

LIVING SIDE ELEVATION
SCALE 3/8" = 1'-0"

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LANCASTER, PENNSYLVANIA 17601
PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystonectustomhomes.com



KEYSTONE CUSTOM HOMES, INC.



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PROJECT DESCRIPTION	LIVING SIDE ELEVATION
MODEL	MR-4019
DESIGNER	SINGH / TRIPATHI
DATE	APR 5 2021
SCALE	AS NOTED
DESIGNER	M.HERSHEY
PROJECT NO.	A1.1
SCALE	as 10



REAR ELEVATION
SCALE 3/8" = 1'-0"

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LANCASTER, PENNSYLVANIA 17601
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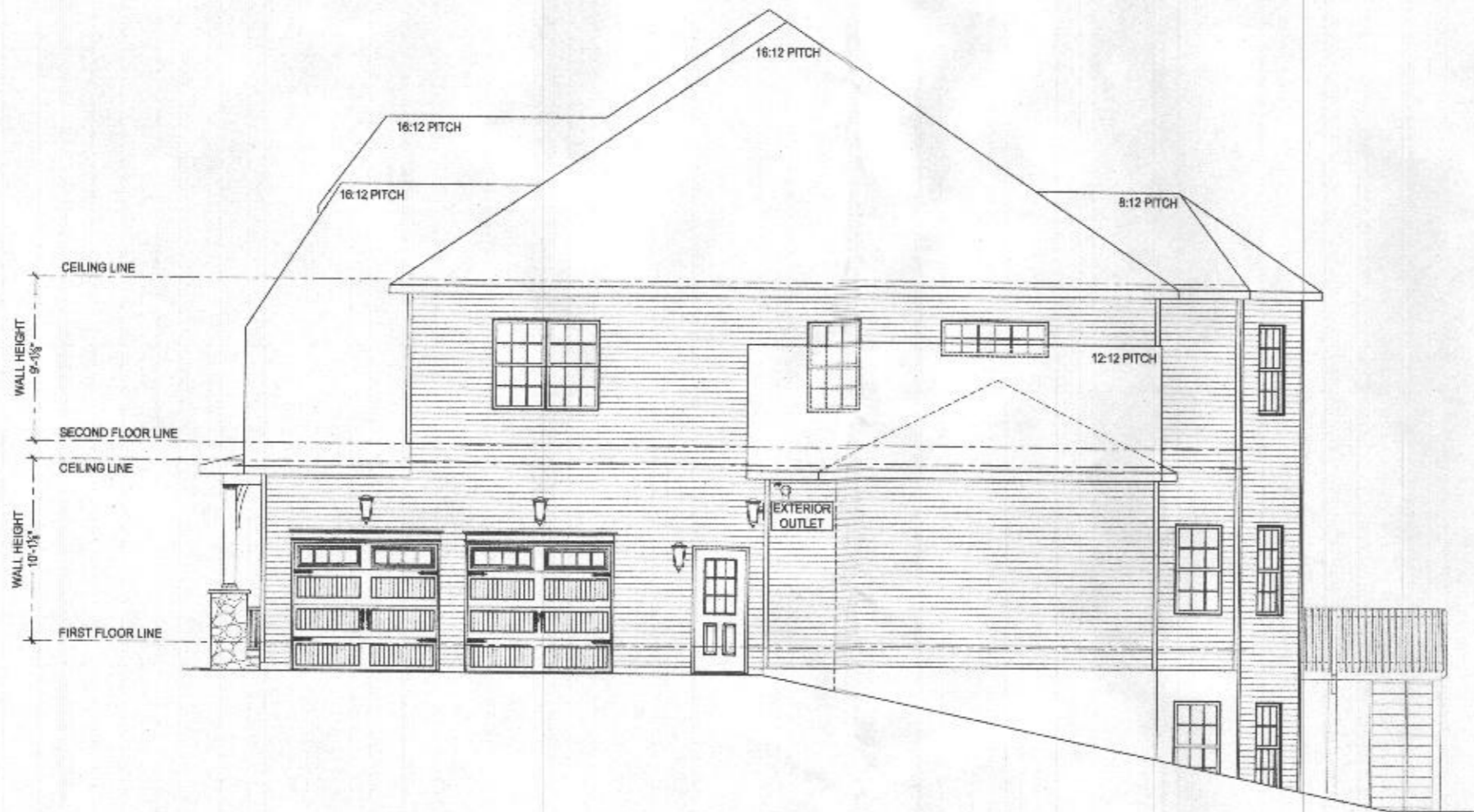


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SHEET / DESCRIPTION	REAR ELEVATION
DATE	APR 5 2021
AS NOTED	
DRAWN BY	M. HERSHKEY
CHECKED BY	
FILE NO.	A12
ADS	10



GARAGE SIDE ELEVATION
SCALE: 3/8" = 1'-0"



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LANCASTER, PENNSYLVANIA 17601
PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystonecustomhome.com



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SHEET DESCRIPTION: GARAGE SIDE ELEVATION
NAME: MRS019 SINGH / TRIPATHI

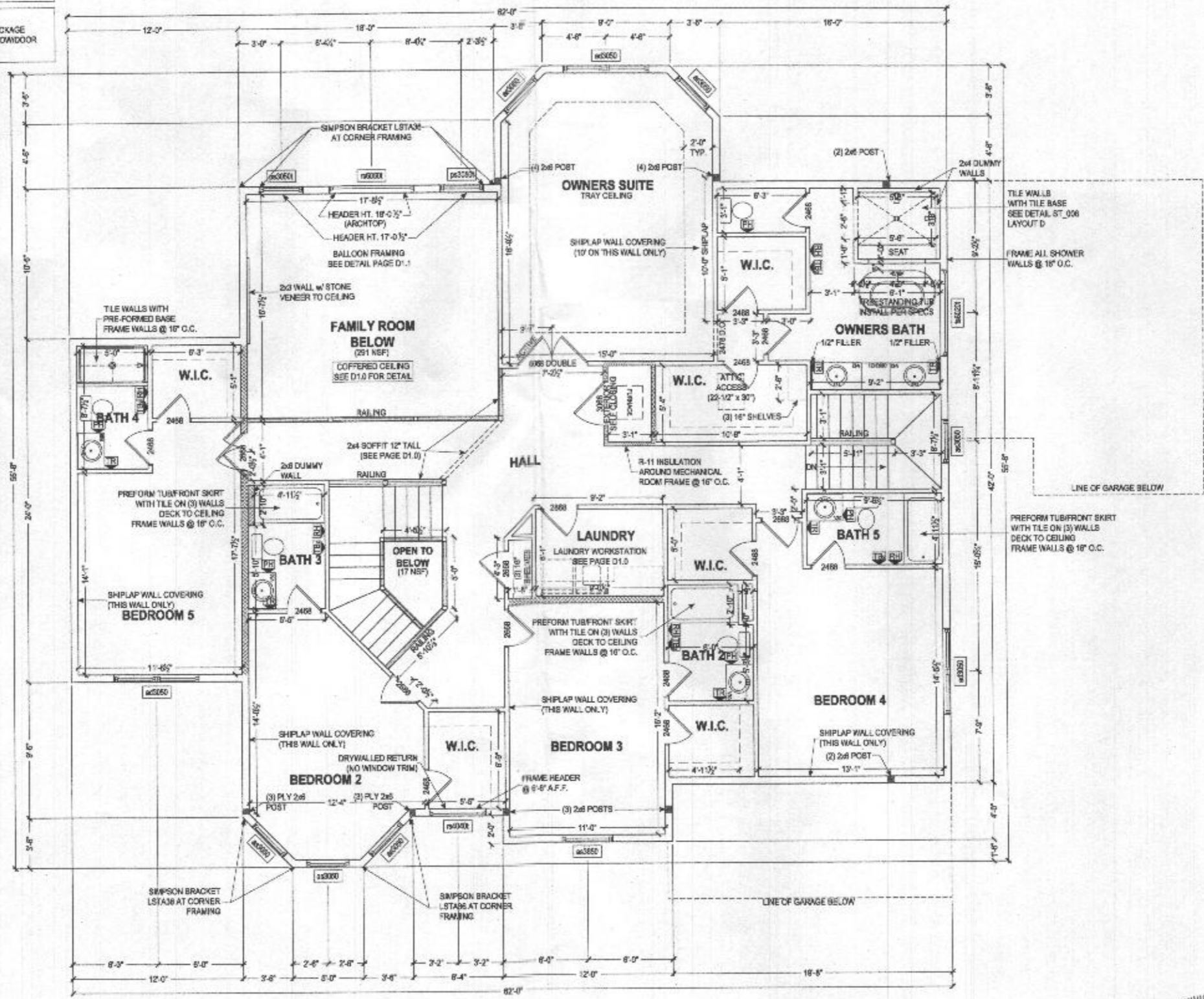
DATE: APR 5 2021
SCALE: AS NOTED
DRAWN BY: M. HERSHEY

SCALE: 1/8" = 1'-0"
A13
PLOT: ads10

SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

NOTE:
WIDE INTERIOR TRIM PACKAGE
ALLOW 4" FOR ALL WINDOW/DOOR HEADER TRIM

ALL BATHROOMS TO HAVE TALL VANITIES



SECOND FLOOR PLAN
SCALE 3/8" = 1'-0"

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LANCASTER, PENNSYLVANIA 17601
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KEYSTONE CUSTOM HOMES, INC.



PROJECT NO.	SECOND FLOOR PLAN
DATE	APR 5 2021
SCALE	AS NOTED
DRAWN BY	M. HERSHEY
CHECKED BY	M. HERSHEY
PROJECT NO.	MR0019
CLIENT	SINGH / TRIPATHI
SHEET NO.	PL1
PLAN NO.	ads10

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ALL EXTERIOR WALLS ARE 100% CONT. STRUCTURAL BRACING (METHOD NO. PER ST-312)

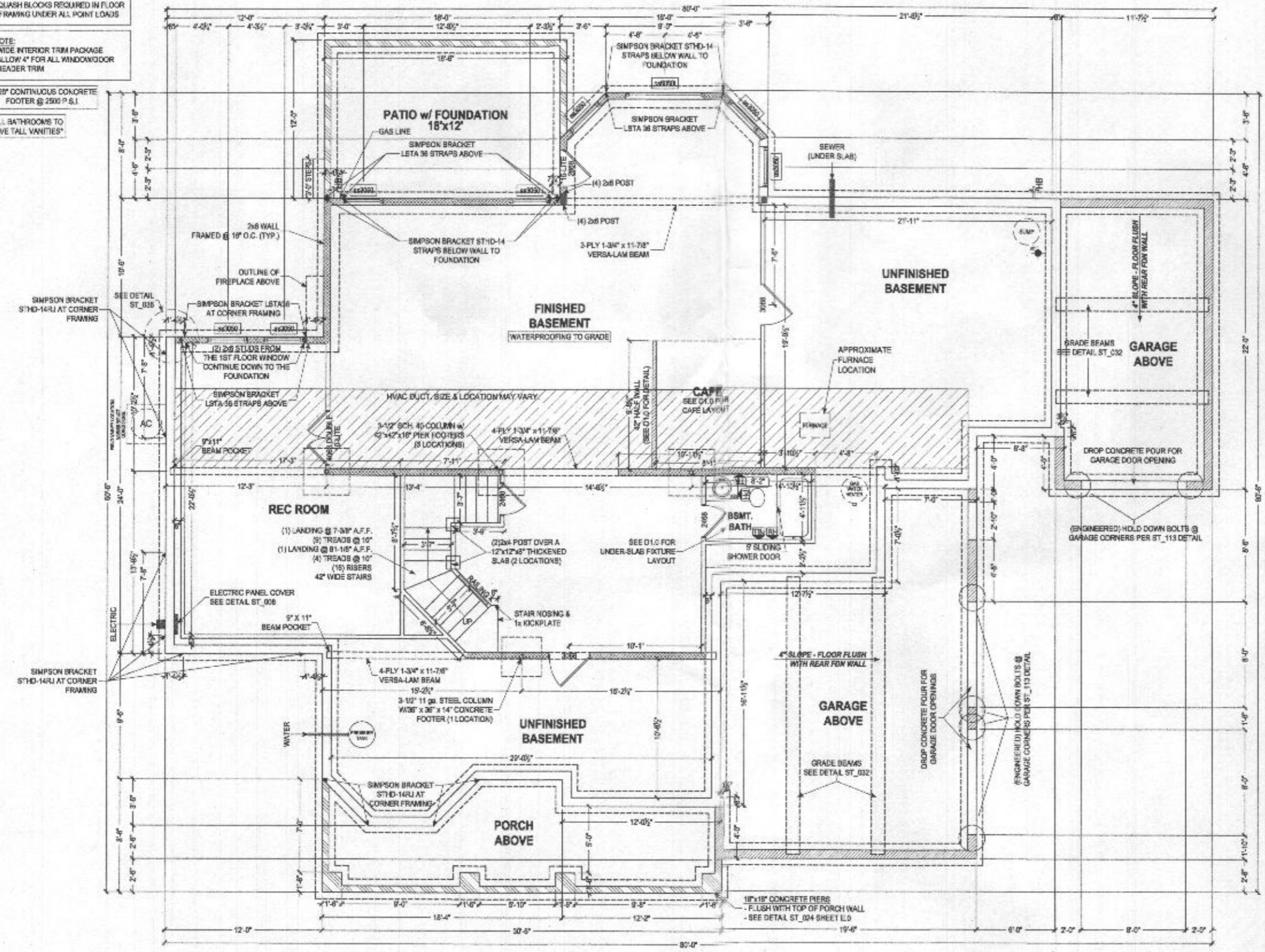
2x4 INTERIOR WALL	INTERIOR HALF WALL	FRAMING POST
-------------------	--------------------	--------------

SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

NOTE:
WIDE INTERIOR TRIM PACKAGE - ALLOW 4" FOR ALL WINDOW/DOOR HEADER TRIM

7"x21" CONTINUOUS CONCRETE FOOTER @ 2500 P.S.I.

ALL BATHROOMS TO HAVE TALL VANITIES



FOUNDATION PLAN
SCALE: 3/8" = 1'-0"

8" THICK POLURED CONCRETE WALLS
9'-0" HIGH MAIR HOUSE BASEMENT WALLS STANDARD

8" THICK POLURED CONCRETE WALLS
CHECK P.D. FOR WALL HEIGHT OF CRAWL SPACE AND GARAGE WALLS

8" THICK POLURED CONCRETE WALLS
CHECK P.D. FOR WALL HEIGHT OF FRONT PORCH WALLS



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NOTE TO HOMEOWNERS:
LOCATIONS SHOWN FOR HVAC, PLUMBING, AND OTHER MECHANICAL ITEMS WILL BE USED IF POSSIBLE. ACTUAL PLACEMENT OF FURNACE, WATER HEATER, SUMP PUMP, ETC. MAY VARY DUE TO INDIVIDUAL SITE REQUIREMENTS.

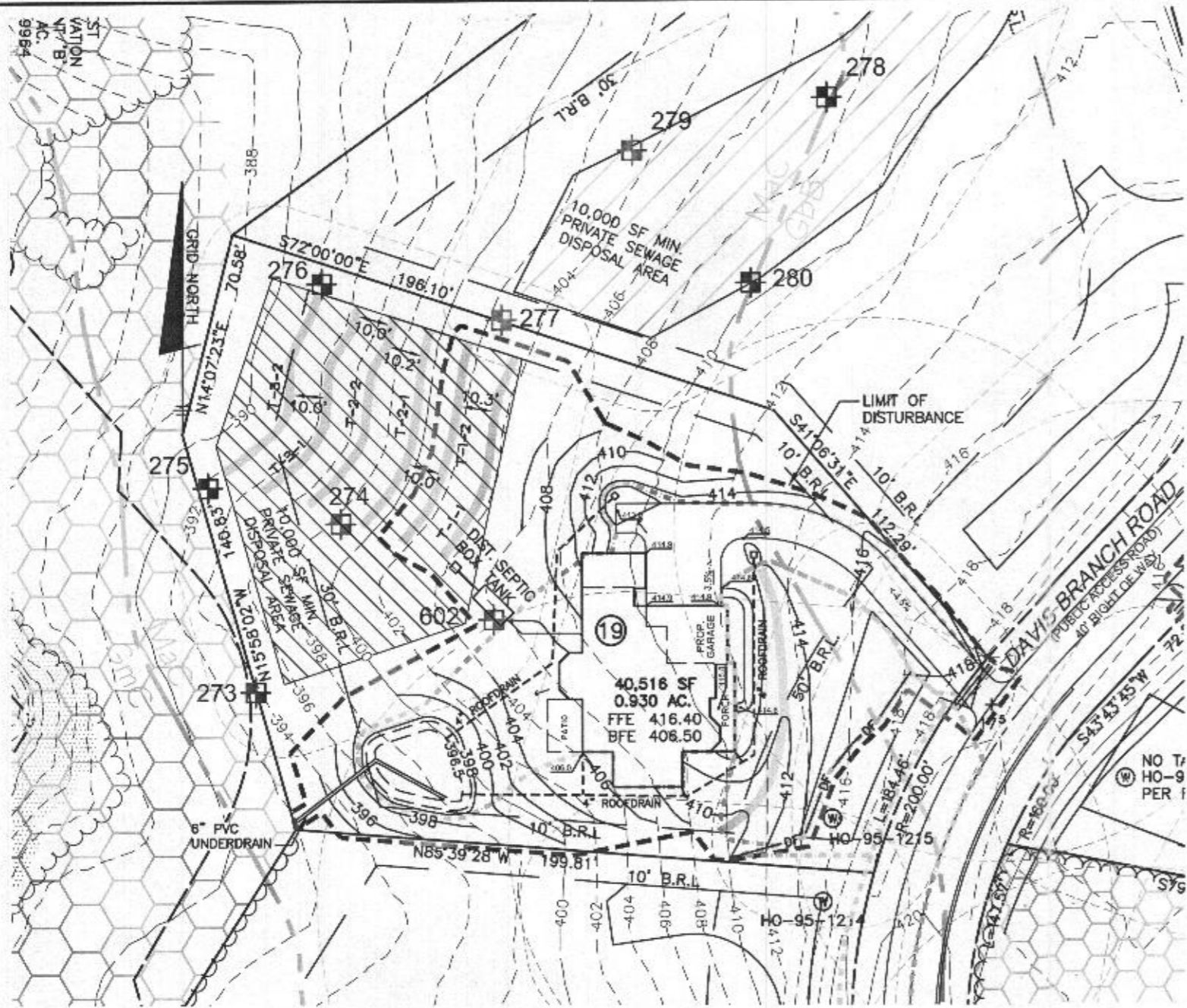
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LANCASTER, PENNSYLVANIA 17601
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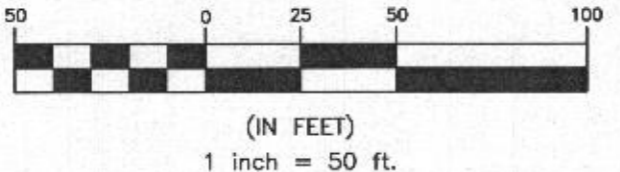
PROJECT/DESCRIPTION	FOUNDATION PLAN
DATE	MR#019
DESIGNER	SINGH / TRIPATHI
DATE	APR 5 2021
SCALE	AS NOTED
DRAWN BY	MHERSHEY
CHECKED BY	P.L.2
SCALE	ads 10



PLAN VIEW
1" = 50'

BUILDER'S DATA

FINISHED FLOOR:	416.4
BASEMENT FLOOR:	406.5
TOP OF WALL:	415.2
BASEMENT SUBGRADE:	405.6
GARAGE FLOOR:	415.2
GARAGE LIP:	414.9



OWNER/BUILDER:
KEYSTONE CUSTOM HOMES, INC.
227 GRANITE RUN DR.
SUITE 100
LANCASTER, PA 17601
717-464-9060

BENCHMARK
ENGINEERS & LAND SURVEYORS & PLANNERS
ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE & SUITE 315
ELLCOTT CITY, MARYLAND 21043
(P) 410-485-8105 & (F) 410-465-6644
WWW.BEI-CIVILENGINEERING.COM

GENERAL NOTES

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR THE MYRTUE PROPERTY, PLAT No. 23865. REFER TO THE PLATS FOR LOT DIMENSIONS, LOT AREAS, ALL EASEMENTS AND CONDITIONS.
2. SEDIMENT AND EROSION CONTROLS WERE APPROVED BY HOWARD SOIL CONSERVATION DISTRICT UNDER GP-21-
3. TOPOGRAPHY SHOWN HEREON IS TAKEN FROM THE APPROVED ROAD CONSTRUCTION PLANS F-06-104, PREPARED BY DAFT, McCUNE WALKER, INC. SEPT. 2007.
4. ALL SEDIMENT AND EROSION CONTROL FEATURES USED ON THIS SITE SHALL COMPLY WITH THE 2011 MARYLAND STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL.
5. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED ROAD CONSTRUCTION PLANS EXCEPT AS WAIVED.
6. THE EXISTING WELL SHOWN ON THIS PLAN, HO-95-1215, WAS FIELD LOCATED BY DMW, AND IS BELIEVED TO BE ACCURATELY SHOWN.
7. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
8. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
9. STORMWATER MANAGEMENT FOR THIS LOT IS PROVIDED BY ONE MICRO-BIRETENTION (MDE M-6) AND NON-ROOFTOP DISCONNECTIONS (MDE N-2).
10. RAINWATER SHALL BE CONVEYED TO THE SWM FACILITY WITH 4" OR 6" ROOF LEADERS AND YARD DRAINS, AS SHOWN.

LEGEND

- 400 PROPOSED CONTOURS
- 398 EXISTING CONTOURS
- 400 EXISTING PRIVATE SEWAGE DISPOSAL AREA
- EXISTING WELL BOX
- PROPOSED TREELINE
- EXISTING TREELINE
- SOILS MAP SYMBOL
- SOILS DELINEATION LINE
- PERC TEST PASSED
- PERC TEST FAILED
- SUPER SILT FENCE
- LIMIT OF DISTURBANCE
- STABILIZED CONSTRUCTION ENTRANCE
- DIVERSION FENCE

Approved Septic System Plan
Howard County Health Department
5-bedroom SFD approved
SFDs approved for 7-Bedrooms
R. Bricker 2/15/2021
Signature D. D. D. 21002484

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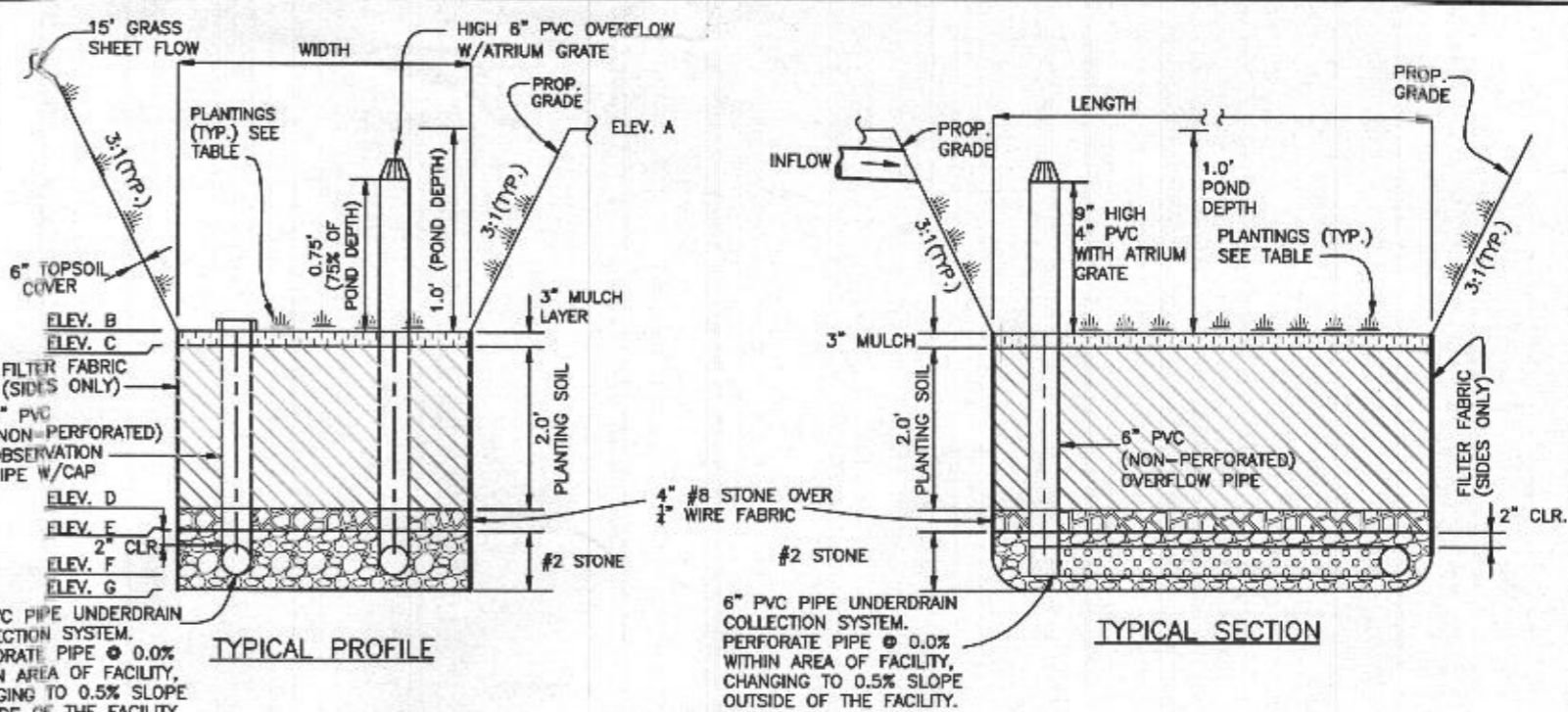
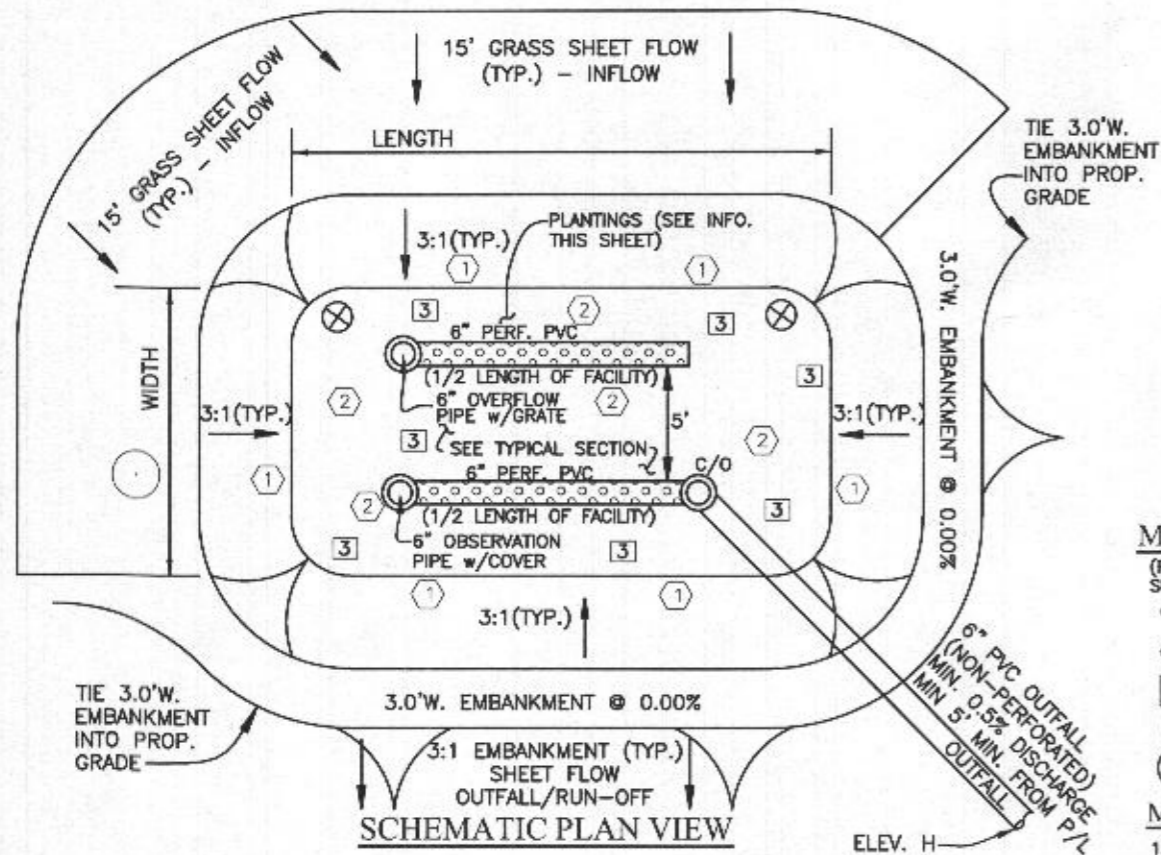
AAM-BEI

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PROJECT: MYRTUE PROPERTY LOT 19	
LOCATION: TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1927 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352404	
TITLE: BUILDING PERMIT PLAN	
HOUSE TYPE: CUSTOM - KEYSTONE HOMES	
DATE: MAY, 2021	PROJECT NO. 2099
SCALE: AS SHOWN	DRAWING 1 OF 2

ON-LOT BIORETENTION DIMENSIONS

Practice	#	A	B	C	D	E	F	G	H	LENGTH	WIDTH	FILTER AREA	PLANTINGS			LINER
													1	2	3	
(M-6) Micro-Bioretenion	19	397.50	396.50	396.25	394.25	393.92	393.42	392.50	392.20	34	24	534	18	18	24	YES



MICROBIORETENTION PLANTING SCHEDULE

- (PLANTING SPECIES AND DENSITY CAN BE CHANGED OR SUBSTITUTED BY A LANDSCAPE ARCHITECT OR QUALIFIED DESIGNER)
- 1 IRIS FULVA (COPPER IRIS)
 - 2 LOBELIA CARDINALIS (CARDINAL FLOWER)
 - 3 RUDBECKIA SUBTOMENTOSA (SWEET CONEFLOWER)
 - ⊗ CALLUNA VULGARIS (HEATHER) (1 PER FACILITY)
 - ACER GINNALA (ARMUR MAPLE) (1 PER FACILITY)

MICROBIORETENTION PLANTING DATA

- PLANTINGS WITHIN THE PONDING AREA OF THE FACILITY ARE TO BE OF A MEDIUM TO HIGH WATER TOLERANCE
- PLANTINGS ALONG THE PERIMETER (BERM) AREA OF THE FACILITY ARE TO BE OF A LOW TO MEDIUM WATER TOLERANCE
- AVOID PLANTINGS WITH EXCESSIVE ROOT MASS IN POND AREA OF THE RAIN GARDEN NEAR O.B. PIPE AND UNDERDRAIN.

MICRO-BIORETENTION DETAILS

- NOT TO SCALE
- OPERATION AND MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION (M-6)
- THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL VOLUME II, TABLE A.4.1 AND 2.
 - THE OWNER SHALL PERFORM A PLANT INSPECTION IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT, REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL, TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
 - THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
 - THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

MATERIALS & SPECIFICATIONS FOR MICRO-BIORETENTION

MATERIAL	SPECIFICATION	SIZE	NOTES:
PLANTINGS	SEE APPENDIX A; TABLE A.4	N/A	PLANTINGS ARE SITE SPECIFIC
PLANTING SOIL (2.0' TO 4.0' DEEP)	LOAMY SAND 60-65% COMPOST 35-40% OR SANDY LOAM 30% COARSE SAND 30% & COMPOST 40%	N/A	USDA SOIL TYPES: LOAMY SAND OR SANDY LOAM; CLAY CONTENT <5%
ORGANIC CONTENT	MIN 10% BY DRY WEIGHT ASTM D 2974		
MULCH	SHREDDED HARDWOOD	N/A	AGED 6 MONTHS, MINIMUM, NO PINE OR WOOD CHIPS
GEOTEXTILE (CLASS "C")		N/A	PE TYPE 1 NONWOVEN
GEOTEXTILE (1/4" WIRE MESH)		1/4" WIRE MESH	1/4" WIRE MESH
UNDERDRAIN GRAVEL	AASHTO M-43	NO. 57 OR NO. 6 0.375" TO 0.750"	
UNDERDRAIN PIPING	F758, TYPE PS2B OR AASHTO M-278	4" TO 6" RIGID SCH.40 PVC, SDR35 OR HDPE	3/8" PERF. @ 6" O/C, 4 HOLES PER ROW; MINIMUM OF 3" OF GRAVEL OVER PIPES, NOT NECESSARY UNDERNEATH PIPES. PIPE SHALL BE WRAPPED WITH 1/4-INCH GALVANIZED HARDWARE CLOTH
IMPERVIOUS LINER	ASTM-D-4833 (THICKNESS) ASTM-D-412 (TENSILE STRENGTH 1,100 LB., ELONGATION 200%) ASTM-D-624 (TEAR RESISTANCE - 150 LB./IN) ASTM-D-471 (WATER ADSORPTION: +8 TO -2% MASS)	30 MIL. THICK	LINER TO BE ULTRAVIOLET RESISTANT. A GEOTEXTILE FABRIC SHOULD BE USED TO PROTECT THE LINER FROM PUNCTURE.
GEOTEXTILE (BELOW IMPERV. LINER)	ASTM-D-4833 (PUNCTURE STRENGTH 125LB) ASTM-D-4632 (TENSILE STRENGTH 300 LB.)		

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ENGINEERS & LAND SURVEYORS & PLANNERS

ENGINEERING, INC.
8480 BALTIMORE NATIONAL PIKE SUITE 315
ELLCOTT CITY, MARYLAND 21043
(P) 410-465-8105 (F) 410-465-6644

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KEYSTONE CUSTOM HOMES, INC.
227 GRANITE RUN DR.
SUITE 100
LANCASTER, PA 17601
717-464-9060

PROJECT:	MYRTUE PROPERTY LOT 19	
LOCATION:	TAX MAP: 10, GRID: 24, PARCEL: 225, ZONED: RC-DEO 1927 DAVIS BRANCH RD. WOODSTOCK, MD 21163 6TH ELECTION DISTRICT, HOWARD COUNTY, MD, TAX ID 352404	
TITLE:	BUILDING PERMIT PLAN	
HOUSE TYPE:	CUSTOM - KEYSTONE HOMES	
DATE:	MAY, 2021	PROJECT NO. 2099
SCALE:	AS SHOWN	DRAWING <u>2</u> OF <u>2</u>