

1. The contractor shall maintain access to all existing utilities... 2. The contractor shall maintain access to all existing utilities...

3. The contractor shall maintain access to all existing utilities... 4. The contractor shall maintain access to all existing utilities...

5. The contractor shall maintain access to all existing utilities... 6. The contractor shall maintain access to all existing utilities...

7. The contractor shall maintain access to all existing utilities... 8. The contractor shall maintain access to all existing utilities...

9. The contractor shall maintain access to all existing utilities... 10. The contractor shall maintain access to all existing utilities...

11. The contractor shall maintain access to all existing utilities... 12. The contractor shall maintain access to all existing utilities...

13. The contractor shall maintain access to all existing utilities... 14. The contractor shall maintain access to all existing utilities...

15. The contractor shall maintain access to all existing utilities... 16. The contractor shall maintain access to all existing utilities...

17. The contractor shall maintain access to all existing utilities... 18. The contractor shall maintain access to all existing utilities...

19. The contractor shall maintain access to all existing utilities... 20. The contractor shall maintain access to all existing utilities...

21. The contractor shall maintain access to all existing utilities... 22. The contractor shall maintain access to all existing utilities...

23. The contractor shall maintain access to all existing utilities... 24. The contractor shall maintain access to all existing utilities...

25. The contractor shall maintain access to all existing utilities... 26. The contractor shall maintain access to all existing utilities...

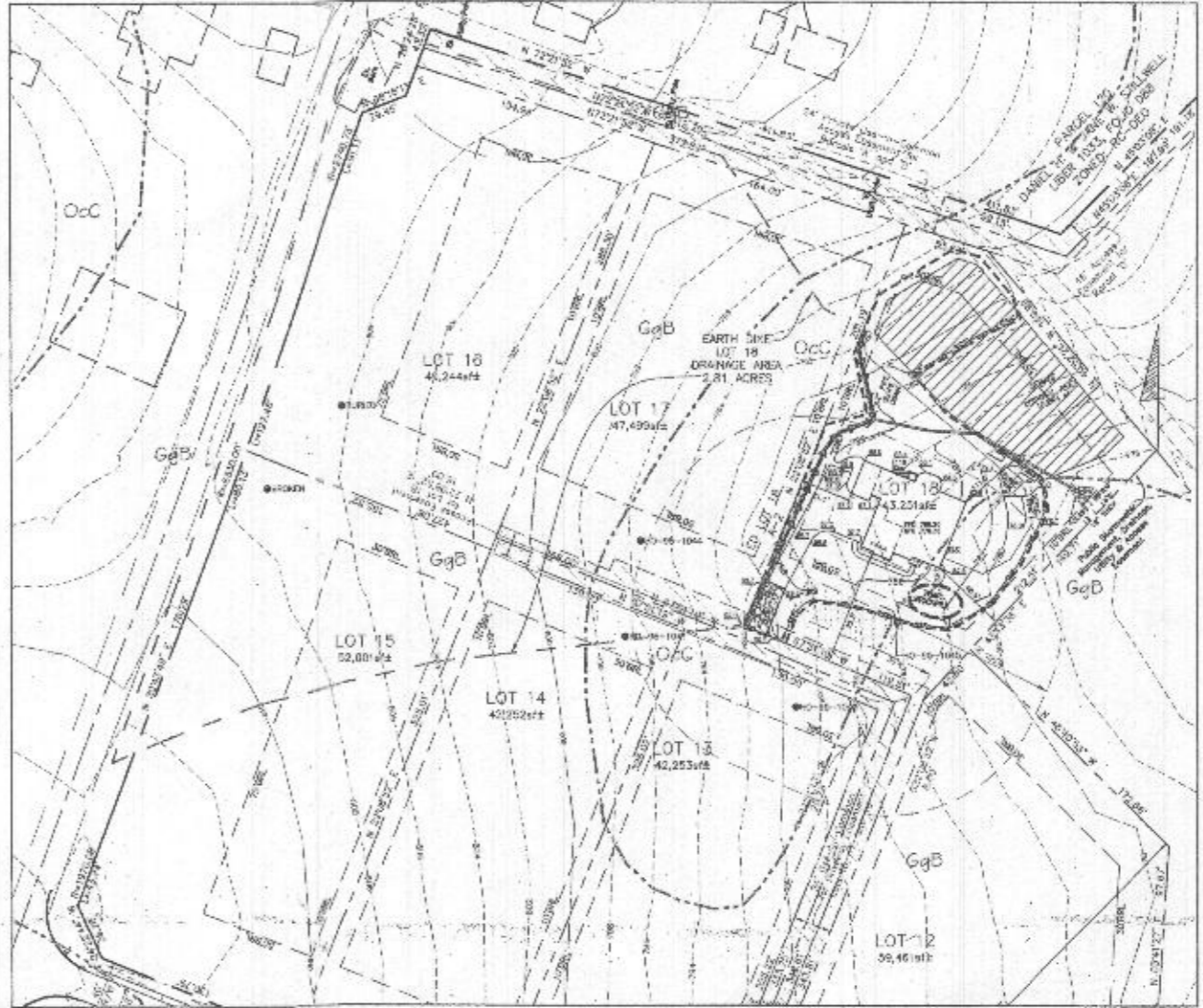
27. The contractor shall maintain access to all existing utilities... 28. The contractor shall maintain access to all existing utilities...

29. The contractor shall maintain access to all existing utilities... 30. The contractor shall maintain access to all existing utilities...

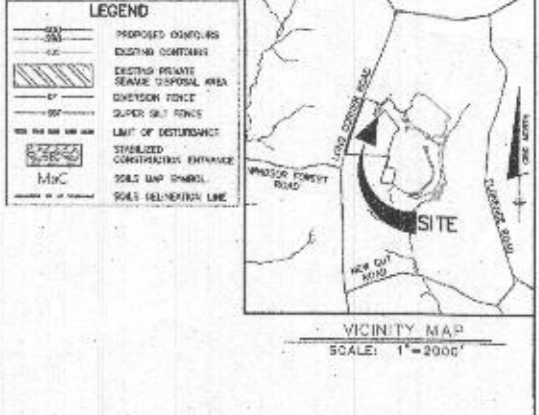
31. The contractor shall maintain access to all existing utilities... 32. The contractor shall maintain access to all existing utilities...

33. The contractor shall maintain access to all existing utilities... 34. The contractor shall maintain access to all existing utilities...

35. The contractor shall maintain access to all existing utilities... 36. The contractor shall maintain access to all existing utilities...



PLAN VIEW 1" = 50'



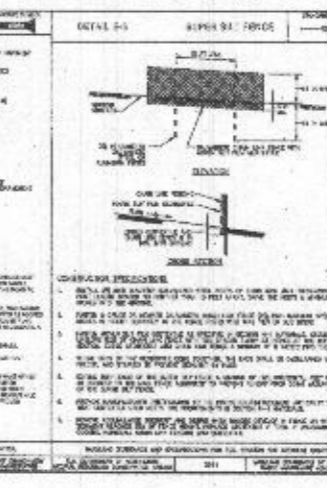
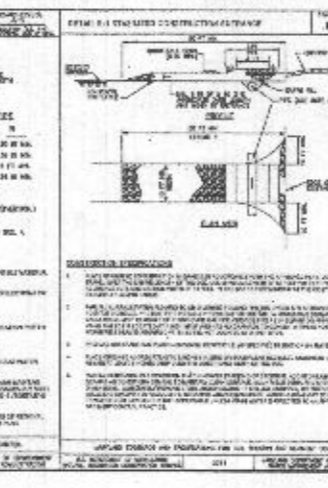
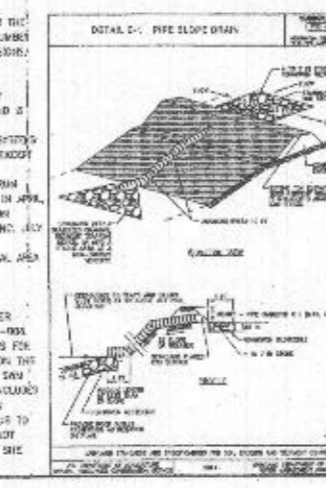
HOWARD SOIL CONSERVATION DISTRICT (HSCD) STANDARD SEDIMENT CONTROL NOTES

- 1. A pre-weathering meeting must occur... 2. All erosion control measures... 3. Erosion control measures... 4. Erosion control measures...

Table A.1: Temporary Scheduling for Site Construction. Includes columns for Activity, Duration, and Scheduling. Also includes a Gantt chart showing the sequence of construction activities.

SEQUENCE OF CONSTRUCTION. Lists construction steps from 1 to 16, including site preparation, foundation work, and final grading.

GENERAL NOTES. 1. THE LOT 18 AREA HEREIN WAS RECORDED ON THE PLAN FOR WINDSOR FOREST... 2. THERE ARE NO EXISTING UTILS ON THIS SITE...



BENCHMARK ENGINEERING, INC. logo and contact information.

WINDSOR FOREST KNOLLS LOT 18. Project title, owner/builder information, and permit details.

cover seed with soil in a fashion as to not be firm after

Apply half the

cludes seed and

lication rates should be total of soluble K₂O (potassium)

s per acre may be tons are applied by rotated lime when

without interruption,

oy and reasonably specified in the i, or excessively dusty. ies of grass is desired. eared wood cellulose

in the package that will inspection of the

n or growth inhibiting

essed in such a ll remain in uniform lend with seed, neous slurry. The i cover, on application, oerities and must soil without inhibiting

ounds at

ulments: fiber length roximately 1 millimeter, ent maximum and

ata of 2 tons per acre to a uniform distribution and depth choring tool, increase the

eight of 1500 pounds per s with a maximum of 50 pounds

h to minimize loss by wind sted by preference), depending

esigned to punch and anchor . This practice is most effective re equipment can operate safely, / the contour.

. Apply the fiber binder at a net cellulose fiber with water at a r 100 gallons of water. CA-70, Petrosel, Terra Tex), sed. Follow application rates as d binders needs to be heavier at valleys and on crests of banks.

ulch according to manufacturer rolls 4 to 15 feet wide and 300 to



PARCEL 120
 DANIEL H. & JANE W. STILLWELL
 LIBER 1033, FOLIO 088
 ZONED RC-DEO
 N 45°03'08" E 187.99'
 N 45°03'08" E 191.18'

16' Access Easement for Parcel 120

24' Private Use-in-Common Access Easement for Parcels 'A' and 'D'

Public Stormwater Management, Drainage Utility & Access Easement

EARTH DIKE LOT 18 DRAINAGE AREA 2.81 ACRES

LOT 16 49,244sf±

LOT 17 47,499sf±

LOT 18 43,251sf±

LOT 15 52,001sf±

LOT 14 42,252sf±

LOT 13 42,253sf±

LED LOT 18 A-2

N 20°43'49" E 176.29'

R=6530.00' L=80.13'

R=2740.73' L=91.11'

N 22°08'52" E 165.52'

N 72°21'52" W 154.94'

N 72°21'52" W 372.57'

N 22°08'52" E 258.00'

N 67°51'19" W 130.00'

N 67°51'19" W 130.00'

N 67°51'19" W 112.51'

N 43°13'36" E 212.51'

N 100° 42.80'

N 45°40'53" W 172.66'

N 40°32'21" W 169.71'

N 45°03'08" E 187.99'

N 45°03'08" E 191.18'

N 22°08'52" E 16.00'

N 22°08'52" E 427.08'

N 22°08'52" E 165.52'

N 22°08'52" E 165.52'

N 22°08'52" E 165.52'

N 22°08'52" E 165.52'

N 22°08'52" E 165.52'

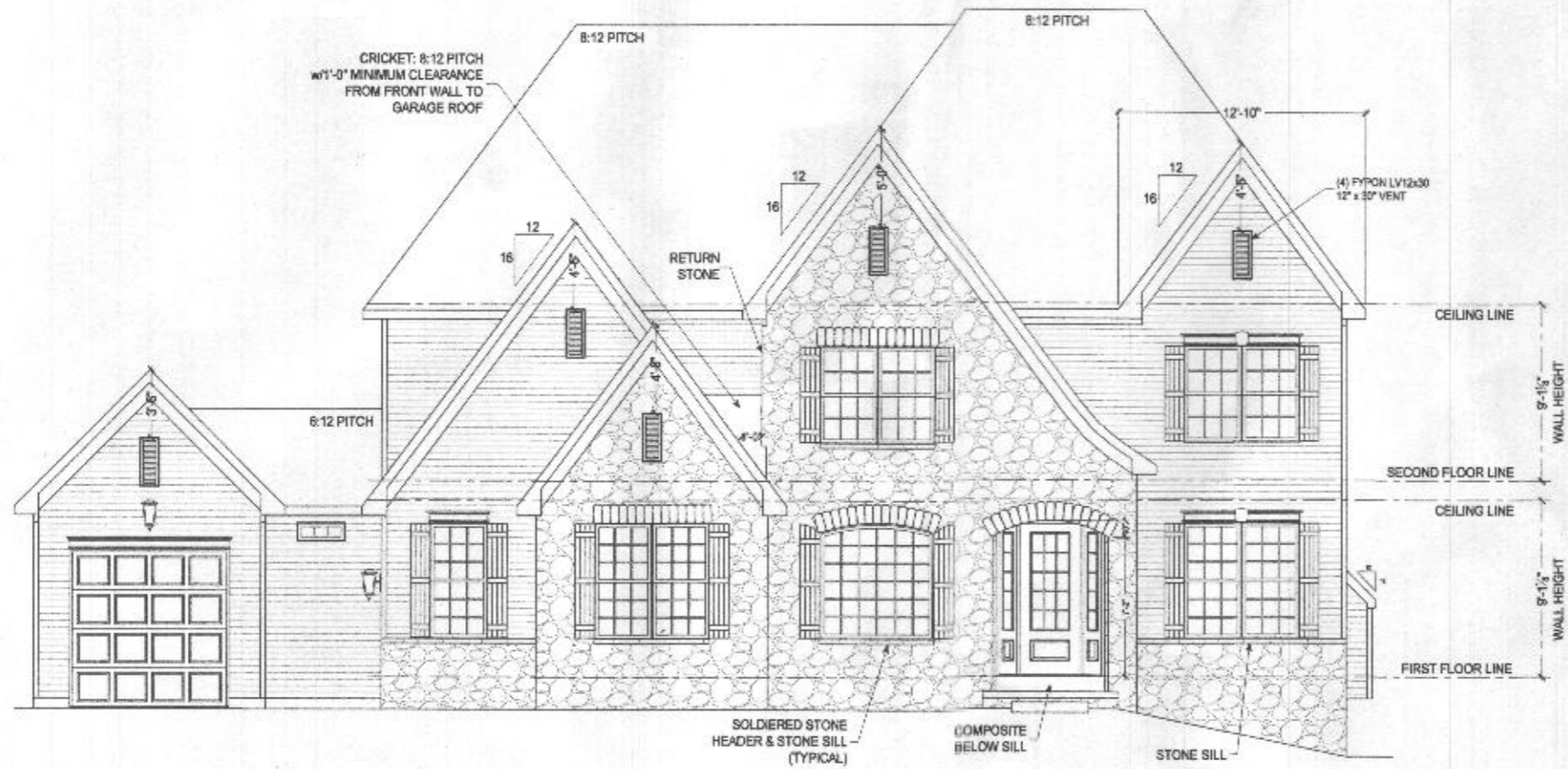
N 22°08'52" E 165.52'

N 22°08'52" E 165.52'

N 22°08'52" E 165.52'

N 22°08'52" E 165.52'

N 22°08'52" E 165.52'



FRONT ELEVATION
SCALE 3/8" = 1'-0"

This architectural design, drawings, and contents of this set are the property of Keystone Custom Homes, Inc. and its associated units. Copyright law, Photocopying in any form without express written consent is strictly prohibited. All copyrighted items are protected by United States Copyright Law Title 17, United States Code and the three Copyrights by the architectural profession of Maryland and other states. Plans and drawings Copyright protection laws adhere to original and modified drawings plans, specifications, notes, conditions and design, and is applicable to structural and architectural elements, and available for specific statutory design with this set of plans.

227 GRANITE RUN DRIVE, SUITE 100
LANCASTER, PENNSYLVANIA 17601
PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystonecustomhomes.com



KEYSTONE CUSTOM HOMES, INC.

PROJECT	FRONT ELEVATION
DATE	EAS018
DRAWN BY	SOKALSKI / FLORES
DATE	AUG 31 2020
SCALE	AS NOTED
DRAWN BY	M. HERSHEY
SHEET NO.	A1.0
PLAN NO.	ads 10

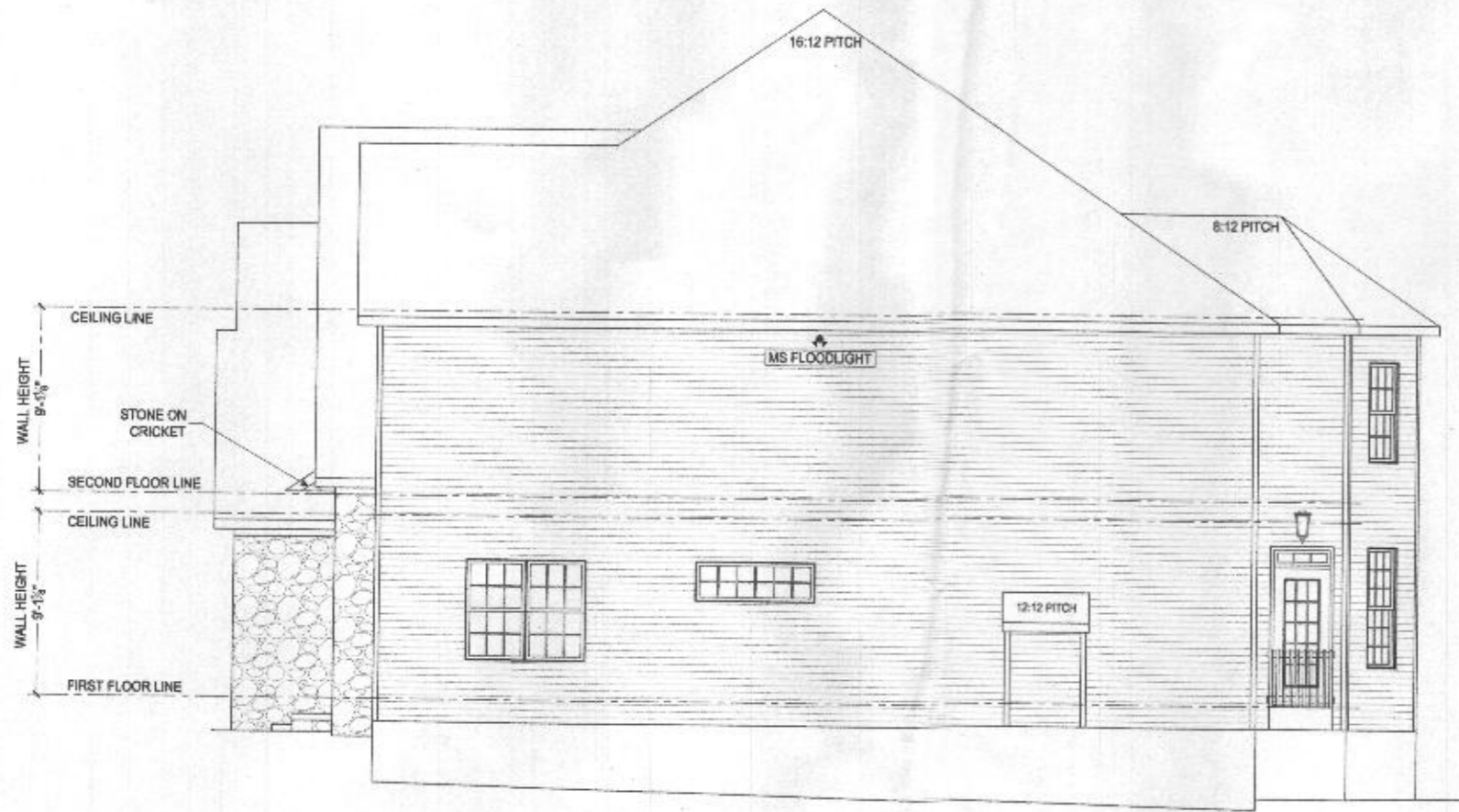


Professional Certification: I hereby certify that these documents were prepared or approved by me and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 35478, Expire Date 08/31/2020

820004525

18423 HIDDEN CREEK WAY, MT AIRY

HEALTH DEPT



LIVING SIDE ELEVATION
SCALE 1/4" = 1'-0"



"Professional Certification I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 85478, Expiration Date: 06-13-2027."

227 GRANITE RUN DRIVE, SUITE 100
LANCASTER, PENNSYLVANIA 17601
PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystonemcustomhome.com



KEYSTONE CUSTOM HOMES, INC.

SHEET DESCRIPTION: LIVING SIDE ELEVATION
MODEL: EA#018
SOKALSKI / FLORES

REPORTER: AUG 31 2020
SCALE: AS NOTED
DRAWN BY: M.HERSHEY

SHEET NO: A1.1
DATE: ads 10

The architectural design, drawings, and content of this plan is the property of Keystone Custom Homes, Inc. and is provided under a license. It is not to be used for any other project without express written consent of Keystone Custom Homes, Inc. All rights reserved. It is registered under the protection of United States Copyright Law (Title 17, United States Code) and the State Copyright Law for the intellectual protection of literary and artistic works. Failure and intentional Copyright protection laws shall be enforced and neither drawings, plans, specifications, contracts, and designs, in all its contents, shall be available to third parties and unauthorized reproduction, distribution, and publication for specific work may constitute a criminal offense.



REAR ELEVATION
SCALE 1/8" = 1'-0"

The architect, design, drawings, and content of this plan is the property of Keystone Custom Homes, Inc. and is protected under copyright law. Reproduction in any form without express written consent is strictly prohibited. All copyright are reserved as indicated by United States Copyright Law (Title 17, United States Code) and the State Copyright for the International Association of Home Builders and Architects. Federal and International Copyright protection are issued to original and modified drawings, plans, mechanical work, contracts and designs, and is applicable to international and commercial use. All rights are reserved for specific industry designs, text and all other.

227 GRANITE RUN DRIVE, SUITE 100
LANCASTER, PENNSYLVANIA 17601
PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystonecustomhome.com

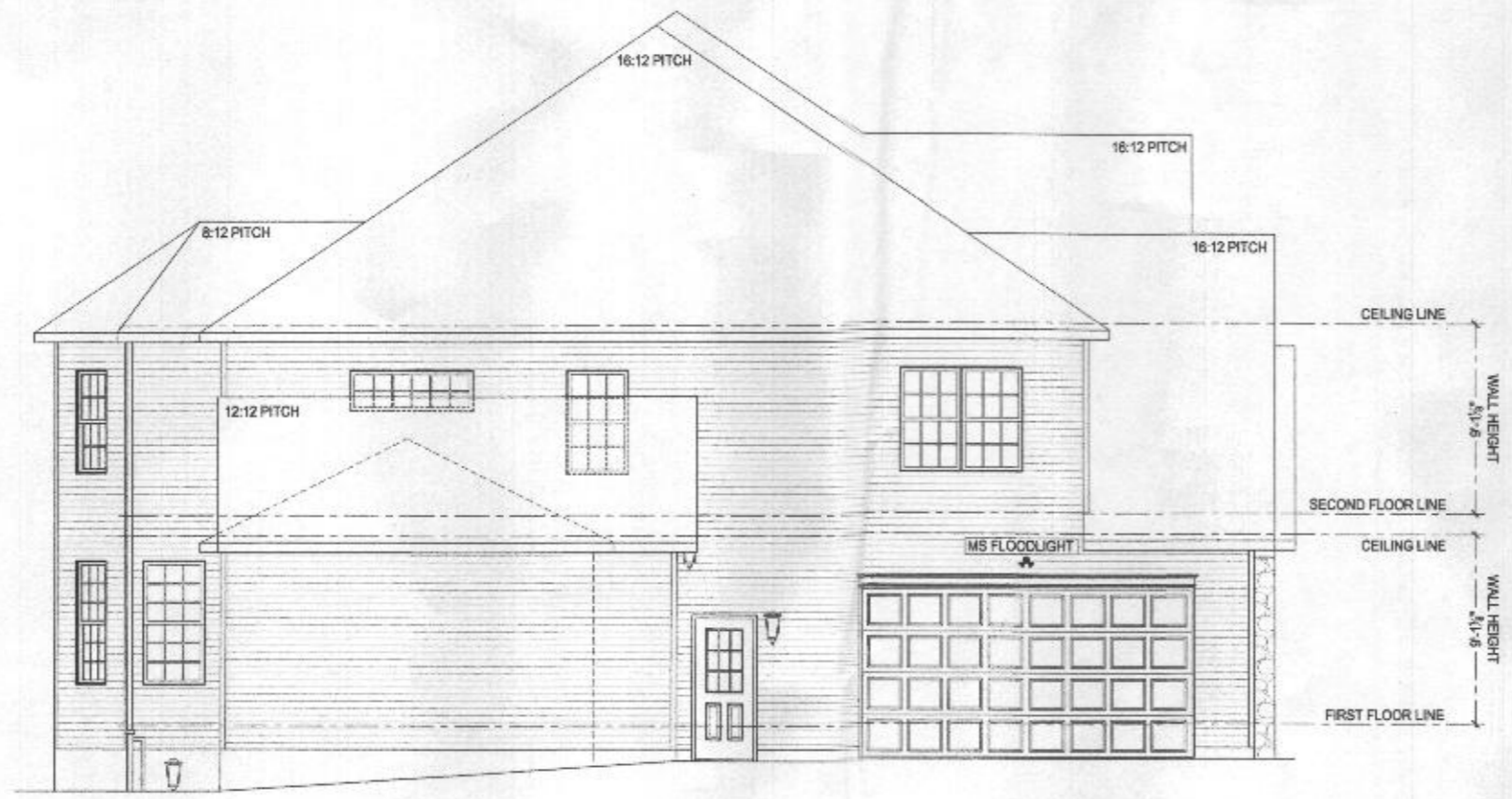


KEYSTONE CUSTOM HOMES, INC.



I, Professional Engineer, I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland.
License No. 35478, Expiration Date: 12-31-2027

SHEET NO.	REAR ELEVATION
	EA-018
DRAWN BY:	SOKALSKI / FLORES
	M. HERSHEY
DATE:	AUG 31 2020
	AS NOTED
SCALE:	AS NOTED
	AS NOTED
SHEET NO.	A1.2
	8 of 10



GARAGE SIDE ELEVATION
SCALE 3/8" = 1'-0"



I, the undersigned, hereby certify that these documents were prepared or supervised by me, and that I am a duly licensed professional engineer under the law of the State of Maryland. License No. 35478, Expiration Date 06/30/2007.

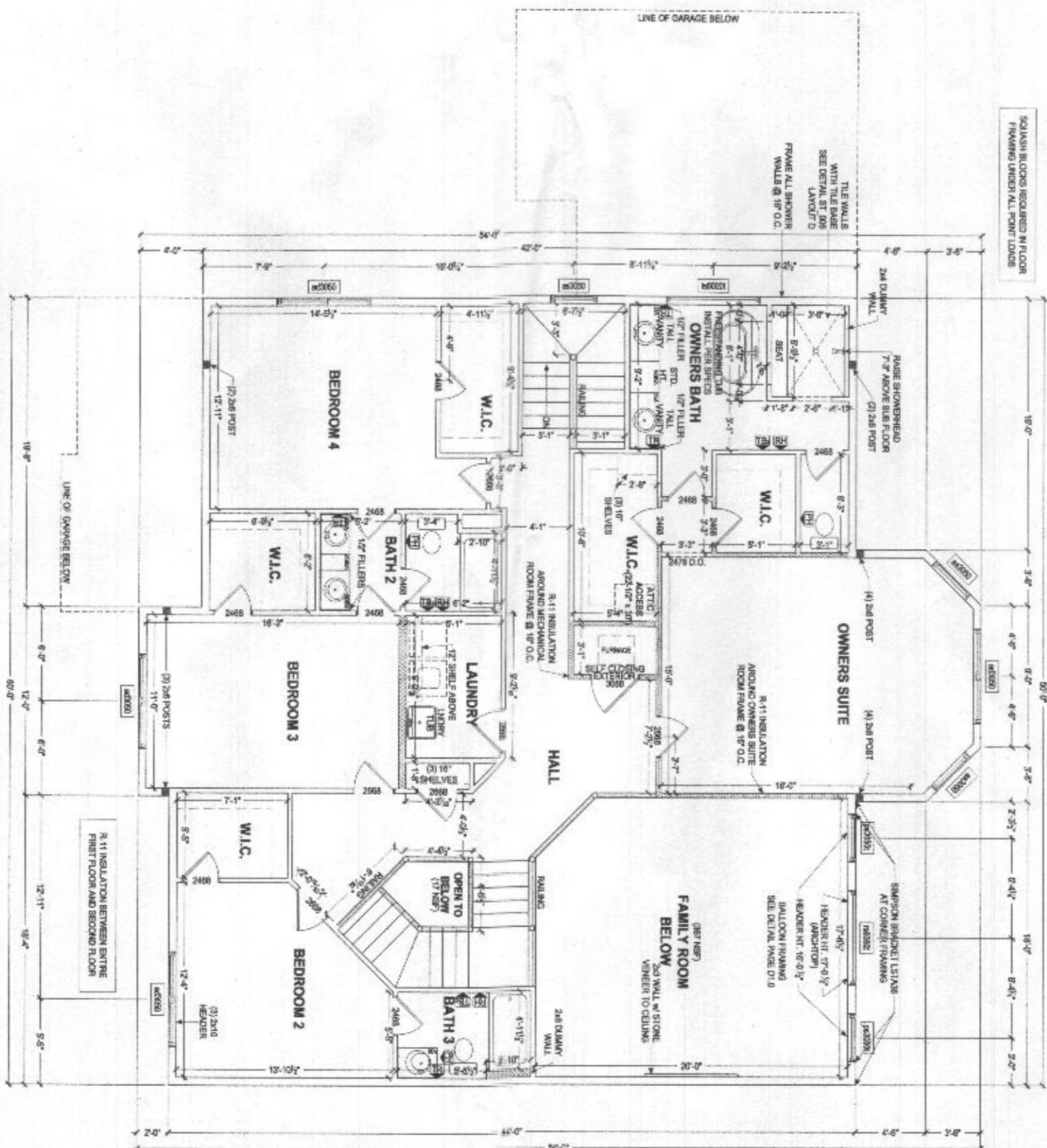
The architect design, drawings, and contract of this firm is the property of Keystone Custom Homes, Inc. and is provided under the terms of a contract. Any reproduction or use of these drawings without the express written consent is strictly prohibited. All copyright notices are hereby acknowledged. Copyright © 2007 by United States Copyright Law Title 17, United States Code and the Copyright Office in the International protection of copyright, and other works, Federal and International Copyright protection laws extend to original and material derivative works, including but not limited to, concepts and designs, and in applicable international and other laws, and provides for some statutory damages both civil and criminal.

227 GRANITE RUN DRIVE, SUITE 100
LANCASTER, PENNSYLVANIA 17601
PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystonestructuralhome.com



KEYSTONE CUSTOM HOMES, INC.

PROJECT: GARAGE SIDE ELEVATION
DATE: AUG 31 2007
SCALE: AS NOTED
DESIGNER: M.HERSHEY
SHEET NO. A1.3
OF 10



SECOND FLOOR PLAN
SCALE: 3/8" = 1'-0"



Professional Certification: I hereby certify that Paul S. Eiken is a duly Licensed Professional Engineer under the laws of the State of Maryland. License No. 25478, Expiration Date: 06/30/2017.

PROJECT DESCRIPTION:
SECOND FLOOR PLAN
EAS018
SOKALSKI / FLORES

DATE:
AUG 31 2023

AS NOTED
MHERSHEY

SCALE:
P11

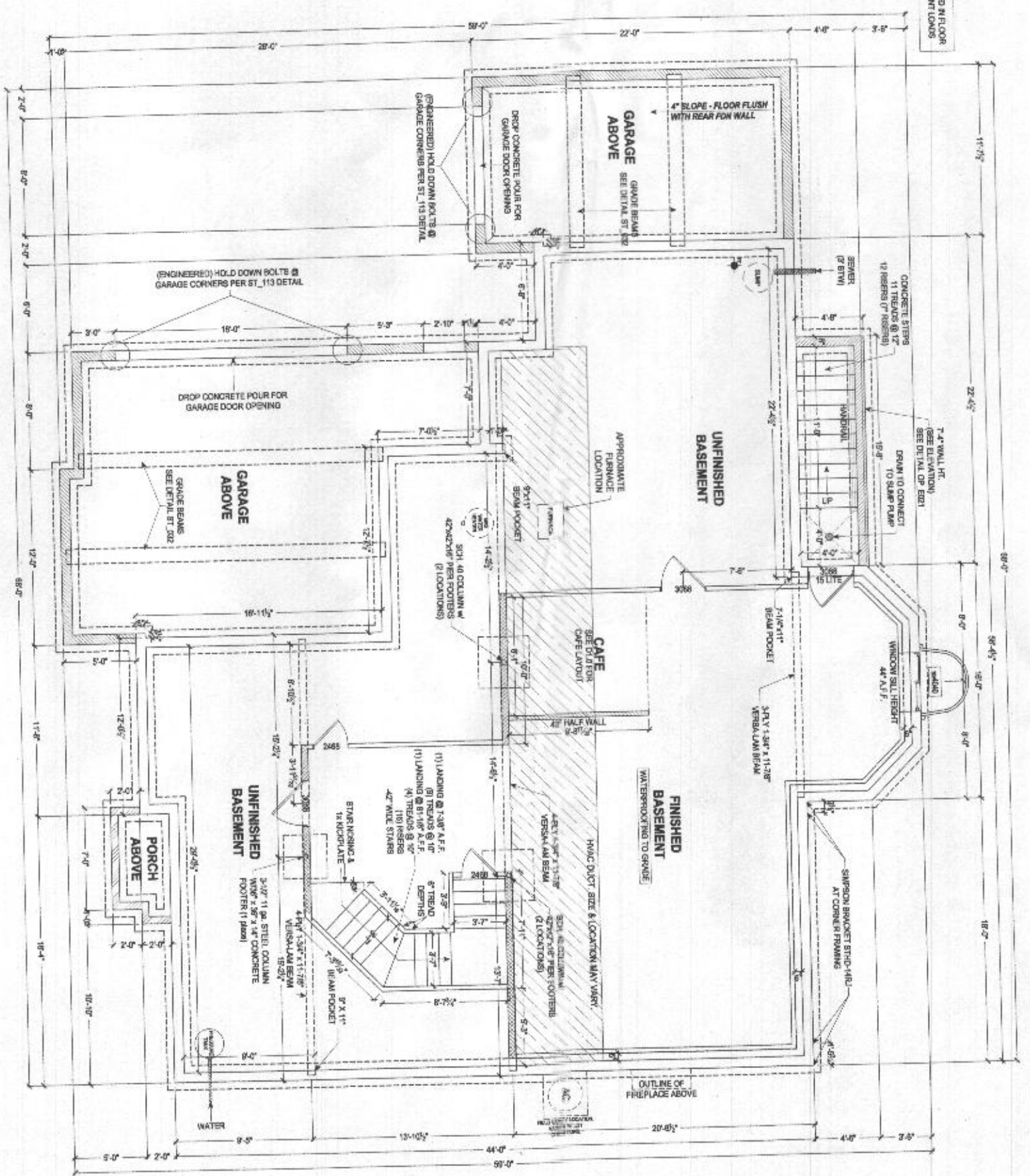
DATE:
AUG 31 2023

KEYSTONE CUSTOM HOMES, INC.



227 GRANITE RUN DRIVE, SUITE 100
LANCASTER, PENNSYLVANIA 17601
PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystonecustomhomes.com

Professional Engineer, I hereby certify that Paul S. Eiken is a duly Licensed Professional Engineer under the laws of the State of Maryland. License No. 25478, Expiration Date: 06/30/2017.



SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

FOUNDATION PLAN
SCALE: 3/8" = 1'-0"



NOTE TO CONTRACTORS:
FOUNDATION SHALL BE CONCRETE. ALL WALLS AND OTHER STRUCTURAL MEMBERS SHALL BE CAST IN PLACE. ALL WALLS SHALL BE CAST WITH REINFORCING BARS PER DETAIL ST_113. ALL WALLS SHALL BE CAST WITH REINFORCING BARS PER DETAIL ST_113.

FOR FOUNDATION WALLS, THE REINFORCING BARS SHALL BE CAST WITH REINFORCING BARS PER DETAIL ST_113. ALL WALLS SHALL BE CAST WITH REINFORCING BARS PER DETAIL ST_113.

FOR FOUNDATION WALLS, THE REINFORCING BARS SHALL BE CAST WITH REINFORCING BARS PER DETAIL ST_113. ALL WALLS SHALL BE CAST WITH REINFORCING BARS PER DETAIL ST_113.

84810
P1.2
MERSHEY
SCALE: AS NOTED
AUG 31 2020
FOUNDATION PLAN
EAS018
SOKALSKI / FLORES

KEYSTONE CUSTOM HOMES, INC.



227 GRANITE RUN DRIVE, SUITE 100
LANCASTER, PENNSYLVANIA 17601
PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystoncustomhomes.com

FOR FOUNDATION WALLS, THE REINFORCING BARS SHALL BE CAST WITH REINFORCING BARS PER DETAIL ST_113. ALL WALLS SHALL BE CAST WITH REINFORCING BARS PER DETAIL ST_113.

KITCHEN SYMBOL LEGEND:
ON THE CABINET LAYOUT, ITEMS SHOWN BELOW IN CIRCLES ARE INCLUDED WITH THE PACKAGE. ITEMS SHOWN BELOW IN TRIANGLES ARE PRE-DESIGNED LOCATIONS IF THE CLIENT CHOOSES THE OPTION SEPARATELY. AVAILABILITY AND INCLUSIONS VARY PER PLAN/KITCHEN PACKAGE

DB	Drawer Bank
GL	Glass Doors
SS	Slide Out Shelf
WB	Waste Basket
MW	Microwave (Alt. location w/ wall mount hood)
UC LIGHT	Under Cab. Light

CHEFS PKG INCL:

Tahoe Maple Cabinet Style - May Upgrade Separately
Small / Angled Crown Molding
Door Trays
**Drawer Bank(s)
**Upper Glass Wall Cabinets w/ Lighting
**Garbage Disposal (1/2 hp)
Installed Ice Maker Line
**Installed Recessed Light Package w/ White Trim Kits
Level 30 Kitchen Sink
Kitchen Faucet Upgrade
Appliance Upgrade (incl: 36" Gas Cooktop, Double Electric Wall Oven, Built-In Microwave, 36" Vented Range Hood, Dishwasher)
**Roll-Out Shelves
**Linen Range Base Cabinet for Under Cooktop
**Oven Cabinet for Double Wall Oven
**Waste Basket Rollout Cabinet
**Specialty Kitchen Window
**Utility Cabinet with Fixed Shelf Kit
**24" Deep Refrigerator Wall Cabinet, May Include Refrigerator End Panel(s) (REP)
**48" Wide Refrigerator Opening
** THESE INCLUSIONS VARY PER HOUSE DESIGN. PLEASE SEE PLAN FOR SPECIFIC INFORMATION REGARDING SIZE AND LOCATION.

NOTE: COMPARED TO STANDARD KITCHEN, MANY INCLUSIONS REPLACE EXISTING CABINETRY AND ARE NOT ADDITIONS.

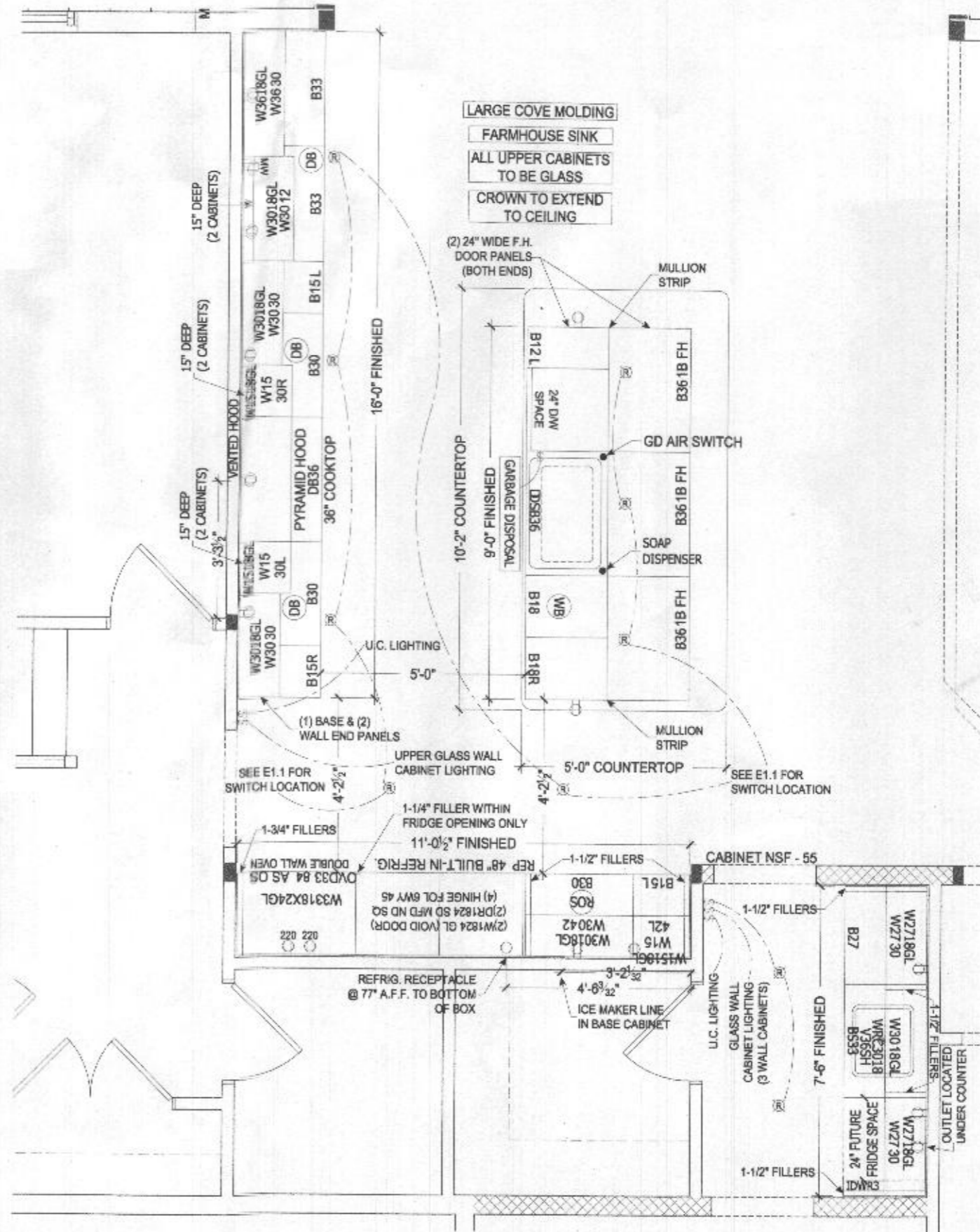
GEN. KITCHEN NOTES:

NON-VENTED HOOD: FRAMING DIMENSION FROM SUBFLOOR TO UNDERSIDE OF CABINET TO RANGE IS 5'-10" (30 7/16" H. CABINETS) 6'-0" (42 7/16" H. CABINETS)
FRAMING DIMENSIONS UNLESS OTHERWISE NOTED
ALL COUNTERTOP RECEPTACLES ARE GFI PROTECTED
TYPICAL WINDOW CASING REQUIRED, DO NOT USE WIDER TRIM OPTION ON WINDOW

39" x 71" REFRIGERATOR SPACE



Professional Certification I hereby certify that these calculations were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 95478, Expires 03/31/2007.



GOURMET KITCHEN LAYOUT
SCALE: 1/4" = 1'-0"

The architectural design, drawings, and content of this plan is the property of Keystone Custom Homes, Inc. and is provided under copyright law. Reproduction or use in any form without express written consent is strictly prohibited. All applicable laws shall be followed. No fee is charged for this plan. Copyright Law Title 17, United States Code and the Copyright Act of 1976. Copyright for the architectural portion of this plan shall remain the property of Keystone Custom Homes, Inc. and shall not be reproduced or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Keystone Custom Homes, Inc. For more information, please contact us at (717) 464-9046.

227 GRANITE RUN DRIVE, SUITE 100
LANCASTER, PENNSYLVANIA 17601
PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystonecustomhomes.com



KEYSTONE CUSTOM HOMES, INC.

KITCHEN
EAS018
SOKALSKI / FLORES

REVISED: AUG 31 2020
SCALE: AS NOTED
DRAWN BY: MHERSHEY

SHEET NO. **K1.0**
PLN BY: ads 10