NOTED
DRAWN BY:	T. BEMONT
SHEET NO.:	A1.0
PLATID:	ahw 20



LIVING SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystonecustomhome.com



KEYSTONE CUSTOM HOMES, INC.

SHEET DESCRIPTION: LIVING SIDE ELEVATION
MODEL: ZHOFR2 SCHUCK

UPDATED: OCT 11 2021
SCALE: AS NOTED
DRAWN BY: T.BEMONT

SHEET NO. **A1.1**
PEAR ID: a h w 20



GARAGE SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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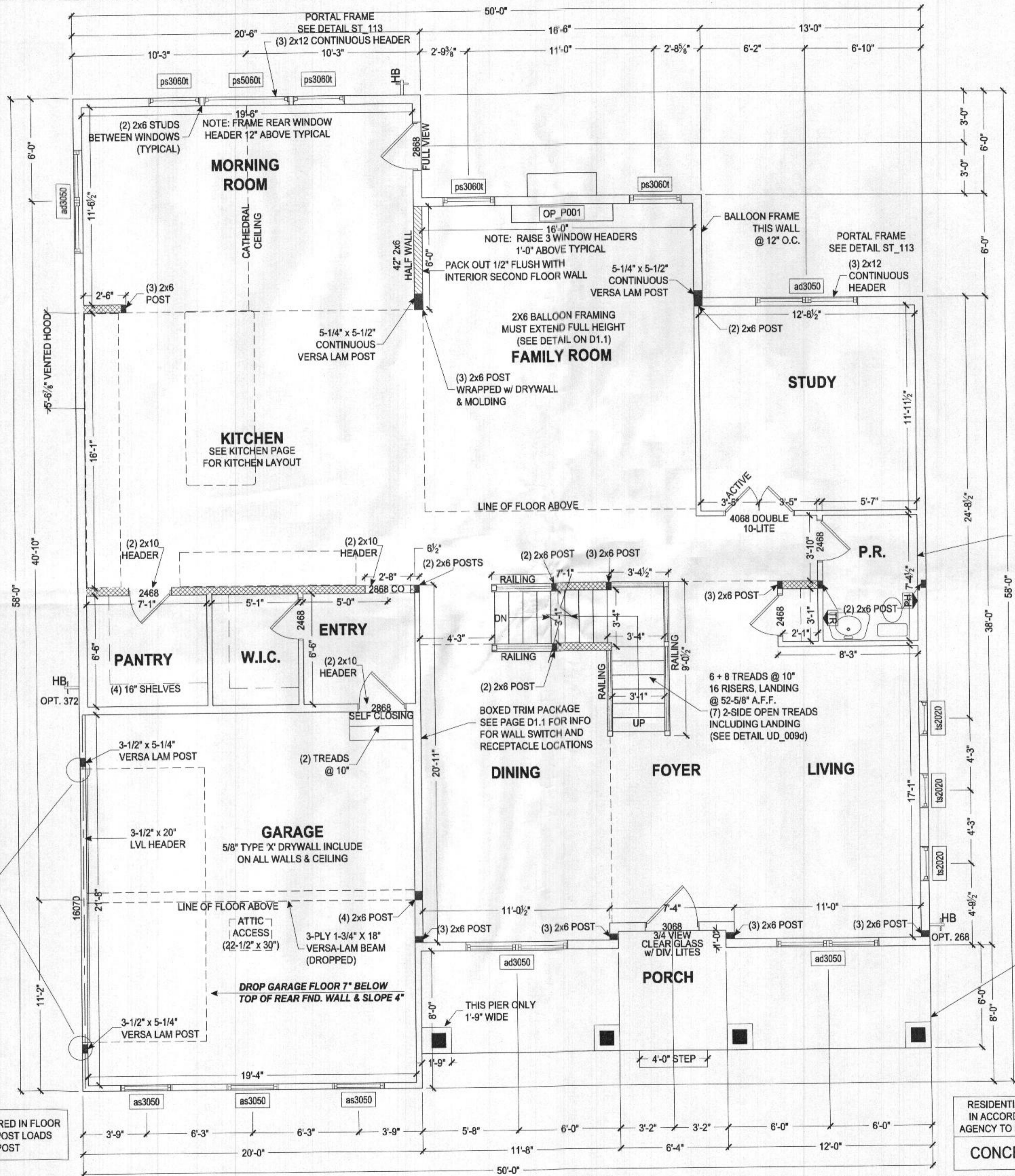
KEYSTONE CUSTOM HOMES, INC.

SHEET DESCRIPTION	GARAGE SIDE ELEVATION
MODEL	ZHOFR2 SCHUCK
UPDATED:	OCT 11 2021
SCALE:	AS NOTED
DRAWN BY:	T.BEMONT

SHEET NO.
A1.3
PLANTED
ahw 20

ALL EXTERIOR WALLS ARE 100% CONTINUOUS STRUCTURAL SHEATHING (METHOD #3, PER ST_112)

- GYPSUM BOARD, TWO SIDES (METHOD #5, PER ST_111)
- INTERIOR HALF WALL
- 2 x 6 INTERIOR WALL
- FRAMING POST



SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POST LOADS SAME SIZE AS POST

RESIDENTIAL SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH THE 2018 IRC. THIRD PARTY AGENCY TO PROVIDE DRAWINGS AND INSTALL SYSTEM.

CONCEALED SPRINKLER HEADS



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 50358, Expiration Date: 12-12-2022

NOTE:
-WIDE INTERIOR TRIM PACKAGE
-ALLOW 4" FOR ALL WINDOW/DOOR HEADER TRIM

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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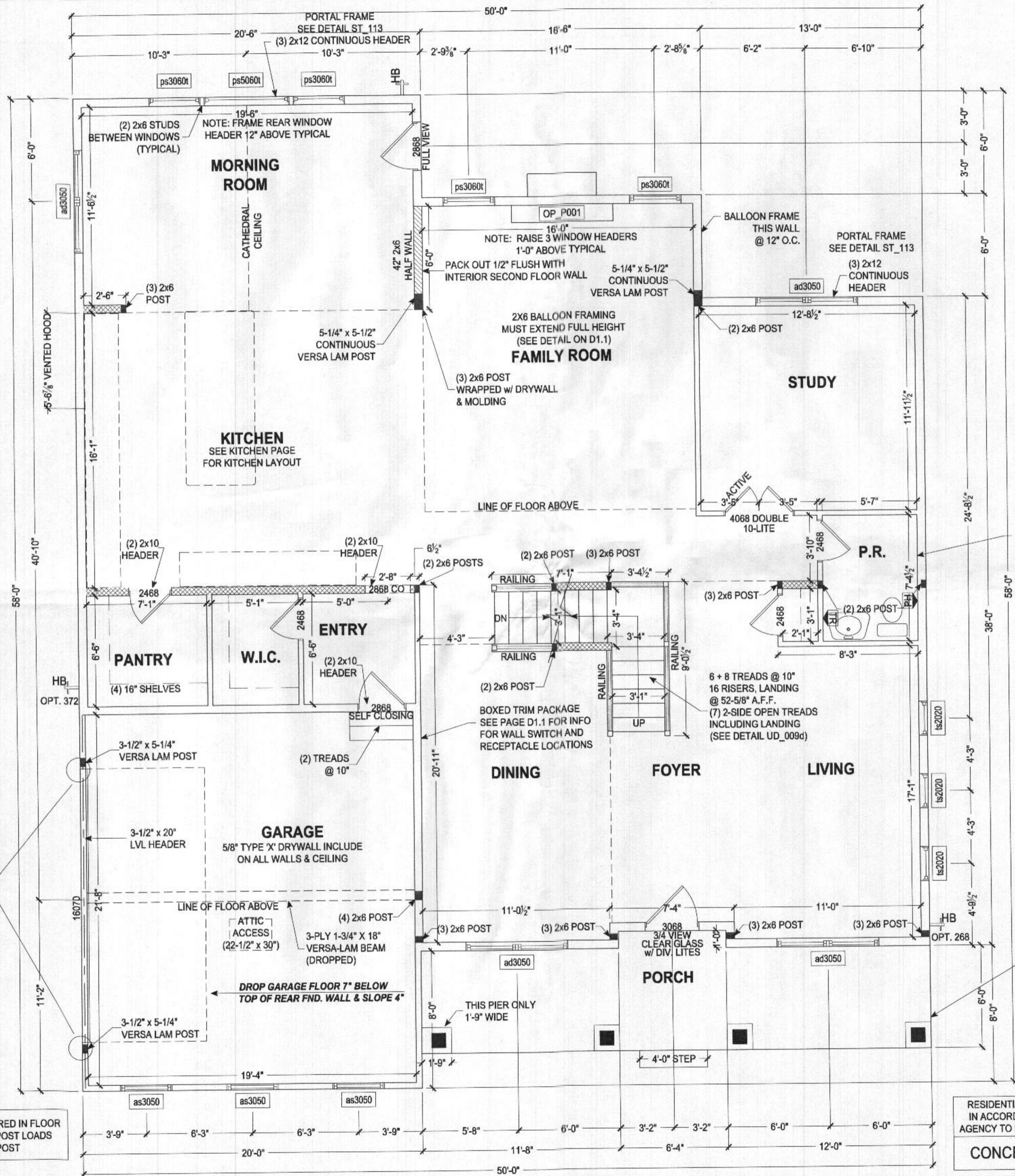


KEYSTONE CUSTOM HOMES, INC.

SHEET DESCRIPTION: FIRST FLOOR PLAN
MODEL: ZHOFR2 SCHUCK
UPDATER: OCT 11 2021
SCALE: AS NOTED
DRAWN BY: T.BEMONT
SHEET NO. P1.0
PLAN: ahw 20

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