

JUL 21 2021

PERMIT NUMBER: B21002771

DATE ACCEPTED:

LICENSES & PERMITS DIVISION



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 113 HERITAGE RIDGE RD
City: WOODBINE
State: MD
Zip Code: 21797
Subdivision/Village/Complex Name: LINDEN GROVE
SDP/WP/BA #:
Lot: 15
Tax Map:
Parcel:
Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: S.F.H.
Proposed Use: DECK W/STEPS
Estimated Cost: \$ 4100.-
Trade Work to Be Completed (Separate Permits Required):
[X] Mechanical (HVACR) [] Electrical [] Plumbing [] None
- X - W/STEPS

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): TOLL BROTHERS, INC
Primary Residence: [] Yes [X] No
Owner's Street Address: 7164 COLUMBIA GATEWAY DR.
City: COLUMBIA
State: MD
Zip Code: 21046
Phone:
Email:

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: SENECA VALLEY Bids
Contact Name: RAY
Street Address: 2526 KNOXVILLE WEST BOSS ARNOLD RD
City: KNOXVILLE
State: MD
Zip Code: 21758
Phone: 301-606-7195
Email: TBJR32@AOL.COM

CONTRACTOR INFORMATION REQUIRED

Business Name: SENECA VALLEY Bids
Licensee's Name: RAYMOND BEDNAR
License #: 96538
Street Address: 2526 WEST BOSS ARNOLD RD
City: KNOXVILLE
State: MD
Zip Code: 21758
Phone: 301-606-7195
Email: TBJR32@AOL.COM

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:
Name:
Street Address:
City:
State:
Zip Code:
Phone:
Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: [X] SF Dwelling [] SF Townhouse [] SF Duplex [] Mobile Home [] Multi-Family Dwelling (MF*)
Condo: [] Yes [X] No
Utilities: [X] Electric [] Gas
Water Supply: [] Public [X] Private (Well)
Sewage Disposal: [] Public [X] Private (Septic)
Heating System: [] Electric [] Natural Gas [] Propane [] Other:
Roadside Tree Project: [] No [X] Yes: #
Sprinkler System: [] NFPA 13 [] NFPA 13R [] NFPA 13D [] None
Fire Alarm System: [] Yes [] No [X] Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options:
of Bedrooms (SF):
of efficiency units (MF*):
of 1 BR (MF*):
of 2 BR (MF*):
of 3 BR (MF*):
Rooms:
Full Baths:
Half Baths:
Fireplaces:
Garage/Carport Info: [] Attached Garage [] Detached Garage [] Integral Garage [] Carport [] None
Basement/Foundation Info: [] Slab on Grade [] Post & Pier [] Unfinished Basement [] Finished Basement: [] Full or [] Partial
1st Fl Width:
1st Fl Depth:
2nd Fl Width:
2nd Fl Depth:
Bsmt Width:
Bsmt Depth:
Energy Method: [] Prescriptive [] Performance [] UA Alternative [] ERI
Gross Area: sq ft
Occupiable Area: sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Ray Bednar
APPLICANT'S ORIGINAL SIGNATURE
7/19/2021
DATE SIGNED

FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:
[] PR [] DPZ [] DED [X] Health 8/21/21 [] SHA [] CID
SUBMITTAL FEES: \$ 55
PAYMENT: ck # 7919
ACCEPTED BY: Drop Box

DEC 28 2020

PERMIT NUMBER: B20004570

DATE ACCEPTED:

LICENSES & PERMITS

DIVISION

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 www.howardcountymd.gov



BUILDING SITE ADDRESS REQUIRED

Street Address: 1913 Heritage Ridge Rd, City: Woodbine, State: MD, Zip Code: 21797, Subdivision/Village/Complex Name: Linden Grove, SDP/WP/BA #: , Lot: 15, Tax Map: , Parcel: , Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: vacant lot, Proposed Use: SFD, Estimated Cost: \$ 300,000, Trade Work to Be Completed: Mechanical (HVACR), Electrical, Plumbing, None, New 2 story "Dumont" Craftsman elev, with 2 car garage, 1 car side attached garage, walk out luxury covered deck, multi-generational suite, finished lower level (rec room, bathrooms)

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s): Toll Mid Atlantic LPO Inc, Primary Residence: No, Owner's Street Address: 250 Gibraltar Rd, City: Horsham, State: PA, Zip Code: 19044, Phone: 410-873-9105, Email: sriley1@tollbrothers.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Derator Building Services, Contact Name: Jim Kerwin, Street Address: PO Box 552, City: Woodbine, State: MD, Zip Code: 21797, Phone: 443-309-7792, Email: jim@deratorbuilding.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Toll Mid Atlantic LPO Inc, License #: 8220, Street Address: 7164 Columbia Gateway Dr, Ste 230, City: Columbia, State: MD, Zip Code: 21046, Phone: 410-873-9105, Email: sriley1@tollbrothers.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: , Name: , Street Address: , City: , State: , Zip Code: , Phone: , Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling, Utilities: Electric, Gas, Water Supply: Public, Sewage Disposal: Private (Septic), Heating System: Electric, Propane, Roadside Tree Project: No, Sprinkler System: NFPA 13D, Fire Alarm System: No

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: "Dumont" Craftsman, 2 car garage, 1 car side attached garage, covered deck, multi-gen suite, # of Bedrooms (SF): 5, # of efficiency units (MF*): , # of 1 BR (MF*): , # of 2 BR (MF*): , # of 3 BR (MF*): , # Rooms: 11, # Full Baths: 5, # Half Baths: 1, # Fireplaces: 1, Garage/Carport Info: Attached Garage, Basement/Foundation Info: Finished Basement: Full, 1st Fl Width: 72, 1st Fl Depth: 68, 2nd Fl Width: 58, 2nd Fl Depth: 45, Bsmt Width: 58, Bsmt Depth: 60, Energy Method: Performance, Gross Area: 7584 sq ft, Occupiable Area: 7136 sq ft

AGREEMENT/ DISCALIMER REQUIRED

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APPLICANT'S ORIGINAL SIGNATURE: Jim Kerwin, DATE SIGNED: 12/24/2020

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR, DPZ, DED, Health, SHA, CID, SUBMITTAL FEES: \$150.00, PAYMENT: CK-110374053, ACCEPTED BY: DWOPBOV

COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:

Date: 9/3/2021
To: _____
(Person's Name and Division)
From: Seneca Valley Builders (301) 606-7195
(Your Name, Company Name and Telephone Number)
Subject: Project name _____
Project site address 1413 Heritage Ridge Rd.
Permit # B21002964 SDP # _____
Other information pertinent to this project B21002771

- Please check the attachments below that you are submitting with this transmittal:
- Letter of response to address plan review comment letter
 - Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
 - Letter Summarizing Changes
 - Energy conservation calculations
 - Copies of _____ (be specific).
 - _____ Health Department Request _____ DPZ/ DED Request _____ Applicant's Request
 - Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
 - Other _____

Contact Person Information: (Required)

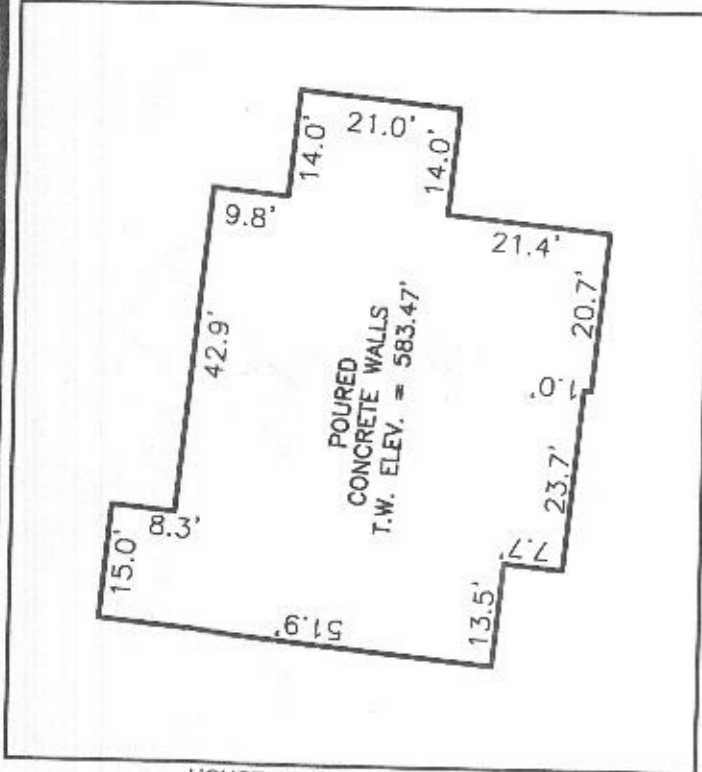
Kelly Foy Telephone No: 240-994-5797
Please Print Name E-Mail Address: kelly@senecavalleybuilders.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

Received by _____

RECEIVED
SEP 03 2021
LICENSES & PERMITS
DIVISION

- LEGEND:**
- BRL BUILDING RESTRICTION LINE
 - ⊙ WELL LOCATION
 - T.W. TOP OF WALL
 - ELEV. ELEVATION
 - ▨ SEPTIC RESERVE AREA



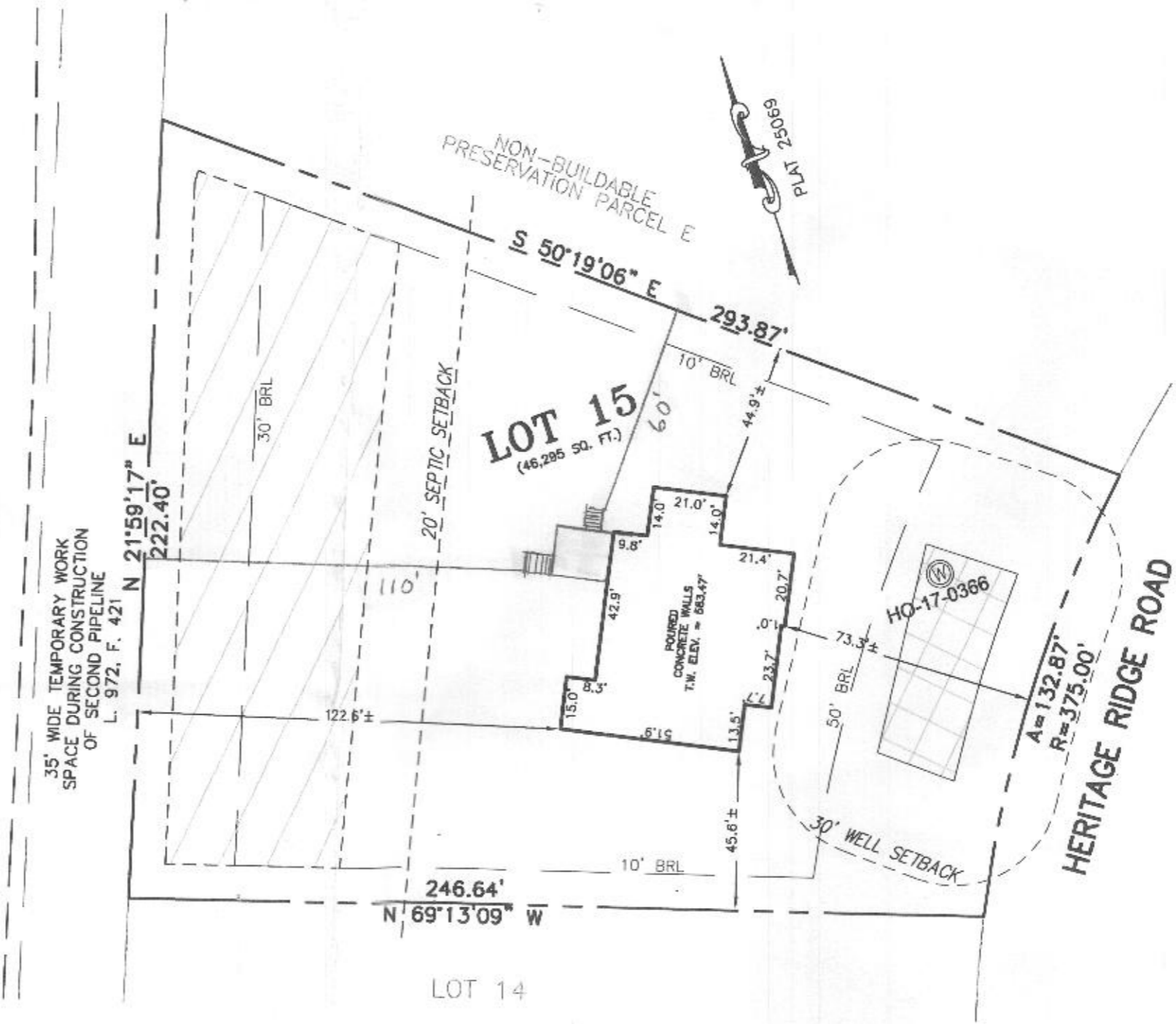
HOUSE ENLARGEMENT
NOT TO SCALE

WELL NUMBER: HO-17-0366
 ADDRESS: 1413 HERITAGE RIDGE ROAD
 WOODBINE, MD 21797
 PERMIT NO.: B20004570

BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPEMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.

EXISTING 75' COLONIAL PIPELINE EASEMENT
L. 972, F. 421

35' WIDE TEMPORARY WORK SPACE DURING CONSTRUCTION OF SECOND PIPELINE
L. 972, F. 421



SURVEYOR'S CERTIFICATE

THIS WALLCHECK WAS PREPARED WITHOUT THE BENEFIT OF A CURRENT TITLE REPORT. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS, RIGHT-OF-WAYS, COVENANTS, AND RESTRICTIONS, ETC. OF RECORD, SOME OR ALL OF WHICH MAY OR MAY NOT BE SHOWN AND/OR REFERENCED HEREON. BEARINGS AND DISTANCES OF THE PROPERTY BOUNDARY LINES SHOWN HEREON ARE PER AVAILABLE RECORDS AND HAVE NOT BEEN FIELD VERIFIED.
 THIS IS NOT A "LOCATION DRAWING" AND IS NOT TO BE USED FOR SETTLEMENT PURPOSES.

SIGNATURE: *Michael Joe Boyce* 21328 5/03/21
 MD. LIC. NO. DATE

WALLCHECK
 LOT 15
 LINDEN GROVE
 LIBER 15899, FOLIO 246
 PLAT NO. 25069
 ELECTION DISTRICT No. 4
 HOWARD COUNTY, MARYLAND

ESE CONSULTANTS

ENGINEERING • PLANNING • SURVEYING • ENVIRONMENT

ESE Consultants, Inc.
 7164 Columbia Gateway Drive • Suite 230 • Columbia, MD 21046
 T: 410-872-9105

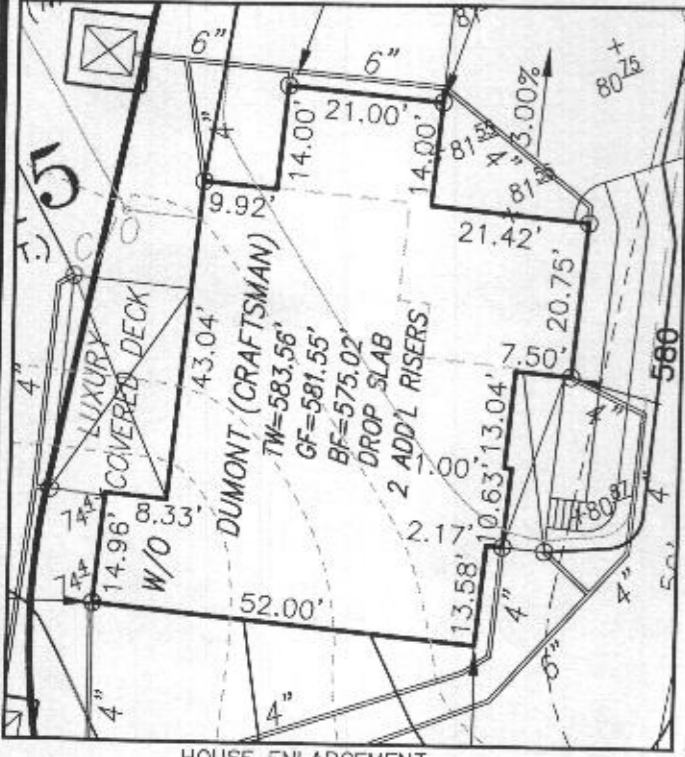
DATE: 05/03/2021 SCALE: 1" = 40' FILE: WC LOT 15
 CHK'D: M.J.B. JOB NO: 4683 DRAWN: V.X.P.



PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROFESSIONAL LAND SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 21328, EXPIRATION DATE 1/8/23.

- LEGEND:**
- BRL BUILDING RESTRICTION LINE
 - W WELL LOCATION
 - T.W. TOP OF WALL
 - G.F. GARAGE FLOOR
 - B.F. BASEMENT FLOOR
 - PASSED PERC LOCATION
 - FAILED PERC LOCATION
 - SILT FENCE
 - SUPER SILT FENCE
 - SCE STONE CONSTRUCTION ENTRANCE
 - SEPTIC RESERVE AREA
 - WELL BOX AREA
 - PROPOSED TREE
 - PROPOSED TREE
 - PROPOSED TREE

NOTE:
TOTAL LIMITS OF DISTURBANCE (LOD) = 36,159 SQ. FT.



BUILDING SETBACKS (B.R.L.'s) SHOWN HEREON PER SITE DEVELOPMENT PLAN SETBACK DISTANCES SHOWN HEREON AS "±" HAVE AN ACCURACY OF ±0.1' FOOT.



HOUSE TYPE: DUMONT (CRAFTSMAN)

TWO CAR SIDE ENTRY GARAGE	OPTION No. 012
FINISHED LOWER LEVEL	OPTION No. 013
WALK-OUT BASEMENT	OPTION No. 017
ADDITIONAL WALK-IN CLOSET	OPTION No. 030
ALTERNATE PRIMARY BEDROOM SUITE	OPTION No. 065
ADDITIONAL 1' TO BSMT FOUNDATION WALLS	OPTION No. 070
MULTI-GENERATIONAL SUITE ADDITION	OPTION No. 263073
OPTIONAL DROP ZONE	OPTION No. 263081
ADDITIONAL ONE CAR FRONT ENTRY GARAGE (14')	OPTION No. 263102
WALK-OUT LUXURY COVERED DECK	OPTION No. 263169
OPTIONAL BATH FOR FINISHED LOWER LEVEL	OPTION No. 383

WELL NUMBER: HO-17-0366

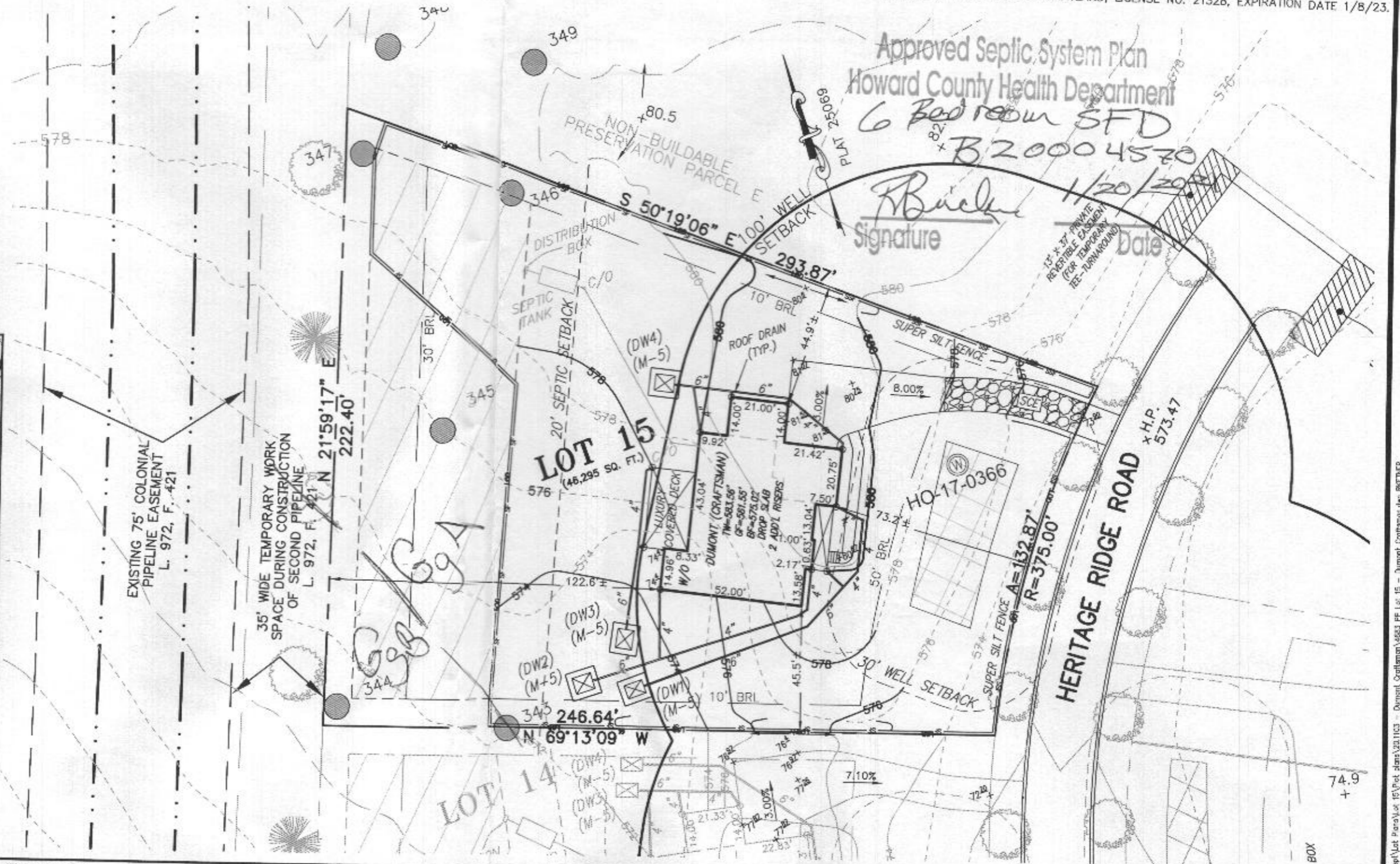
ADDRESS: 1413 HERITAGE RIDGE ROAD
WOODBINE, MD 21797

PLOT PLAN
LOT 15
LINDEN GROVE
LIBER 15899, FOLIO 246
PLAT NO. 25069
ELECTION DISTRICT No. 4
HOWARD COUNTY, MARYLAND

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ESE Consultants, Inc.
7164 Columbia Gateway Drive • Suite 230 • Columbia, MD 21046
T: 410-872-9105

DATE: 12/14/2020 SCALE: 1" = 40' FILE: 4683 PP LOT 15 - DUMONT CRAFT.
CHK'D: M.J.B. JOB NO: 4683 DRAWN: GVS / R.C.K.



Approved Septic System Plan
Howard County Health Department
6 Bedroom SFD
B20004570
Signature: [Signature]
Date: 1/20/2023

Dec 18, 2020 - 11:00 am H:\Projects\Maryland\4683 - Dumont Craftman\4683 PP Lot 15 - Dumont Craftman.dwg RCHDLR

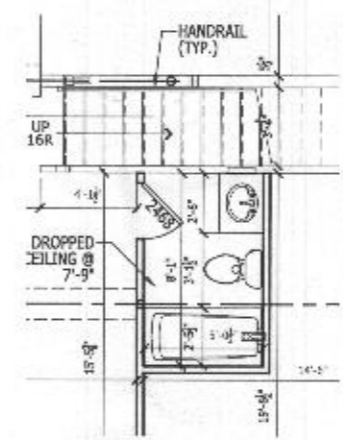
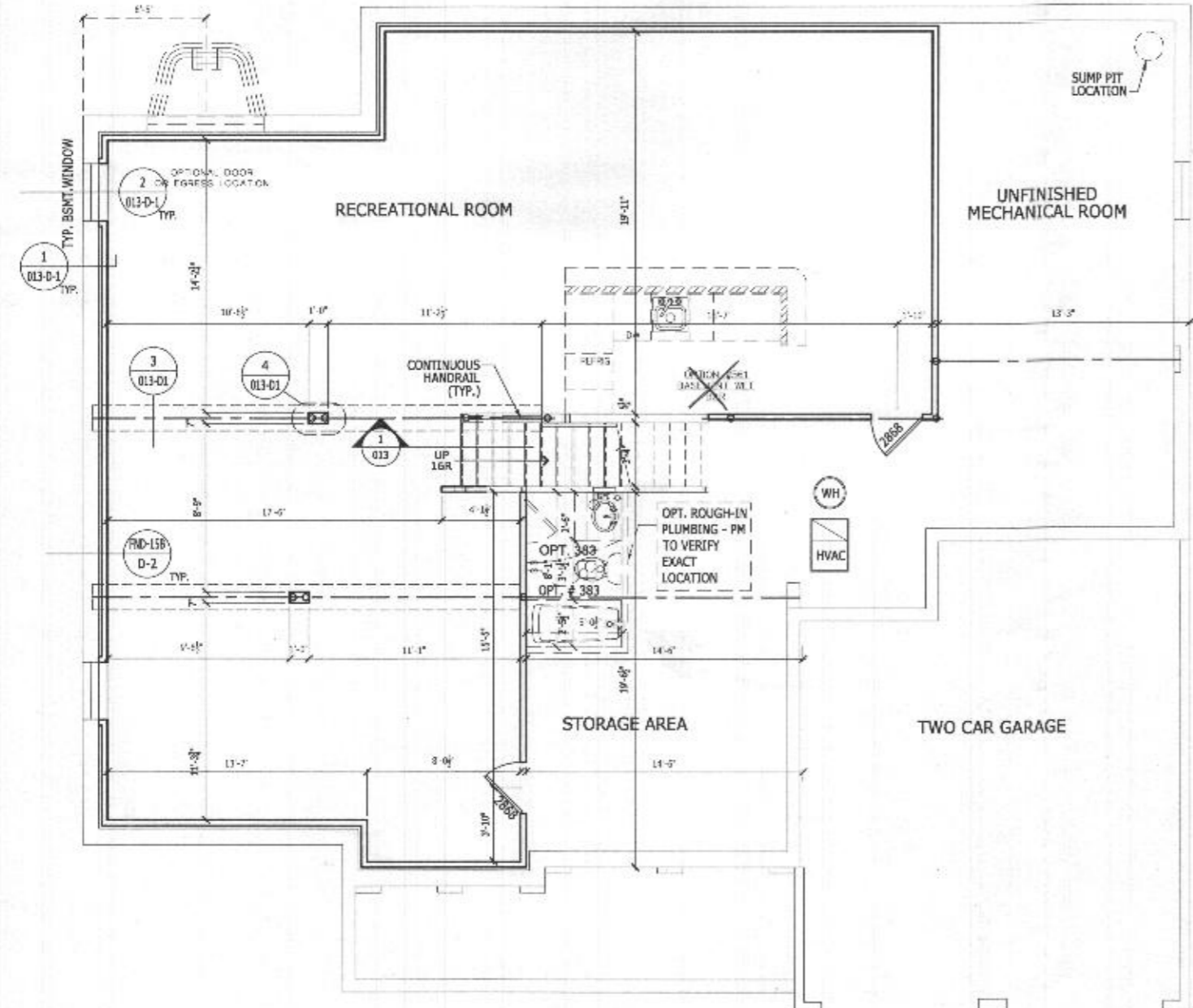
Lot 15 Linden Grove

1413 Heritage Ridge Road

Health Dept

HEALTH DEPT

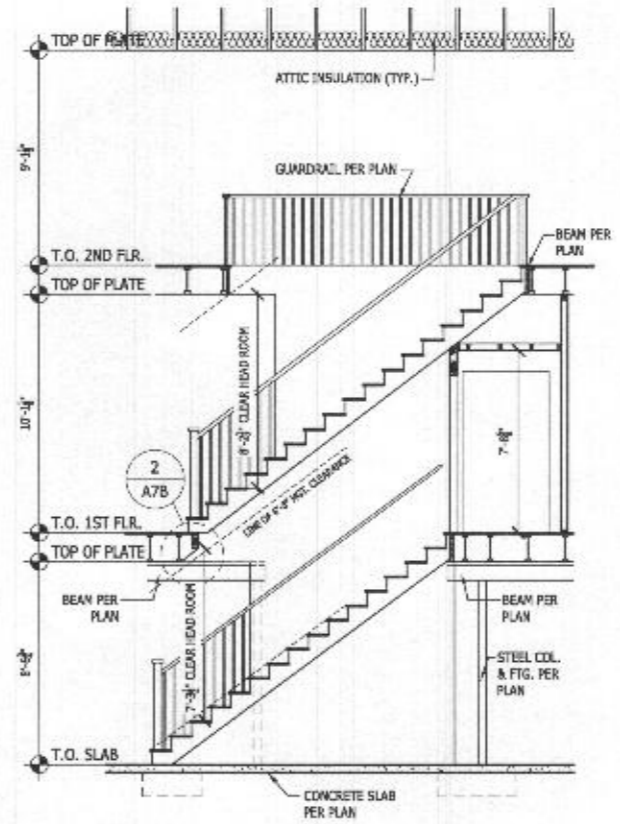
B20009570



OPT. 383- OPTIONAL BATH FOR FINISHED LOWER LEVEL
SCALE: 1/4" = 1'-0" ALL ELEVATION

FINISHED LOWER LEVEL NOTES

- REFER TO THE FOUNDATION PLANS FOR "FOUNDATION NOTES", DETAILS AND THE REMAINDER OF THE PLAN.
- REFER TO THE SECTIONS SHEET FOR "SECTION NOTES" AND DETAILS.
- REFER TO THE ELECTRICAL SHEET FOR "ELECTRICAL NOTES" AND "ELECTRICAL LEGEND".
- VERIFY WITH LOCAL MUNICIPALITY/ COMMUNITY FOR EGRESS FROM A FINISHED BASEMENT.
- THE INSIDE AND OUTSIDE PERIMETER DRAIN (OUTSIDE DRAIN) SHOULD BE EITHER DAY LIGHTED (WHEN GRADE ALLOWS), OR TIED INTO THE SUMP PUMP AS WELL AS THE DAYLIGHT BASEMENT DOOR DRAIN.
- THE SUMP PUMP SHOULD BE INCLUDED AS A STANDARD PART OF THIS OPTION AND BE NO LESS THAN 1/2 HORSEPOWER, UNLESS HELMETER DRAINS ARE GRAVITY CAPABLE.
- WATERPROOFING WITH A 10 YEAR GUARANTEE SHOULD BE STANDARD IN LIEU OF DAMP PROOFING.
- BASEMENT WALLS (INSIDE OF CONCRETE FOUNDATION WALLS) SHOULD BE 2X4 STUDS WALLS @ 16" O.C. WITH MINIMUM 2" SPACE BETWEEN BACK OF FRAMING AND INSIDE FACE OF FOUNDATION WALL (TO ALLOW FOR VENTILATION).
- NO VAPOR BARRIER IS TO BE INSTALLED AS PART OF THE BASEMENT WALL FRAMING AS IT WILL HINDER VENTILATION AND PROMOTE THE POSSIBILITY FOR MOLD GROWTH.
- CEILING SHOULD BE 2X2 REVEAL EDGE SUSPENDED TYPE OR DRYWALL, AT THE DISCRETION OF THE DIVISIONAL VICE PRESIDENT.
- HVAC SHOULD ALLOW FOR SEVERAL RETURNS AS WELL AS FEEDS TO THE OUTSIDE WALLS TO ADEQUATELY HEAT AND AIR CONDITION THE BASEMENT AREA.
- RELOCATE SUMP PUMP TO AN AREA OF THE BASEMENT NOT BEING FINISHED.
- INCLUDE ADDITIONAL 15 AMP CIRCUIT FOR LIGHTING IN THE FINISHED BASEMENT AREA.
- ELECTRICAL PANEL LOCATION IS MOVED TO UNFINISHED SPACE.
- FINISH LOWER LEVEL LIGHTING SHALL BE BASED ON (1) 60 WATT, RECESSED FIXTURE, FOR EVERY 100 SQUARE FEET OF FINISHED AREA FOR DRYWALL CEILINGS (AS SHOWN ON PLAN) or INSTALL 2X2' FLUORESCENT LIGHTING APPROXIMATELY EVERY 100 SQUARE FEET FOR 2X2' REVEAL EDGE SUSPENDED TYPE CEILING, AT THE DISCRETION OF THE DIVISIONAL VICE PRESIDENT.
- 2X4 FRAME WALLS, AGAINST FOUNDATION WALLS, TO BE INSULATED WITH UNFACED BATTIS R-13. LOWER HALF OF WALLS SHALL BE DENSE GLASS OR EQUAL, TOP 1/2" GYPSUM WALLBOARD.



ALL IDEAS, DESIGNS, ARRANGEMENTS AND PLANS INDICATED OR REPRESENTED BY THIS DRAWING ARE OWNED BY AND THE PROPERTY OF TOLL BROTHERS, INC. AND ARE COPYRIGHTED. THEY WERE CREATED, EVOLVED AND DEVELOPED FOR USE ON, AND IN CONNECTION WITH THE SPECIFIED PROJECT. NONE OF SUCH IDEAS, DESIGNS, ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON, FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER WITHOUT THE WRITTEN PERMISSION OF TOLL BROTHERS, INC. WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS CONTRACTORS SHALL VERIFY, AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND TOLL BROTHERS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS.

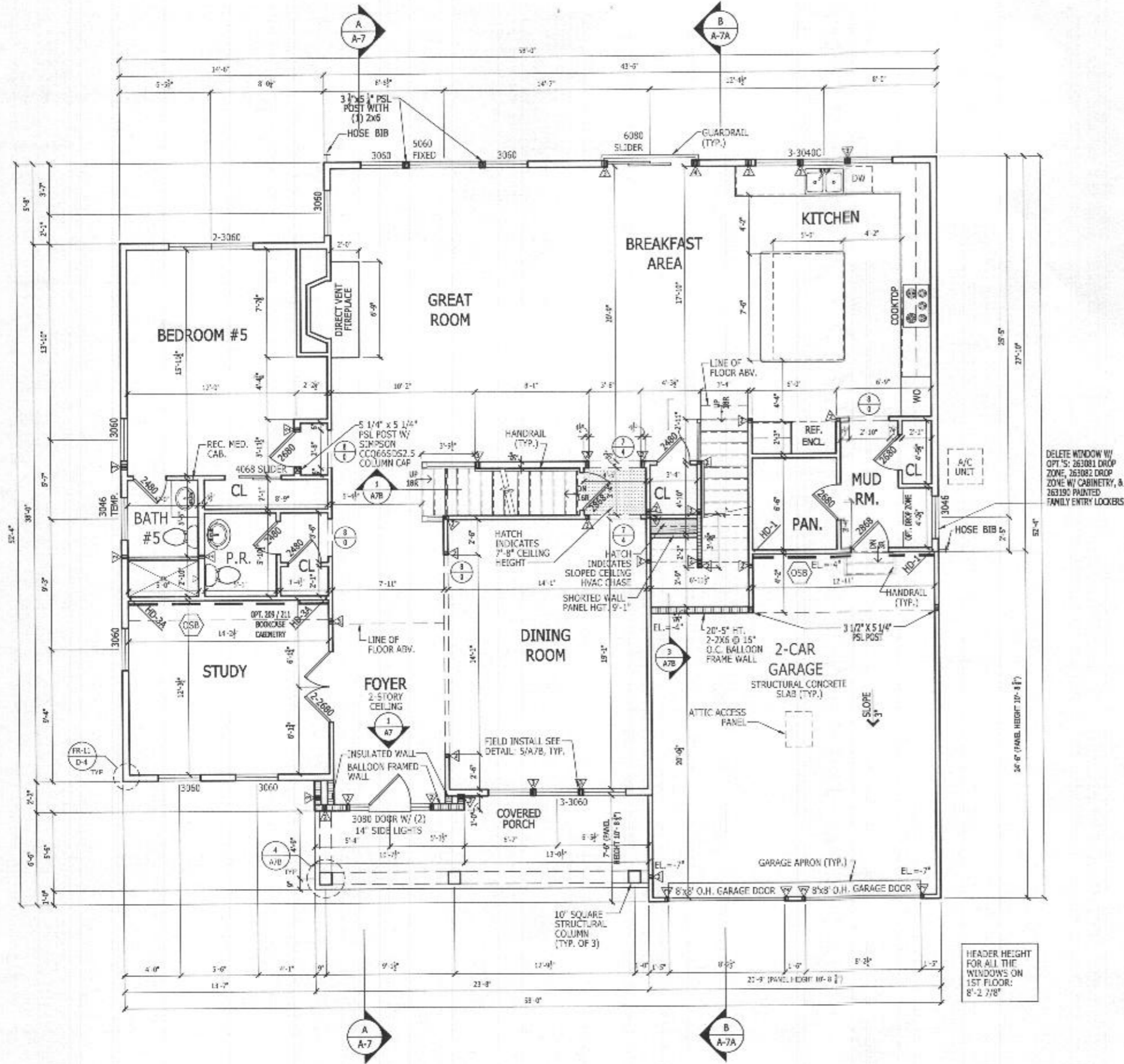
© TB Proprietary Corp.

TOLL ARCHITECTURE	
PHILADELPHIA · ORLANDO DALLAS · LOS ANGELES · SEATTLE	250 Gibraltar Road, Hershham, PA 19044 P 215-293-5300 F 215-293-5314 A Division of Toll Brothers
SHEET REVISION INFO	SET REVISION INFO 202347
PRODUCT LINE	MODEL/PROJECT NAME DUMONT ELEVATION NAME CRAFTSMAN
DRAWN BY - K.SIDHUPURA	CHECKED BY - TOLLARCH SHEET DATE - 03.13.2019
SHEET DESCRIPTION OPT # 013- FINISHED BASEMENT PLAN	
SHEET NUMBER	013
SERIAL NUMBER	1018.0

RIGHT HAND SET

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© TB Proprietary Corp.



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

10' CEILING HEIGHT
CRAFTSMAN

LATERAL BRACING
THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOAD USING AN ENGINEERED METHOD FOR 115 MPH BASIC WIND SPEED.
FOR OSB + DRYWALL ATTACHMENT SEE ALL DETAIL SHEET

RIGHT HAND SET

SHEET DESCRIPTION

FIRST FLOOR PLAN

SERIAL NUMBER

SHEET NUMBER

A2_31

DRAWN BY - K.SIDHURA

CHECKED BY - TOLLARCH

SHEET DATE - 03.13.2019

PRODUCT LINE

MODEL/PROJECT NAME

DUMONT

ELEVATION NAME

CRAFTSMAN

SHEET REVISION INFO

SET REVISION INFO

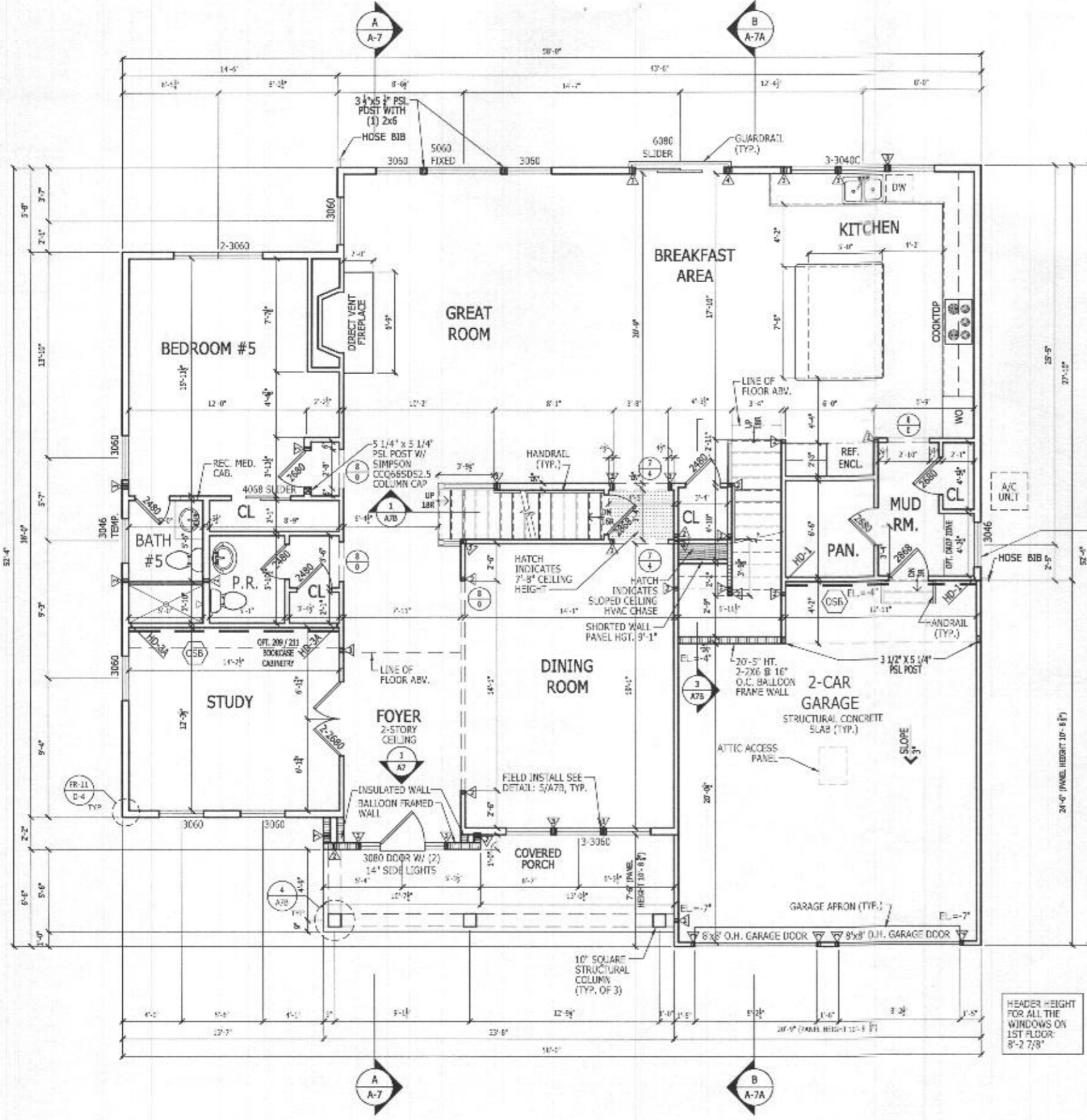
202347

TOLLARCHITECTURE

PHILADELPHIA · ORLANDO
DALLAS · LOS ANGELES · SEATTLE

250 Gibraltar Road, Horsham, PA 19044
P 215-293-5300 | F 215-293-5314
A Division of Toll Brothers

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FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0"

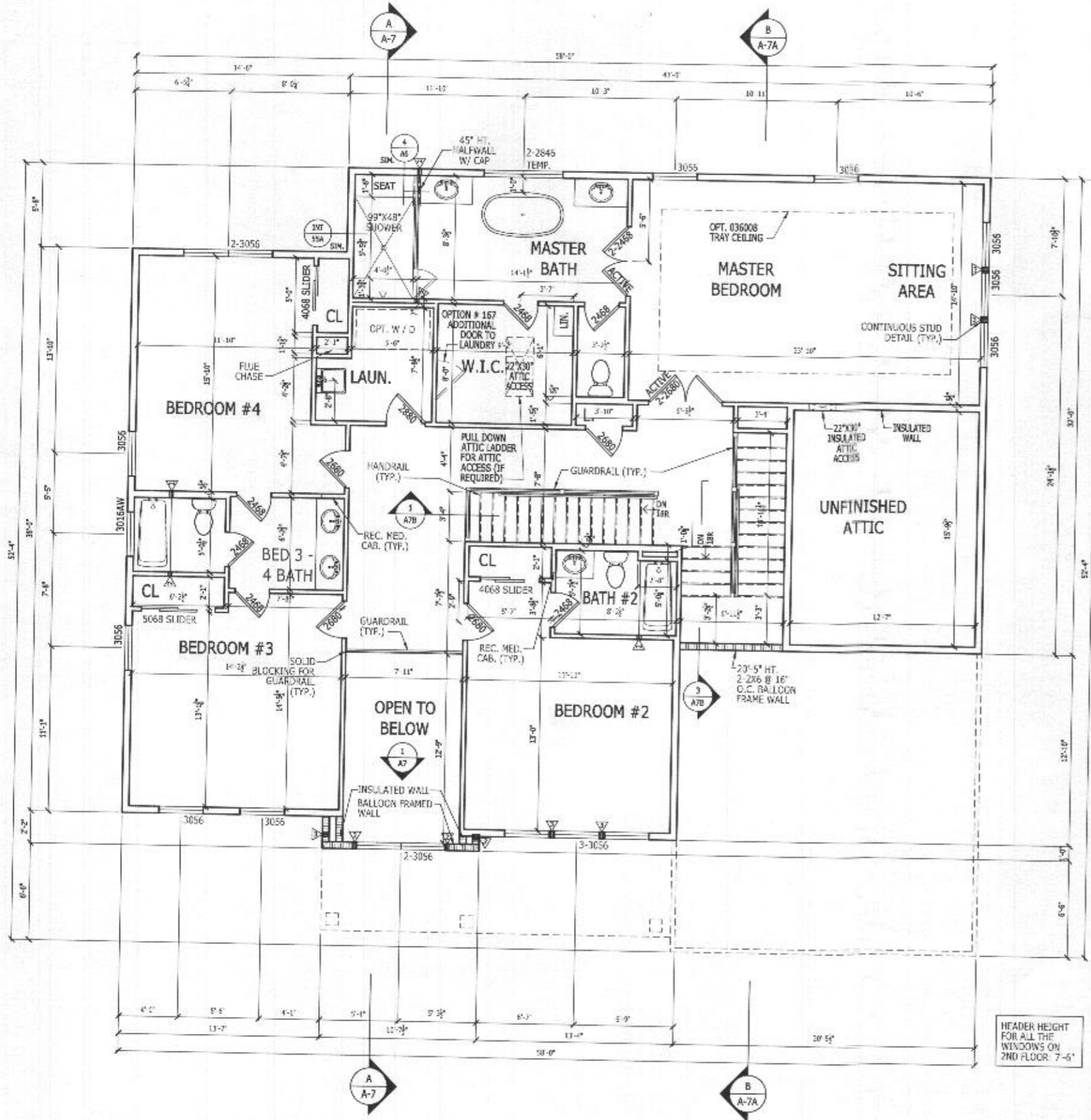
10' CEILING HEIGHT
 CRAFTSMAN

LATERAL BRACING
 THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOAD USING AN ENGINEERED METHOD FOR 115 MPH BASIC WIND SPEED.
 FOR OSB + DRYWALL ATTACHMENT SEE A4L1 DETAIL SHEET

RIGHT HAND SET

TOLLARCHITECTURE PHILADELPHIA · ORLANDO DALLAS · LOS ANGELES · SEATTLE 250 Gibraltar Road, Horsham, PA 19044 P 215-293-5300 F 215-293-5314 A Division of Toll Brothers	
SHEET REVISION INFO SET REVISION INFO 202347	PRODUCT LINE MODEL/PROJECT NAME DUMONT ELEVATION NAME CRAFTSMAN
DRAWN BY - K. SIDHUPURA CHECKED BY - TOLLARCH SHEET DATE - 03.13.2019	SHEET DESCRIPTION FIRST FLOOR PLAN SERIAL NUMBER A2_31 SHEET NUMBER 1018.0

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LATERAL BRACING
 THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOAD USING AN ENGINEERED METHOD FOR 115 MPH BASIC WIND SPEED.
 FOR OSB + DRYWALL ATTACHMENT SEE ALL DETAIL SHEET

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

9' CEILING HEIGHT
 CRAFTSMAN

RIGHT HAND SET

SHEET DESCRIPTION
 SECOND FLOOR PLAN

DRAWN BY - K.SIDHURIA
 CHECKED BY - TOLLARCH
 SHEET DATE - 03.13.2019

PRODUCT LINE
 MODEL/PROJECT NAME

DUMONT
 ELEVATION NAME
 CRAFTSMAN

SHEET REVISION INFO

SET REVISION INFO
 202347

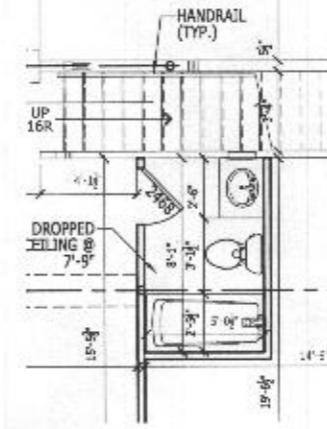
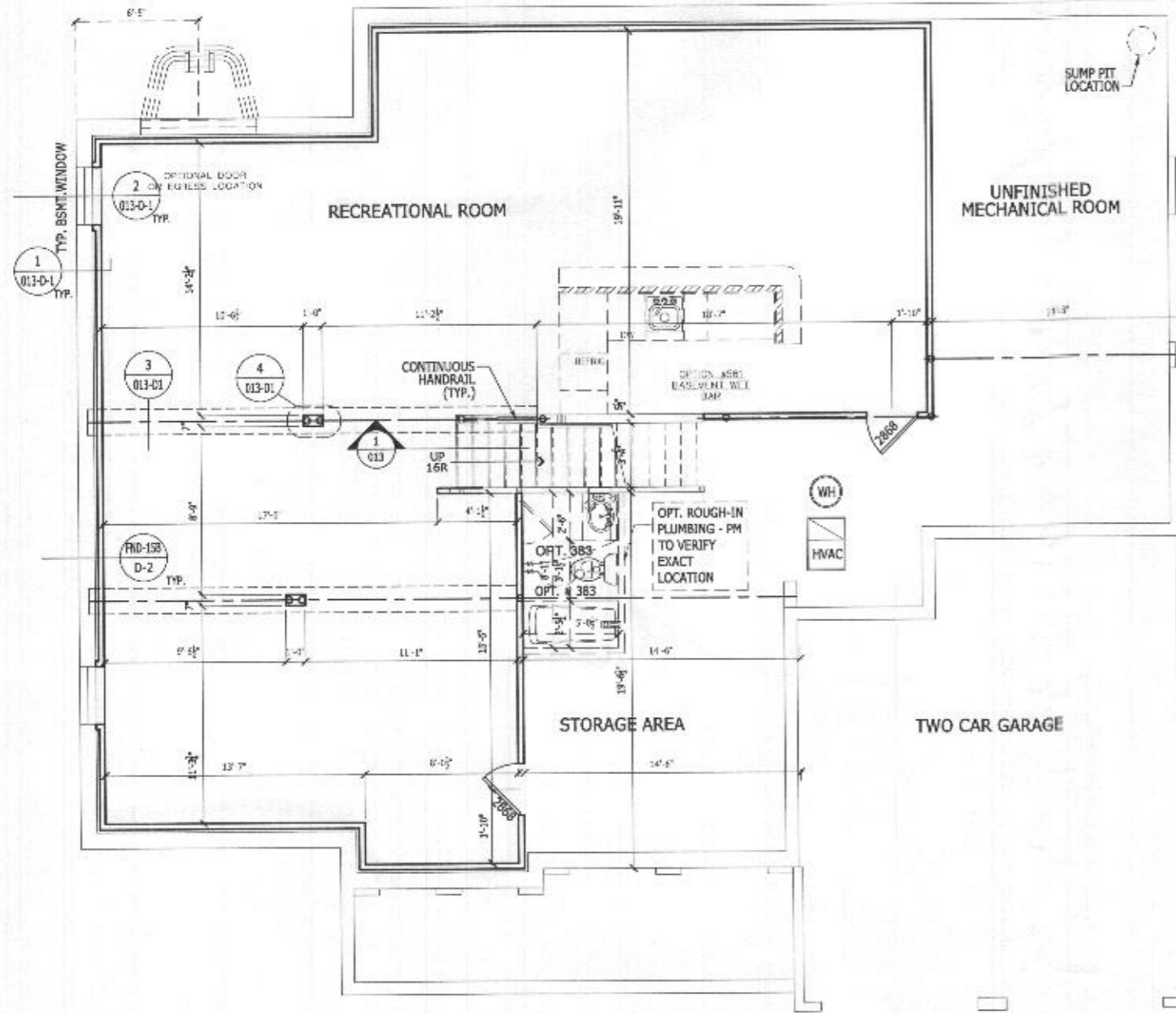
TOLLARCHITECTURE

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 250 Gibraltar Road, Horsham, PA 19044
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1018.0

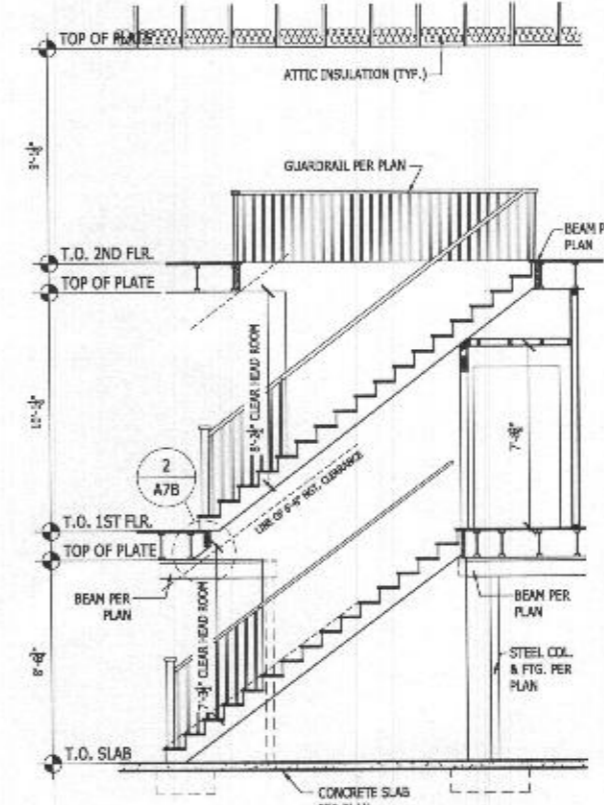
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OPT. 383- OPTIONAL BATH FOR FINISHED LOWER LEVEL
SCALE: 1/4" = 1'-0" ALL ELEVATION

FINISHED LOWER LEVEL NOTES

- REFER TO THE FOUNDATION PLANS FOR "FOUNDATION NOTES", DETAILS AND THE REMAINDER OF THE PLAN.
- REFER TO THE SECTIONS SHEET FOR "SECTION NOTES" AND DETAILS.
- REFER TO THE ELECTRICAL SHEET FOR "ELECTRICAL NOTES" AND "ELECTRICAL LEGEND".
- VERIFY WITH LOCAL MUNICIPALITY/ COMMUNITY FOR EGRESS FROM A FINISHED BASEMENT.
- THE INSIDE AND OUTSIDE PERIMETER DRAIN (OUTSIDE DRAIN) SHOULD BE EITHER DAY LIGHTED (WHEN GRADE ALLOWS) OR TIED INTO THE SUMP PUMP AS WELL AS THE DAYLIGHT BASEMENT DOOR DRAIN.
- THE SUMP PUMP SHOULD BE INCLUDED AS A STANDARD PART OF THIS OPTION AND BE NO LESS THAN 1/2 HORSEPOWER, UNLESS PERIMETER DRAINS ARE GRAVITY CAPABLE.
- WATERPROOFING WITH A 10 YEAR GUARANTEE SHOULD BE STANDARD IN LIEU OF DAMP PROOFING.
- BASEMENT WALLS (INSIDE OF CONCRETE FOUNDATION WALLS) SHOULD BE 2X4 STUDS WALLS @ 16" O.C. WITH MINIMUM 2" SPACE BETWEEN BACK OF FRAMING AND INSIDE FACE OF FOUNDATION WALL (TO ALLOW FOR VENTILATION).
- NO VAPOR BARRIER IS TO BE INSTALLED AS PART OF THE BASEMENT WALL FRAMING AS IT WILL HINDER VENTILATION AND PROMOTE THE POSSIBILITY FOR MOLD GROWTH.
- CEILINGS SHOULD BE 2X2 REVEAL EDGE SUSPENDED TYPE OR DRYWALL, AT THE DISCRETION OF THE DIVISIONAL VICE PRESIDENT.
- HVAC SHOULD ALLOW FOR SEVERAL RETURNS AS WELL AS FEEDS TO THE OUTSIDE WALLS TO ADEQUATELY HEAT AND AIR CONDITION THE BASEMENT AREA.
- RELOCATE SUMP PUMP TO AN AREA OF THE BASEMENT NOT BEING FINISHED.
- INCLUDE ADDITIONAL 15 AMP CIRCUIT FOR LIGHTING IN THE FINISHED BASEMENT AREA.
- ELECTRICAL PANEL LOCATION IS MOVED TO UNFINISHED SPACE.
- FINISH LOWER LEVEL LIGHTING SHALL BE BASED ON (1) 60 WATT, RECESSED FIXTURE, FOR EVERY 100 SQUARE FEET OF FINISHED AREA FOR DRYWALL CEILINGS (AS SHOWN ON PLAN) OR INSTALL 2'X2' FLUORESCENT LIGHTING APPROXIMATELY EVERY 100 SQUARE FEET FOR 2'X2' REVEAL EDGE SUSPENDED TYPE CEILING, AT THE DISCRETION OF THE DIVISIONAL VICE PRESIDENT.
- 2X4 FRAME WALLS, AGAINST FOUNDATION WALLS, TO BE INSULATED WITH UNFACED BATTIS R-13. LOWER HALF OF WALLS SHALL BE DENS GLASS OR EQUAL, TOP 1/2' GYPSUM WALLBOARD.



1 BUILDING SECTION
Scale: 1/4" = 1'-0"

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SHEET REVISION INFO	SET REVISION INFO
	202347

PRODUCT LINE	MODEL/PROJECT NAME	ELEVATION NAME
	DUMONT	CRAFTSMAN

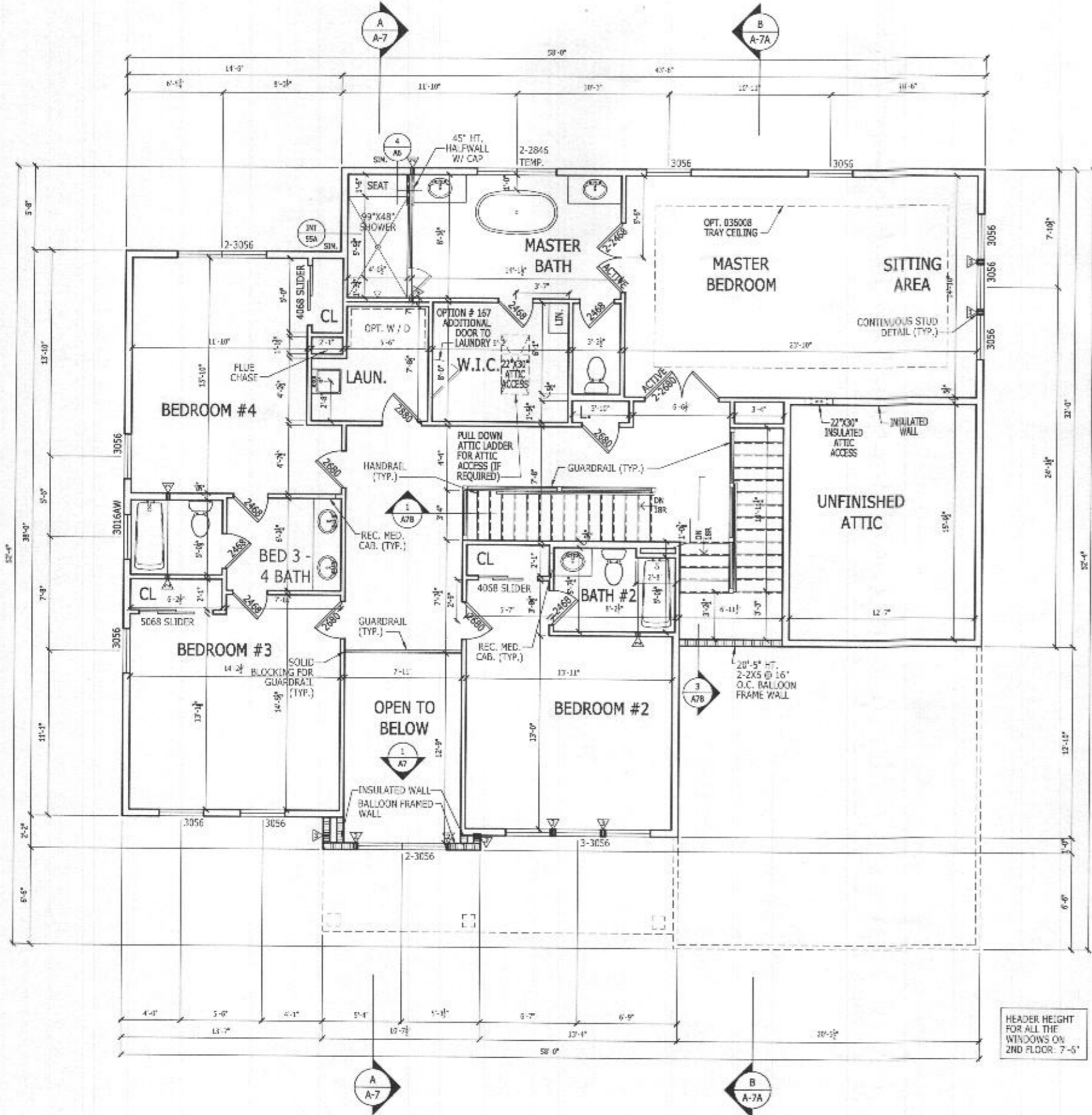
DRAWN BY -	CHECKED BY -	SHEET DATE -
K.SIDHUPURA	TOLLARCH	03.13.2019

SHEET DESCRIPTION	SHEET NUMBER
OPT # 013- FINISHED BASEMENT PLAN	013
SERIAL NUMBER	1018.0

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SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

9' CEILING HEIGHT
CRAFTSMAN

HEADER HEIGHT FOR ALL THE WINDOWS ON 2ND FLOOR: 7'-5"

LATERAL BRACING
THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCE 7-10 WIND LOAD USING AN ENGINEERED METHOD FOR 115 MPH BASIC WIND SPEED.
FOR OSB + DRYWALL ATTACHMENT SEE A4L1 DETAIL SHEET

RIGHT HAND SET

SHEET DESCRIPTION
SECOND FLOOR PLAN

DRAWN BY - K.SIDHIPURA

CHECKED BY - TOLLARCH

SHEET DATE - 03.13.2019

SHEET REVISION INFO

SET REVISION INFO
202347

PRODUCT LINE

MODEL/PROJECT NAME
DUMONT

ELEVATION NAME
CRAFTSMAN

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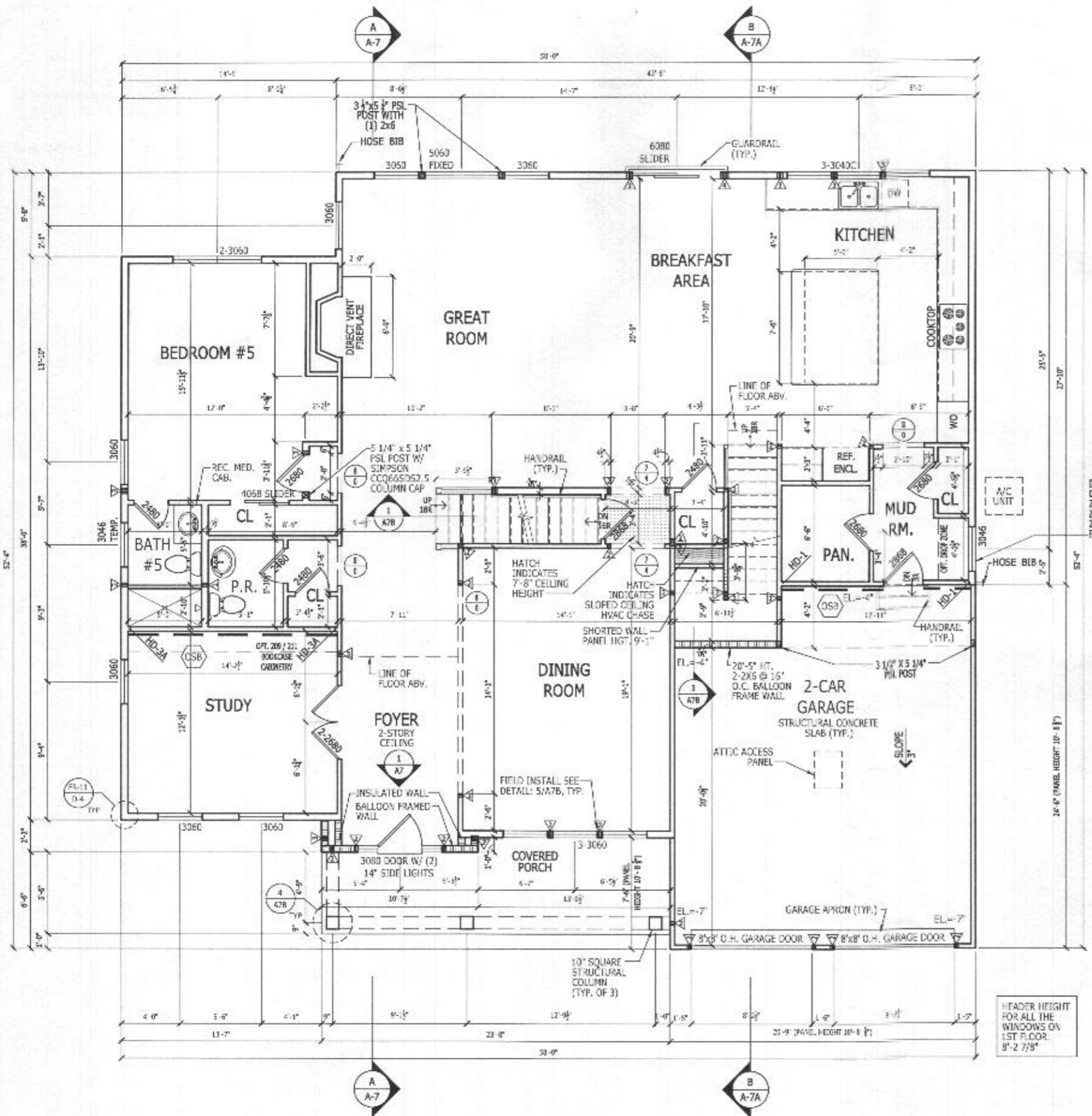
SERIAL NUMBER

SHEET NUMBER
A3_31

1018.0

DATE: 10/13/2019
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LATERAL BRACING

THIS HOUSE HAS BEEN ENGINEERED TO RESIST ASCF 7-10 WIND LOAD USING AN ENGINEERED METHOD FOR 115 MPH BASIC WIND SPEED.

FOR CSB + DRYWALL ATTACHMENT SEE A4.1 DETAIL SHEET

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

10' CEILING HEIGHT
CRAFTSMAN

RIGHT HAND SET

SHEET DESCRIPTION FIRST FLOOR PLAN		PRODUCT LINE MODEL/PROJECT NAME DUMONT		SHEET REVISION INFO SET REVISION INFO 202347		TOLLARCHITECTURE PHILADELPHIA · ORLANDO DALLAS · LOS ANGELES · SEATTLE	
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SHEET NUMBER		A2_31		ELEVATION NAME CRAFTSMAN		A Division of Toll Brothers	