

Menu Save Reset Cancel Help

Record Detail (This section is required.)

Permit Type: Building/Residential/Misc/Tanks
 Permit Number: B21001469
 Opened Date: 04/30/2021

Description of Work
 SFD/ INSTALL (1) 500 GALLON UNDERGROUND PROPANE TANK

[check spelling](#)

Approved 5/7/21


Address (This section is required.)

Search Reset Clear Get Parcel & Owner

Street # 18423 Street Name HIDDEN CREEK Street Type WAY

Unit Type Unit # X Coordinate Y Coordinate
 --Select-- --77.1543 39.33321

City MOUNT AIRY State MD Zip Code 21771 Primary Yes

Parcel (This section is required.)

Search Reset Clear Get Address & Owner

| GIS ID | Parcel | Parcel Area | Land Value | Improved Value | Exemption Value | Plan Area |
|--------|--------|-------------|------------|----------------|-----------------|-----------|
| 925317 | 57 | 43251 | 80000 | 80000 | 0 | RURAL |

Legal Description
 LOT 18 43251 SQ []18423 HIDDEN CREEK WAY []WINDSOR FOREST KNOLLS

[check spelling](#)

Please add to
 EH accel


| Block | Lot | Census Tract | Council Dist | Inspection Dist | Supervisor Dist | Map # | DAP Zone |
|-------|-----|--------------|--------------|-----------------|-----------------|-------|----------|
| | 18 | 604001 | 5 | | | | |

Plan Area State Tax Id Subdivision Name
 1404373340 Windsor Forest Knolls

Section Area Tax Map
 6

Grid Zoning District ADC Map
 6-10 RC-DEO 4690-F7

SDP No. Final Plan No. WP File No.
 F-07-008

Record Plat No. WS Contract No. FDP No. Primary
 19395-1939 Yes

Owner Occupied Year Built Historic District
 Yes No

Historic District Registry No. Stat Area Flood Plain
 4-04 Yes No

Building No

Owner (This section is required.)

Search Reset Clear

Name MICHAEK SOKALSKI

Address Line 1 18423 HIDDEN CREEK WAY

Address Line 2

Address Line 3

Mail City MT AIRY Mail State MD Mail Zip Code 21771

Phone 888-517-3680 Primary Yes

E-mail

Cell Number Fax Number

Professionals (This section is not required.)

Search Reset Clear

License # * Business Name

License Type * First Name Middle Name Last Name

Primary Address Line 1

Address Line 2

City State ZIP Code

Phone 1 Phone 2 Fax

E-mail

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type * First Name MI Last Name

Relationship Full Name

Primary Organization Name

Street Address

Address Line 2

City State Zip Code

Phone Cell Fax

E-mail *

Addtl Info

Est Construction Cost * Housing Units * Number of Buildings * Public Owned

Construction Type

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

Capital Project-No Fee * Yes No Capital Project Number Fee Exempt * Yes No Roadside Tree Project Permit * Yes No Roadside Tree Permit #

Existing Use Number of Tanks Installed * Number of Tanks Removed *

Water Supply Sewage Disposal Expiration Date Relocate Existing Tank *

PAYMENT INFORMATION

Check 1 Payee 1 Check 2 Payee 2 SAP Doc No SAP Entered

Related Records

Showing 1-4 of 4

| Permit Number | Record Type Alias | Status | Number | Street Name | Opened Date | Description |
|---------------|---|-------------------|--------|--------------|-------------|---|
| B20004525 | Residential New Single Family Dwelling Permit | Issued | 18423 | HIDDEN CREEK | 12/21/2020 | SFD/ MODEL 'DEVONSHIRE MANOR', 2 STORY, Full Baseme |
| F21000428 | Residential New-Addition SFD Sprinkler Permit | Issued | 18423 | HIDDEN CREEK | 03/29/2021 | SFD / INSTALL NEW NFPA 13D FIRE SPRINKLER SYSTEM (6 |
| P21001015 | Residential New Plumbing Permit | Issued | 18423 | HIDDEN CREEK | 03/17/2021 | NEW SFD/ 'DEVONSHIRE MANOR'/ INSTALL GAS AND PLUME |
| B21001469 | Residential Tank Permit | Review In Process | 18423 | HIDDEN CREEK | 04/30/2021 | SFD/ INSTALL (1) 500 GALLON UNDERGROUND PROPANE T |

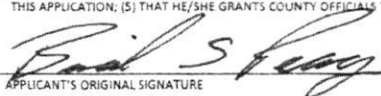
Page 1 of 1



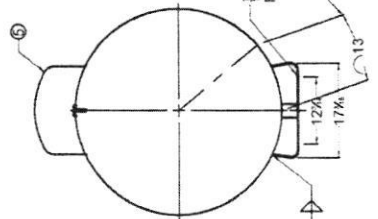
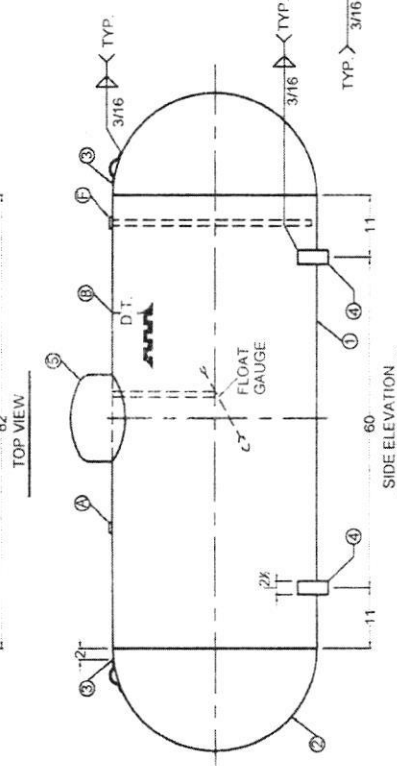
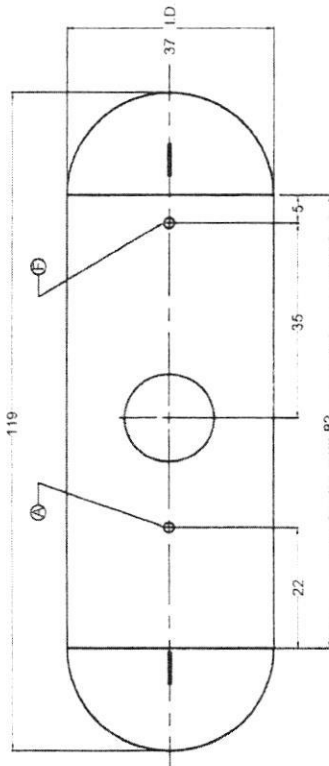
Submit Cancel

PERMIT NUMBER: B

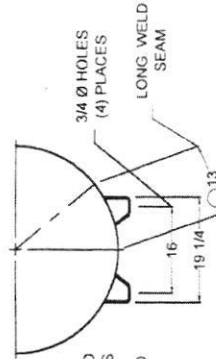
DATE ACCEPTED:

| RESIDENTIAL BUILDING PERMIT APPLICATION | | | | | |
|--|------------------------------|---|---|--|--|
| HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS 3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 www.howardcountymd.gov | | | | | |
| BUILDING SITE ADDRESS <small>REQUIRED</small> | | | | | |
| Street Address: 18423 Hidden Creek Way | | | | | Unit: |
| City: Mt Airy | | | State: MD | | Zip Code: 21771 |
| Subdivision/Village/Complex Name: Enclave at Glenely | | | | SDP/WP/BA #: | |
| Lot: 18 | Tax Map: | Parcel: | Grading Permit #: | | |
| DESCRIPTION OF WORK <small>REQUIRED</small> | | | | | |
| Existing Use: | | Proposed Use: | | Estimated Cost: \$ 3390.00 | |
| Trade Work to Be Completed (Separate Permits Required): <input type="checkbox"/> Mechanical (HVACR) <input type="checkbox"/> Electrical <input type="checkbox"/> Plumbing <input type="checkbox"/> None | | | | | |
| INSTALL 66000 Gallon Propane Tank on Gas line to house | | | | | |
| PROPERTY OWNER INFORMATION <small>REQUIRED</small> | | | | | |
| Owner(s) Name(s) (As it appears on tax records): Michael Sokalski | | | | | Primary Residence: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No |
| Owner's Street Address: 18423 Hidden Creek Way | | | | | |
| City: Mt Airy | | | State: MD | | Zip Code: 21771 |
| Phone: | | Email: | | | |
| APPLICANT NAME <small>REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION</small> | | | | | |
| Business Name: Dixieland energy | | | Contact Name: Ronc. Blankenbecker | | |
| Street Address: 281 E Main St | | | | | |
| City: Rising Sun | | | State: MD | | Zip Code: 21901 |
| Phone: 888-517-3680 | | Email: rdusser@dixielandenergy.com | | | |
| CONTRACTOR INFORMATION <small>REQUIRED</small> | | | | | |
| Business Name: Dixieland energy | | | | | |
| Licensee's Name: Basil Stephen Perry | | | | | License #: 100429 |
| Street Address: 281 E Main St | | | | | |
| City: Rising Sun | | | State: MD | | Zip Code: 21911 |
| Phone: 888-517-3680 | | Email: rdusser@dixielandenergy.com | | | |
| ARCHITECT/ENGINEER INFORMATION <small>INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE</small> | | | | | |
| Business Name: | | | Name: | | |
| Street Address: | | | | | |
| City: | | | State: | | Zip Code: |
| Phone: | | Email: | | | |
| BUILDING CHARACTERISTICS <small>REQUIRED</small> | | | | | |
| Primary Structure: <input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse <input type="checkbox"/> SF Duplex <input type="checkbox"/> Mobile Home <input type="checkbox"/> Multi-Family Dwelling (MF*) | | | | | Condo: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| Utilities: <input type="checkbox"/> Electric <input checked="" type="checkbox"/> Gas | | Water Supply: <input type="checkbox"/> Public <input type="checkbox"/> Private (Well) | | Sewage Disposal: <input type="checkbox"/> Public <input type="checkbox"/> Private (Septic) | |
| Heating System: <input type="checkbox"/> Electric <input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane <input type="checkbox"/> Other: | | | Roadside Tree Project: <input type="checkbox"/> No <input type="checkbox"/> Yes: # | | |
| Sprinkler System: <input type="checkbox"/> NFPA 13 <input type="checkbox"/> NFPA 13R <input type="checkbox"/> NFPA 13D <input type="checkbox"/> None | | | Fire Alarm System: <input type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Voice Evac | | |
| ADDITIONAL RESIDENTIAL INFORMATION <small>(PLEASE SELECT/COMPLETE ALL THAT APPLY)</small> | | | | | |
| Model Name & Options: | | | | | |
| # of Bedrooms (SF): | | # of efficiency units (MF*): | | # of 3 BR (MF*): | |
| # Rooms: | | # Full Baths: | | # Half Baths: | |
| # Fireplaces: | | | | | |
| Garage/Carport Info: <input type="checkbox"/> Attached Garage <input type="checkbox"/> Detached Garage <input type="checkbox"/> Integral Garage <input type="checkbox"/> Carport <input type="checkbox"/> None | | | | | |
| Basement/Foundation Info: <input type="checkbox"/> Slab on Grade <input type="checkbox"/> Post & Pier <input type="checkbox"/> Unfinished Basement <input type="checkbox"/> Finished Basement: <input type="checkbox"/> Full or <input type="checkbox"/> Partial | | | | | |
| 1 st Fl Width: | | 1 st Fl Depth: | | Bsmt Width: | |
| 2 nd Fl Width: | | 2 nd Fl Depth: | | Bsmt Depth: | |
| Energy Method: <input type="checkbox"/> Prescriptive <input type="checkbox"/> Performance <input type="checkbox"/> UA Alternative <input type="checkbox"/> ERI | | | Gross Area: sq ft | | |
| | | | Occupiable Area: sq ft | | |
| AGREEMENT/ DISCALIMER <small>REQUIRED</small> | | | | | |
| THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER C/TO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES. | | | | | |
|  APPLICANT'S ORIGINAL SIGNATURE | | | | | 5.5.21 DATE SIGNED |
| FOR OFFICE USE ONLY <small>CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY</small> | | | | | |
| AGENCIES REQUIRED/APPROVALS: | | | | | |
| <input type="checkbox"/> PR | <input type="checkbox"/> DPZ | <input type="checkbox"/> DED | <input type="checkbox"/> Health | <input type="checkbox"/> SHA | <input type="checkbox"/> CID |
| SUBMITTAL FEES: | | PAYMENT: | | ACCEPTED BY: | |

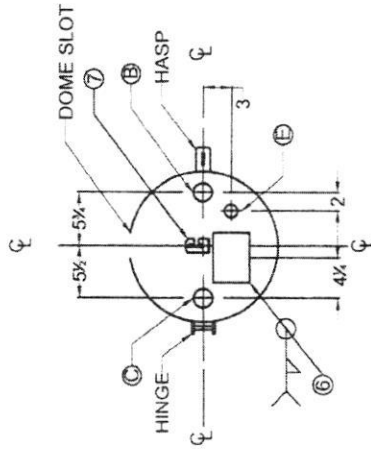
THIS VESSEL IS DESIGNED FOR THE STORAGE OF LIQUEFIED PETROLEUM GAS ONLY



END VIEW



OPTIONAL TWO PIECE LEGS



FITTING LAYOUT

NOTE: TANK MUST BE INSTALLED LEVEL, WITH ALL FOUR LEGS IN SAME PLANE TO ASSURE EVEN DISTRIBUTION OF LOADS AND OPTIMIZE ACCURACY OF GAUGE DEVICE

| MARK | QTY | SIZE | TYPE | SERVICE | MARK | QTY | DESCRIPTION | DWG NO |
|---------|-----|-------|--------|--------------|--------|-----|---|--------|
| A | 1 | 1-1/4 | XH-FLG | SHERWOOD | 1 | 1 | SHELL - 0.218" X 6.1 1/2" X 1.6 13/16" - SA114C | |
| B | 1 | 1-1/4 | XH-FLG | RELIEF VALVE | 2 | 2 | HEADS - 37" I.D. X 0.185" HEM - SA114C | |
| C | 1 | 3/4 | XH-FLG | FLOAT GAUGE | 3 | 2 | LIFTING LUGS | D-2 |
| E | 1 | 3/4 | XH-FLG | FILL VALVE | 4 | 4 | TANK LEGS (SINGLE PIECE LEGS) | D-3 |
| F | 1 | 3/4 | XH-FLG | MULTI VALVE | 4(ALT) | 2 | TANK LEGS (TWO PIECE LEGS) | D-2 |
| F (OPT) | 1 | 1-1/4 | XH-FLG | CHEK-LOCK | 5 | 1 | DOME | D-4 |
| | | | | CHEK-LOCK | 6 | 1 | DATA PLATE | |
| | | | | | 7 | 1 | REGULATOR BRACKET | D-10 |
| | | | | | 8 | 1 | DIP TUBE LENGTH = 10" 7" FOR 80% @ 40" F | |

PN: 0105001X

| REV | BY | DESCRIPTION | DATE |
|-----|-----|----------------------------------|----------|
| 10 | CDH | RELOCATED "A" & "F" | 3/7/00 |
| 11 | CDH | NEW DATA PLATE & CHEK-LOCK | 10/18/01 |
| 12 | CDH | REVISED MDMT PRESSURE TO 250 PSI | 9/2/02 |
| 13 | CDH | DELETED DRAIN CONNECTION | 1/24/02 |
| 14 | CDH | CORRECTED RELIEF VLV MODEL NOS | 1/15/03 |
| 15 | CDH | CORRECTED SHELL LENGTH | 1/17/03 |
| 16 | RGA | REVISED COMPANY NAME | 12/28/07 |
| 17 | W6 | STANDARDIZE DRAWING | 06/30/11 |
| 18 | W6 | UPDATE NAME PLATE | 07/26/12 |

CERTIFIED BY: AMERICAN WELDING & TANK LLC
 FREMONT, OHIO - WEST JORDAN, UTAH

SER. NO. *SE

MAX. ALLOW. WORK PRESS. 250 PSI AT 400 °F
 M.D.M.T. -20 °F AT 250 PSI PLANT NO. *
 YEAR BUILT CRN NO L-4709.5C
 SER. NO. *SE

LENGTH 119 IN. OUTSIDE DIA. 37.4 IN.
 HEAD THK. 1.85 IN. SHELL THK. 2.18 IN.
 ABOVE BS-AP SURFACE AREA 97.5 SQ. FT.
 GROUND TYPE HEMI.
 LISTED CONTAINER ABOVE ASSEMBLY FOR LP GAS B60A WATER CAPACITY 500 GALLONS

THIS CONTAINER SHALL NOT CONTAIN A PRODUCT HAVING A VAPOR PRESSURE IN EXCESS OF 249 PSIA @ 100°F.
 DIP TUBE LENGTH - 80% FULL AT 40°F. D.T. = 10.7 IN.

DATA PLATE DETAIL

GENERAL NOTES:

- LIFTING LUGS DESIGNED FOR TOTAL LIFTING WEIGHT OF 1500#.
- TOTAL EMPTY WEIGHT IS 949#.
- ALL DIMENSIONS ARE IN INCHES UNLESS OTHERWISE SPECIFIED.
- COMPLETE TANK DRIED TO REMOVE ALL MOISTURE.
- ALL WEIGHT AND CAPACITIES ARE APPROXIMATE.
- EXTERIOR OF TANK TO BE GRIT BLASTED.
- PAINT PER SHOP ORDER.
- VACUUM PURGE TANK.
- DIMENSIONS ARE SUBJECT TO CHANGE WITH OJT NOTICE (NON-PRESSURE RETAINING COMPONENTS ONLY).
- THREADS OF ALL FITTINGS TO BE COATED WITH COMPOUND SUITABLE FOR USE WITH LP GAS.
- FLOAT GAUGE TO BE INSTALLED WITH FLOAT ARM 45° OFF LONGITUDINAL CENTERLINE OF TANK.

| GENERAL SPECIFICATIONS | |
|--|-------------------------------|
| WATER CAPACITY (GALLONS) | 500 |
| ALLOWABLE WORKING PRESSURE (PSIG) | 250 |
| JOINT EFFICIENCY: | ASME UW-51 LONG SEAM 100 % |
| | ASME UW-52 HEAD TO SHELL 80 % |
| HYDROSTATIC TEST PRESSURE (PSIG) | 325 |
| SURFACE AREA (SQ. FT.) | 97.5 |
| RELIEF VALVE SETTING (PSIG) | 250 |
| RELIEF DISCHARGE RATE - (CFM RECD.) | 2250 |
| HEAT TREATMENT NOT REQUIRED | |
| CODE: | ASME SECTION VIII DIV. I |
| STANDARDS: | UNDERWRITERS LABORATORIES INC |
| MATERIAL SPECS. COUPLINGS SA-105 | |
| TANK FLANGES SA-105 | |
| ADAPTOR SA-105 | |
| 500 W.G. ABOVEGROUND PROPANE TANK-TYPE BS-AP | |

AMERICAN WELDING & TANK LLC

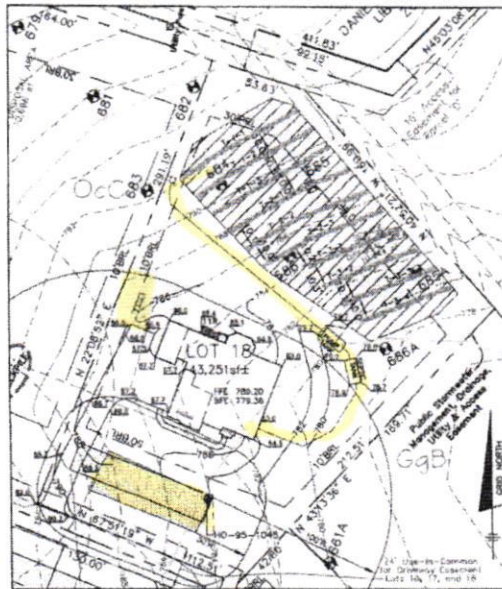
| | | | | | | | |
|------|----------|-----|-----|------------|----|-------------|---------|
| DATE | 01/03/00 | RAC | CDH | REVISED BY | 18 | DESIGNED BY | E-500C9 |
|------|----------|-----|-----|------------|----|-------------|---------|

STANDARD AG 500 GALLON

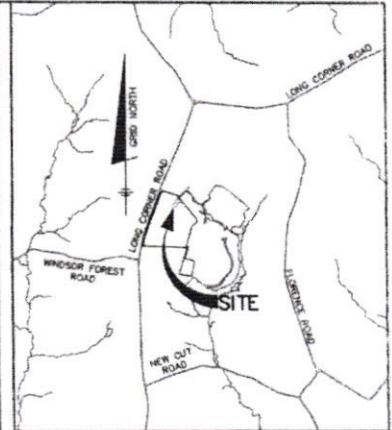
Propane tank
 25' off house
 86' off front
 300' off back
 250' off right
 40' off left

GENERAL NOTES

1. THE LOT SHOWN HEREON WAS RECORDED ON THE PLAT FOR WINDSOR FOREST KNOLLS, PLAT NUMBER 19395. REFER TO THE PLAT FOR LOT DIMENSIONS, LOT AREA, ALL EASEMENTS AND CONDITIONS.
2. THE EXISTING WELL SHOWN ON THIS PLAN (HO-95-1045) HAS BEEN FIELD LOCATED BY BENCHMARK ENGINEERING INC. JULY 2020 AND IS ACCURATELY SHOWN.
3. THERE ARE NO EXISTING WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THIS PROJECT'S BOUNDARY EXCEPT AS NOTED.
4. TOPOGRAPHY SHOWN WAS BASED ON FIELD RUN TOPOGRAPHY BY C.B. MILLER & ASSOCIATES IN APRIL 2002, AND WAS SUPPLEMENTED BY FIELD RUN TOPOGRAPHY BY BENCHMARK ENGINEERING, INC. JULY 2020.
5. SEDIMENT AND EROSION CONTROLS WILL BE SUBMITTED BY HOWARD SOILS CONSERVATION DISTRICT AS A CUSTOM GRADING PLAN.
6. ALL DRAINAGE AND STORMWATER MANAGEMENT FEATURES USED ON THIS SITE MUST COMPLY WITH THE APPROVED BUILDING PERMIT AND CUSTOM GRADING PLANS.
7. ANY CHANGES TO A PRIVATE SEWAGE DISPOSAL AREA OR WELL BOX SHALL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.
8. ANY CHANGES TO THE LOCATIONS OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED SITE PLAN MAY BE REQUIRED.
9. ANY ELECTRICAL WORK FOR THE INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
10. THE SEPTIC TANK WILL BE A 2000 GALLON TWO COMPARTMENT TANK. THE PUMP TANK WILL BE A 2000 GALLON ONE COMPARTMENT TANK.
11. THE MAXIMUM EARTH COVER OVER THE TANK IS 3 FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
12. ELECTRICAL WORK FOR THE INSTALLATION MUST BE PERFORMED BY A LICENSED ELECTRICIAN.
13. ALL WELLS AND SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELLS/OR SEPTIC SYSTEM HAVE BEEN SHOWN.



PLAN VIEW
 1" = 50'

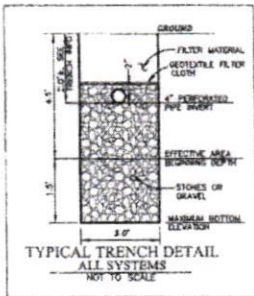


VICINITY MAP
 SCALE: 1" = 2000'

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland. License No. 28374, Expiration Date: 01-01-2025.



Dec 7 2020 8:29 AM DocuSign



LEGEND

- 400 — PROPOSED CONTOURS
- 100 — EXISTING CONTOURS
- - - - - 200' EXISTING PRIVATE SEWAGE DISPOSAL AREA
- EXISTING WELL BOX
- SOILS MAP SYMBOL
- SOILS DELINEATION LINE
- PERC TEST PASSED
- PERC TEST FAILED

Approved Septic System Plan
 Howard County Health Department

Mark Caswood 1/14/2021
 Signature Date

OWNER/BUILDER:
 KEYSTONE CUSTOM HOMES, INC.
 227 GRANITE RUN DR.
 SUITE 100
 LANCASTER, PA 17601
 717-464-9080

BENCHMARK ENGINEERING, INC.
 3440 BALTIMORE NATIONAL PIKE SUITE 310
 SHARPTON CITY, MARYLAND 21089
 (P) 410-462-8106 & (F) 410-462-8844
 WWW.BE-ENGINEERING.COM

| | |
|---|--------------------------|
| PROJECT: WINDSOR FOREST KNOLLS LOT 18 | |
| LOCATION: TAX MAP: 6 - GRID: 16 - PARCEL 57 18423 HIDDEN CREEK WAY - TAX ID: 04-373340 ELECTION DISTRICT NO. 4 - HOWARD COUNTY, MARYLAND | |
| TITLE: ONSITE SEWAGE DISPOSAL PLAN | |
| HOUSE TYPE: CUSTOM - KEYSTONE HOMES | |
| DATE: DECEMBER, 2020 | PROJECT NO.: 2986 |
| SCALE: AS SHOWN | DRAWING: 1 OF 4 |

Approved for LP tank
 B21001469
 [Signature] 5/7/21

DEC 21 2020

PERMIT NUMBER: B 20004525

DATE ACCEPTED:

Health

LICENSES & PERMITS DIVISION



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 18423 Hidden Creek Way
City: Mount Airy
Subdivision/Village/Complex Name: Windsor Forest Knolls
Lot: 18 Tax Map: 6, Grid 16 Parcel: 57

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant unimproved lot Proposed Use: SFD Estimated Cost: \$446,675.00
Trade Work to Be Completed: Mechanical (HVACR) Electrical Plumbing None

Residential New Single Family Dwelling (Detached)

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s): Sonshine MD, LP Primary Residence: Yes No
Owner's Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster State: PA Zip Code: 17601
Phone: (717) 464-9060 Email: billb@keystonecustomhome.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Keystone Custom Homes Contact Name: Gregg Reinsmith
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster State: PA Zip Code: 17601
Phone: (717) 719-1362 Email: greinsmith@keystonecustomhome.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Keystone Custom Homes License #: MHBR# 2937 (exp 12/01/2021)
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster State: PA Zip Code: 17601
Phone: (717) 719-1362 Email: greinsmith@keystonecustomhome.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Paul B. Elser, P.E. Name: Paul Elser
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster State: PA Zip Code: 17601
Phone: (717) 719-1370 Email: pels@keystonecustomhome.com

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF*) Condo: Yes No
Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
Heating System: Electric Natural Gas Propane Other: Roadside Tree Project: No Yes: #
Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: Devonshire Manor
of Bedrooms (SF): 5 # of efficiency units (MF*): # of 1 BR (MF*): # of 2 BR (MF*): # of 3 BR (MF*):
Rooms: 22 # Full Baths: 4 # Half Baths: 1 # Fireplaces: 1
Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial
1st Fl Width: 68 1st Fl Depth: 59 2nd Fl Width: 50 2nd Fl Depth: 54 Bsmt Width: 68 Bsmt Depth: 59
Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: 7,278 sq ft Occupiable Area: 7,252 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Gregg Reinsmith
APPLICANT'S ORIGINAL SIGNATURE

12/16/2020
DATE SIGNED

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:

PR DPZ DED Health 1/14/2021 SHA CID

SUBMITTAL FEES: \$150.00 PAYMENT: CK# 2037 ACCEPTED BY: MAIL

Oswald, Hank

From: Alice Miller <amiller@bei-civilengineering.com>
Sent: Tuesday, January 12, 2021 2:43 PM
To: Oswald, Hank
Subject: Re: B20004525_18423 Hidden Creek Way_BP Site Plan and OSDS Plan

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Ok, I will make sure they know.

Alice A. Miller, P.E.
Benchmark Engineering, Inc.
410-465-6105

On 1/12/2021 2:23 PM, Oswald, Hank wrote:

Yes, before the septic system installation.

From: Alice A. Miller <amiller@bei-civilengineering.com>
Sent: Tuesday, January 12, 2021 2:22 PM
To: Oswald, Hank <hoswald@howardcountymd.gov>
Subject: Re: B20004525_18423 Hidden Creek Way_BP Site Plan and OSDS Plan

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

When does that happen? Is it right before the septic system installation? I need to make sure that they are going to be able to get the building permit and do the construction, etc.
Alice

On January 12, 2021, at 2:15 PM, "Oswald, Hank" <hoswald@howardcountymd.gov> wrote:

okay. They will need to remove it all before septic permit issuance.

From: Alice Miller <amiller@bei-civilengineering.com>
Sent: Tuesday, January 12, 2021 11:48 AM
To: Oswald, Hank <hoswald@howardcountymd.gov>
Subject: Re: B20004525_18423 Hidden Creek Way_BP Site Plan and OSDS Plan

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

I don't know for sure if it's in place, but it will be installed as soon as they get a GP and start the earthwork. The grading plan has been approved, so that could be under way. The pipe is necessarily place in the 'low point' along the top of the lot, which naturally flows down along the SDA. If the pipe was overwhelmed, it would be at the top where the swale dips down, and the flows would ruin through

the back yard, possibly along the edge of the SDA. I pushed the pipe over on the SDA so that it could remain in place and protect the installation of the tank system, during the construction process.

Alice A. Miller, P.E.
Benchmark Engineering, Inc.
410-465-6105

On 1/12/2021 11:42 AM, Oswald, Hank wrote:

Is the pipe already there or just being proposed? Can it be moved so the flow isn't headed toward the SDA in case runoff overwhelms the pipe?

From: Alice Miller <amiller@bei-civilengineering.com>
Sent: Tuesday, January 12, 2021 10:58 AM
To: Oswald, Hank <hoswald@howardcountymd.gov>
Subject: Re: B20004525_18423 Hidden Creek Way_BP Site Plan and OSDS Plan

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank - what you see is a temporary slope drain, to convey the offsite runoff from the earth dike to below the septic field. It lies on the surface, and causes no disturbance to the SDA.

Alice A. Miller, P.E.
Benchmark Engineering, Inc.
410-465-6105

On 1/12/2021 10:50 AM, Oswald, Hank wrote:

Hi Alice:

The building permit site plan for 18423 Hidden Creek Way shows a stormwater outfall/discharge pipe within 25 feet of the SDA. In addition, the pipe crosses over the septic line and it also runs through part of the SDA. Please update the BP site plan and OSDS Plan to meet the 25 ft. setback. Also, the septic profile should show the storm water pipe elevation at intersection of septic line. Lastly, the pipe should not run through the SDA.

Should you have any questions, please don't hesitate to ask.

Thanks,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
(410) 313 - 1786

hoswald@howardcountymd.gov

Oswald, Hank

From: Williams, Jeffrey
Sent: Tuesday, January 12, 2021 12:34 PM
To: Oswald, Hank
Cc: Wolf, Kevin
Subject: RE: B20004525_18423 Hidden Creek Way_BP Site Plan and OSDS Plan

I suppose I can buy it with the super silt fence in place to protect the SDA. They will need to remove it all before septic permit issuance.

From: Oswald, Hank <hoswald@howardcountymd.gov>
Sent: Tuesday, January 12, 2021 11:54 AM
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Cc: Wolf, Kevin <KWolf@howardcountymd.gov>
Subject: RE: B20004525_18423 Hidden Creek Way_BP Site Plan and OSDS Plan

I asked, Is the pipe already there or just being proposed? Can it be moved so the flow isn't headed toward the SDA in case runoff overwhelms the pipe?

Engineer Response: "I don't know for sure if it's in place, but it will be installed as soon as they get a GP and start the earthwork. The grading plan has been approved, so that could be under way. The pipe is necessarily place in the 'low point' along the top of the lot, which naturally flows down along the SDA. If the pipe was overwhelmed, it would be at the top where the swale dips down, and the flows would ruin through the back yard, possibly along the edge of the SDA. I pushed the pipe over on the SDA so that it could remain in place and protect the installation of the tank system, during the construction process."

From: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Sent: Tuesday, January 12, 2021 11:35 AM
To: Oswald, Hank <hoswald@howardcountymd.gov>
Cc: Wolf, Kevin <KWolf@howardcountymd.gov>
Subject: RE: B20004525_18423 Hidden Creek Way_BP Site Plan and OSDS Plan

Is what you are showing me something from the final plat supplemental that's already been approved? I wonder if they can move the whole thing so that it runs where the house is going instead. If it s a solid pipe laying above the ground, that is good, but it would be better if we can move the whole thing so that the flow isn't headed toward the SDA if runoff overwhelms the pipe. It is a 12", so there is safety there, but I don't love the idea of putting a dike and channeling a drain above the SDA

From: Oswald, Hank <hoswald@howardcountymd.gov>
Sent: Tuesday, January 12, 2021 11:28 AM
To: Williams, Jeffrey <jewilliams@howardcountymd.gov>
Cc: Wolf, Kevin <KWolf@howardcountymd.gov>
Subject: FW: B20004525_18423 Hidden Creek Way_BP Site Plan and OSDS Plan

Hi Jeff:

Kevin and I were just discussing this temporary slope drain shown on the BP site plan for 18423 Hidden Creek Way (See attachment). The engineer states, "what you see is a temporary slope drain, to convey the offsite runoff from the earth dike to below the septic field. It lies on the surface, and causes no disturbance to the SDA". We were just wondering what you thought about it. Should this hold up BP approval?

Thanks,

Hank

From: Alice Miller <amiller@bei-civilengineering.com>

Sent: Tuesday, January 12, 2021 10:58 AM

To: Oswald, Hank <hoswald@howardcountymd.gov>

Subject: Re: B20004525_18423 Hidden Creek Way_BP Site Plan and OSDS Plan

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hank - what you see is a temporary slope drain, to convey the offsite runoff from the earth dike to below the septic field. It lies on the surface, and causes no disturbance to the SDA.

Alice A. Miller, P.E.
Benchmark Engineering, Inc.
410-465-6105

On 1/12/2021 10:50 AM, Oswald, Hank wrote:

Hi Alice:

The building permit site plan for 18423 Hidden Creek Way shows a stormwater outfall/discharge pipe within 25 feet of the SDA. In addition, the pipe crosses over the septic line and it also runs through part of the SDA. Please update the BP site plan and OSDS Plan to meet the 25 ft. setback. Also, the septic profile should show the storm water pipe elevation at intersection of septic line. Lastly, the pipe should not run through the SDA.

Should you have any questions, please don't hesitate to ask.

Thanks,

Hank

Hank Oswald, L.E.H.S.
Howard County Health Department
Bureau of Environmental Health
Well & Septic Program
8930 Stanford Boulevard
Columbia, MD 21045
(410) 313 - 1786
hoswald@howardcountymd.gov