

PERMIT NUMBER: B

DATE ACCEPTED:

21000497

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov



BUILDING SITE ADDRESS REQUIRED

Street Address: 13050 Greenberry Lane, City: Clarksville, State: MD, Zip Code: 21029, Subdivision/Village/Complex Name: NA, SDP/WP/BA #: , Lot: , Tax Map: , Parcel: , Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: Single Family Dwelling, Proposed Use: Single Family Dwelling, Estimated Cost: \$150,000, Trade Work to Be Completed: Mechanical (HVACR) [], Electrical [X], Plumbing [X], None [], Description: construct 1 story with loft detached garage with small bathroom - loft unfinished storage

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s): Elin Williams Bahen, Primary Residence: [X] Yes [] No, Owner's Street Address: 13050 Greenberry Lane, City: Clarksville, State: MD, Zip Code: 21029, Phone: 410-416-5445, Email: elin-williams@yahoo.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Homeowner - same as above, Contact Name: , Street Address: above, City: , State: , Zip Code: , Phone: , Email:

CONTRACTOR INFORMATION REQUIRED

Business Name: , Licensee's Name: , License #: , Street Address: , City: , State: , Zip Code: , Phone: , Email:

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Lehman Associates, Name: John Lehman, Street Address: 6000 Mink Hollow Road, City: Highland, State: MD, Zip Code: 20777, Phone: 202-524-1109, Email: jlehman@leahns.us

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: [] SF Dwelling [] SF Townhouse [] SF Duplex [] Mobile Home [] Multi-Family Dwelling (MF*), Condo: [] Yes [X] No, Utilities: [X] Electric [X] Gas, Water Supply: [] Public [X] Private (Well), Sewage Disposal: [] Public [X] Private (Septic), Heating System: [] Electric [X] Natural Gas [] Propane [] Other, Roadside Tree Project: [X] No [] Yes: #, Sprinkler System: [] NFPA 13 [] NFPA 13R [] NFPA 13D [X] None, Fire Alarm System: [] Yes [X] No [] Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: 1 story detached garage with small bathroom, # of Bedrooms (SF): 0, # of efficiency units (MF*): , # of 1 BR (MF*): , # of 2 BR (MF*): , # of 3 BR (MF*): , # Rooms: 2 plus loft, # Full Baths: 1, # Half Baths: , # Fireplaces: , Garage/Carport Info: [] Attached Garage [X] Detached Garage [] Integral Garage [] Carport [] None, Basement/Foundation Info: [] Slab on Grade [] Post & Pier [] Unfinished Basement [] Finished Basement: [] Full or [] Partial, 1st Fl Width: 37', 1st Fl Depth: 28', 2nd Fl Width: , 2nd Fl Depth: , Bsmt Width: , Bsmt Depth: , Energy Method: [] Prescriptive [] Performance [] UA Alternative [] ERI, Gross Area: 1016 sq ft, Occupiable Area: sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE [Signature], DATE SIGNED: 2/11/2021

FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: [] PR [] DPZ [] DED [X] Health 3/25/21 [] SHA [] CID, SUBMITTAL FEES: 25, PAYMENT: 1977, ACCEPTED BY: [Signature]

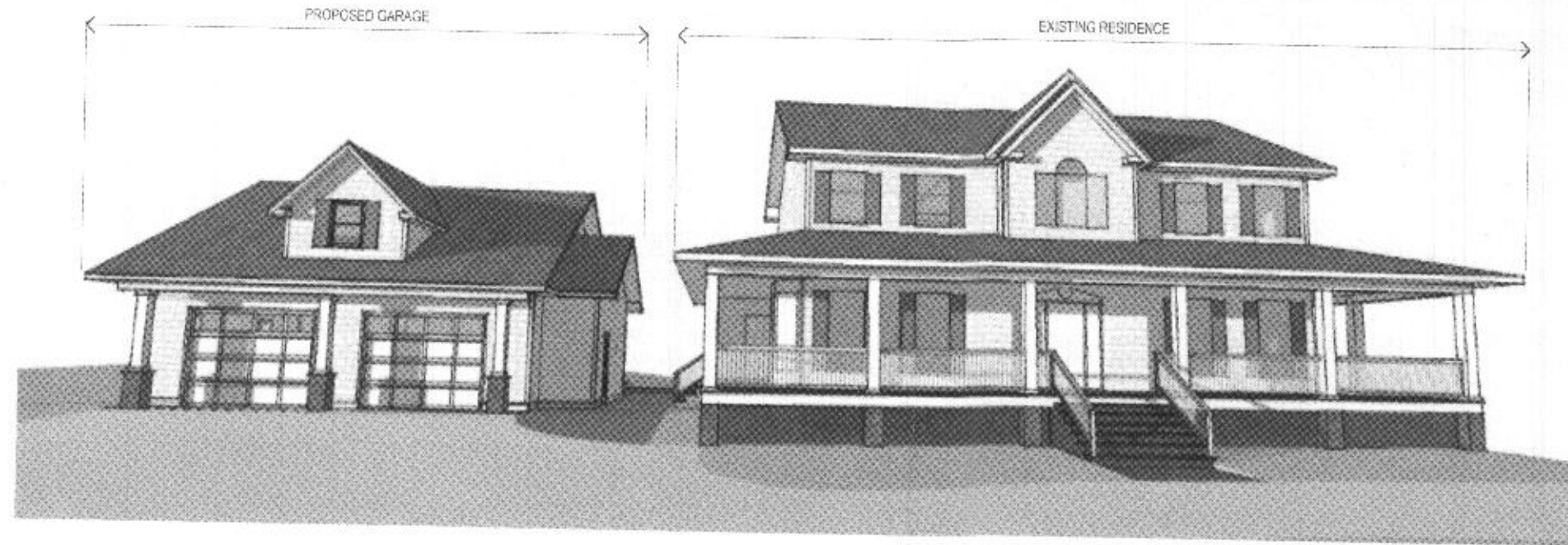
PROPOSED NEW 2-CAR GARAGE

JEFF AND ELIN BANEN

13050 GREENBERRY LANE, CLARKSVILLE, MD 21029



LEHMAN ASSOCIATES, PC
ARCHITECTS



PROPOSED FRONT PERSPECTIVE VIEW

PROJECT DIRECTORY

LIST OF DRAWINGS

GENERAL PROJECT SCOPE

BUILDING CODES

BUILDING & SITE DATA

CLIENT / HOMEOWNER:

JEFF AND ELIN BANEN
13050 GREENBERRY LANE
CLARKSVILLE, MD 21029

ARCHITECT:

LEHMAN ASSOCIATES, PC
JOHN J. LEHMAN, AIA
5888 MINK HOLLOW ROAD
HIGHLAND, MD 20777
PHONE: 301-854-1108
EMAIL: JLEHMAN@LAPC.US

GENERAL CONTRACTOR:

TO BE DETERMINED

- CVR COVER SHEET
- A-1 MAIN LEVEL FLOOR PLAN
- A-2 FOUNDATION AND ROOF PLANS
- A-3 ATTIC FLOOR PLAN
- A-4 EXTERIOR ELEVATIONS
- A-5 CROSS SECTIONS
- A-6 SECTIONS AND DETAILS

CONSTRUCTION OF A NEW 2-CAR GARAGE WITH AN ATTIC LOFT ABOVE FOR PERSONAL STORAGE.
TO THE REAR OF THE PROPOSED GARAGE WILL BE A 24' X 16' COVERED PORCH FOR POOLSIDE ENTERTAINING AND A 3 SEASON BATH ROOM.

NO HEAT OR AC TO BE INCLUDED.
ALL BATH ROOM PLUMBING INTENDED TO BE SHUT DOWN AND WINTERIZED WHEN NOT IN USE.

- INT'L RESIDENTIAL CODE - 2018 EDITION
- INT'L ENERGY CONSERVATION CODE, 2018 EDITION
- INT'L MECHANICAL CODE, 2018 EDITION
- THE LIFE SAFETY CODE, 2018 EDITION (NFPA 101) LOCAL AMENDMENTS TO INT'L CODES
- 2014 NATIONAL ELECTRICAL CODE (NFPA 70) WITH LOCAL AMENDMENTS

EXISTING RESIDENCE: 3,030 SQ. FT. (+/-)
PROPOSED 2-CAR GARAGE: 1,916 SQ. FT.
PROPOSED PORCH: 384 SQ. FT.



LEHMAN ASSOCIATES, PC
a r c h i t e c t s

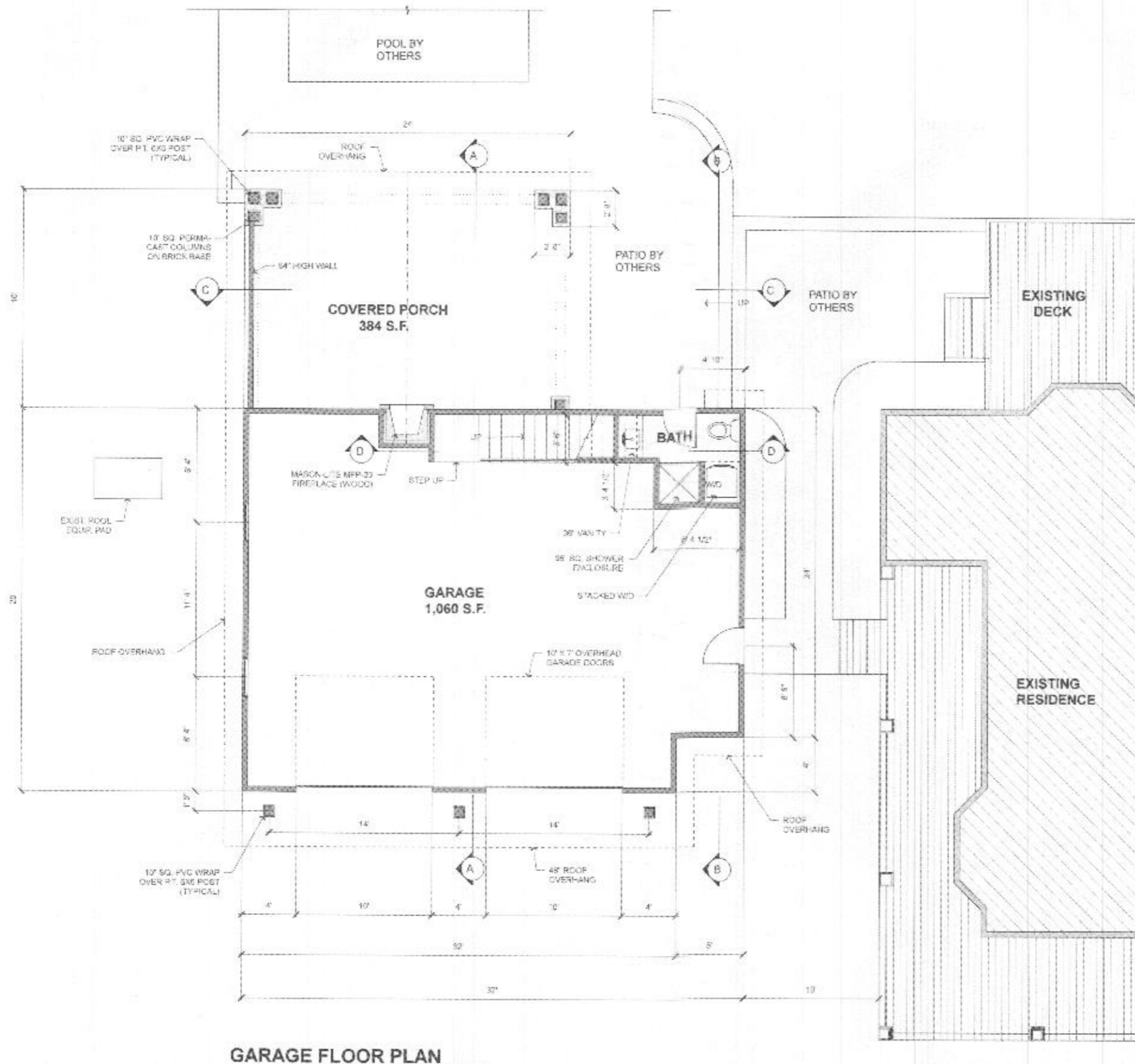
NOT APPROVED FOR CONSTRUCTION

ISSUED FOR PERMIT AND BID
DATE: JANUARY 28, 2021

PERMIT - BID

DATE: 1/28/21

A-0



GARAGE FLOOR PLAN

SCALE 1/8" = 1'-0"

NOT APPROVED FOR CONSTRUCTION

PROPOSED GARAGE ADJACENT TO THE RESIDENCE 2"

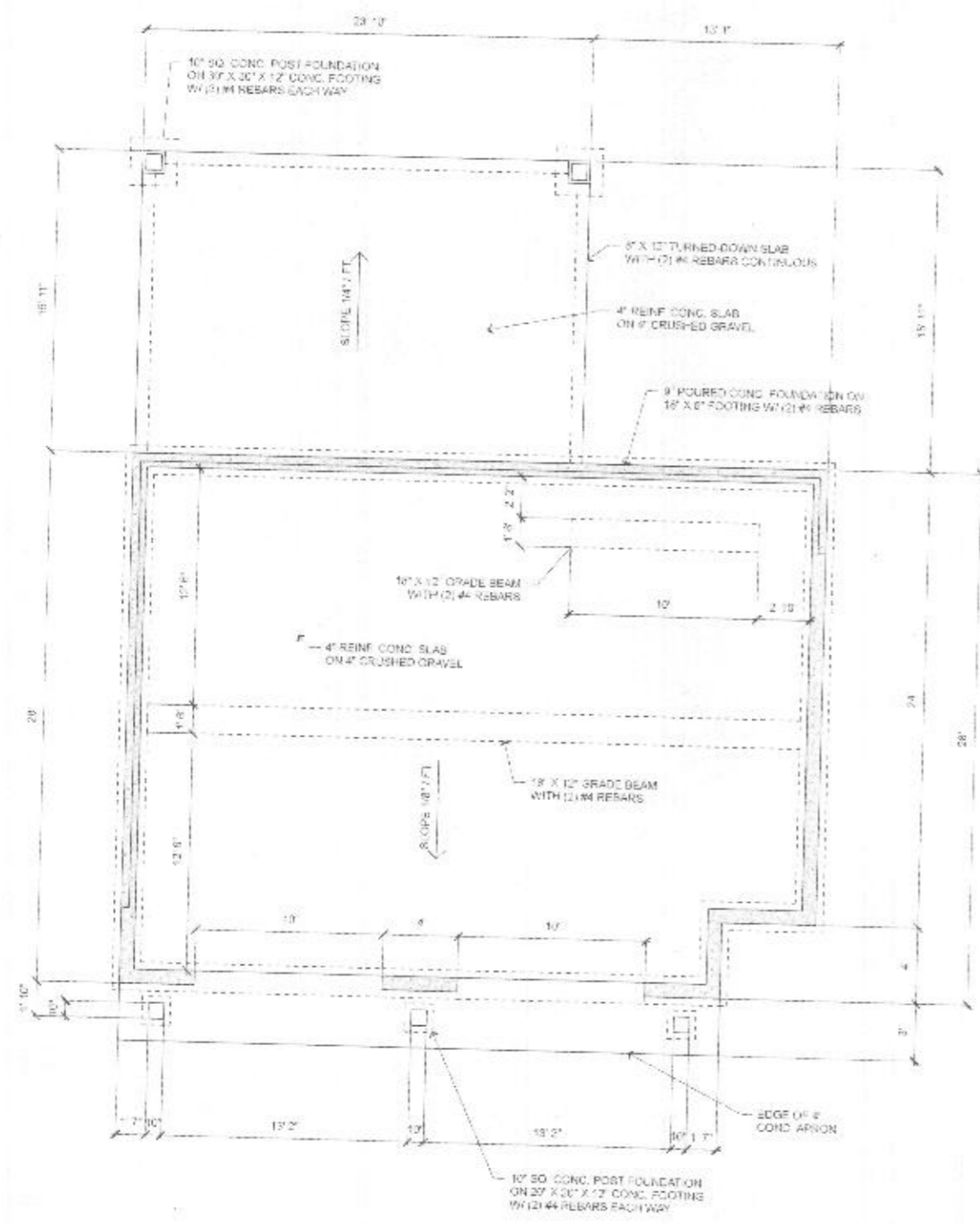
JEFF AND ELIN BANEN

13000 GREENBERRY LANE, CLARKSVILLE, MD 21030

PERMIT - B/C

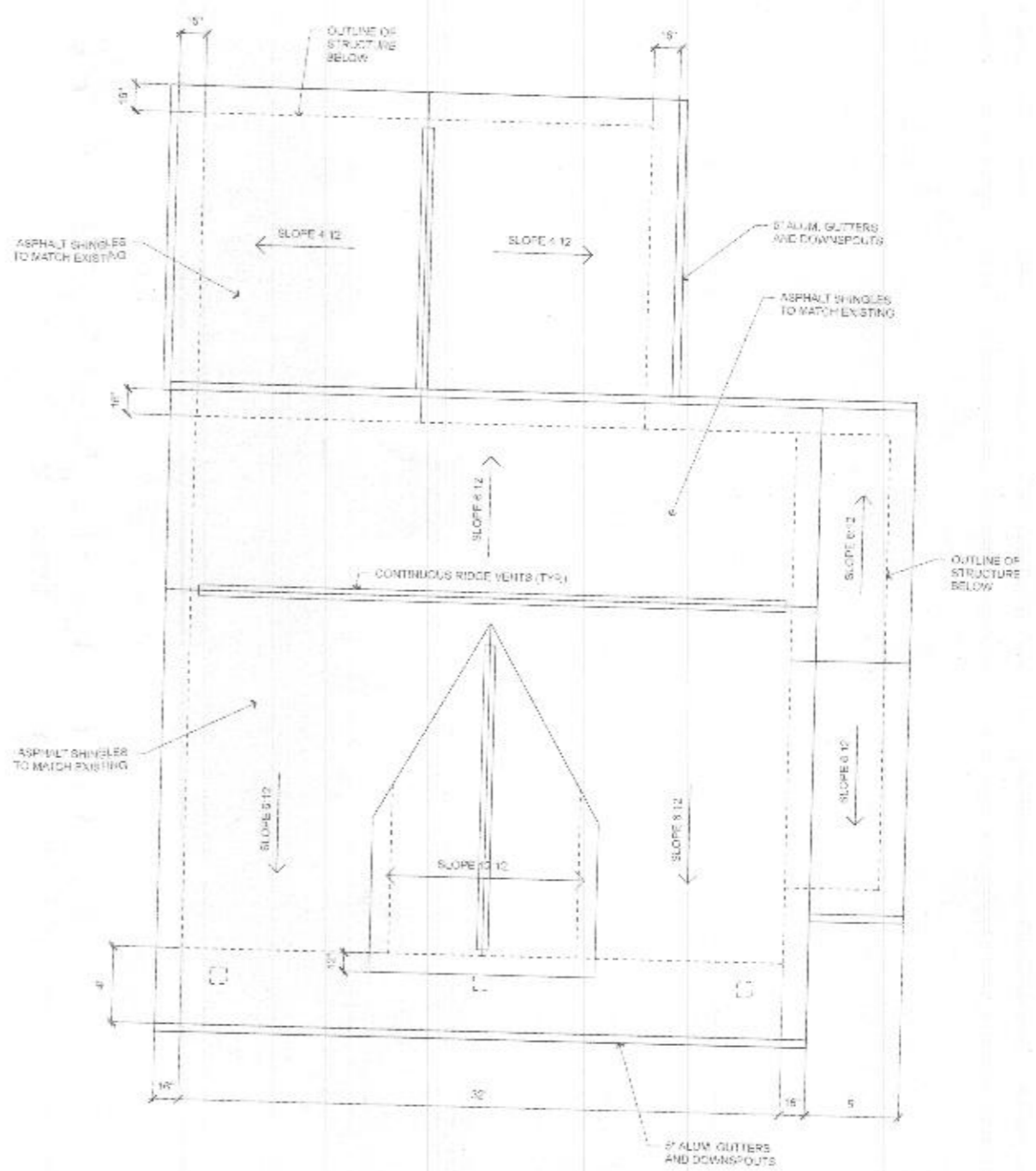
DATE 1.28.21

A-1



FOUNDATION PLAN

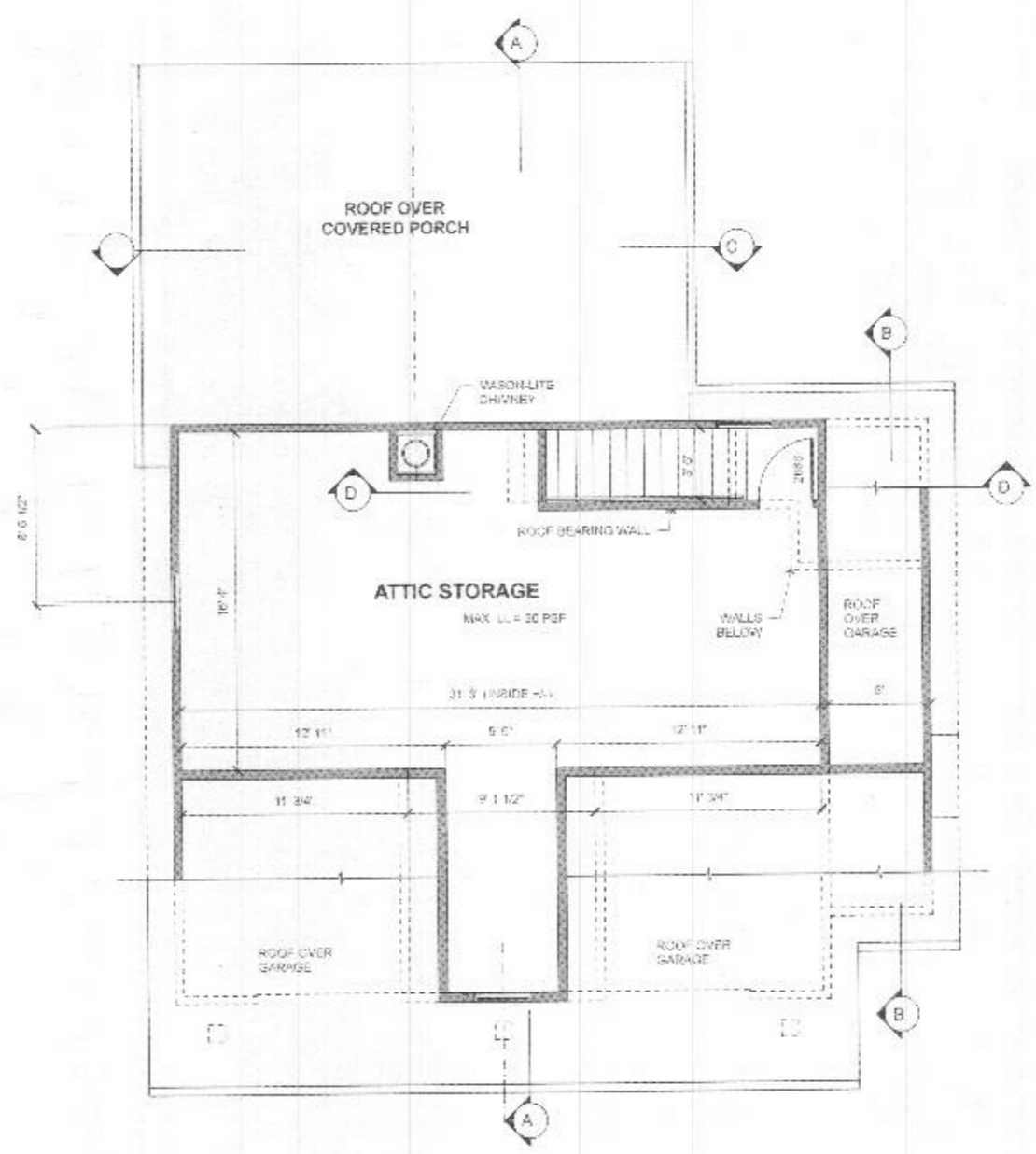
SCALE 1/8" = 1'-0"



ROOF PLAN

SCALE 1/8" = 1'-0"

NOT APPROVED FOR CONSTRUCTION



ATTIC FLOOR PLAN
SCALE 1/8" = 1'-0"

NOT APPROVED FOR CONSTRUCTION

PERMIT / BID

DATE: 1-28-21

A-3



FRONT ELEVATION

SCALE 1/8" = 1'-0"



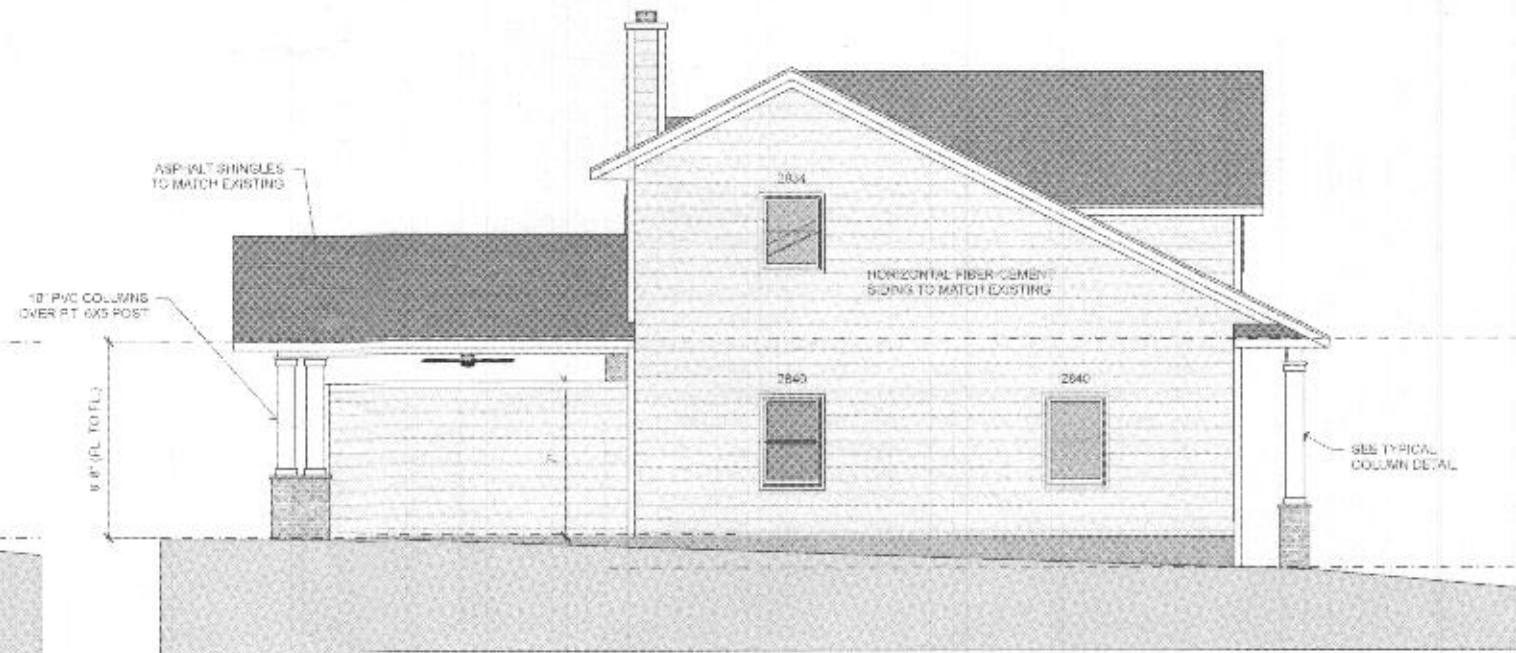
RIGHT SIDE ELEVATION

SCALE 1/8" = 1'-0"



REAR ELEVATION

SCALE 1/8" = 1'-0"



LEFT SIDE ELEVATION

SCALE 1/8" = 1'-0"

NOT APPROVED FOR CONSTRUCTION

PROPOSED GARAGE ADDITION TO THE REAR OF

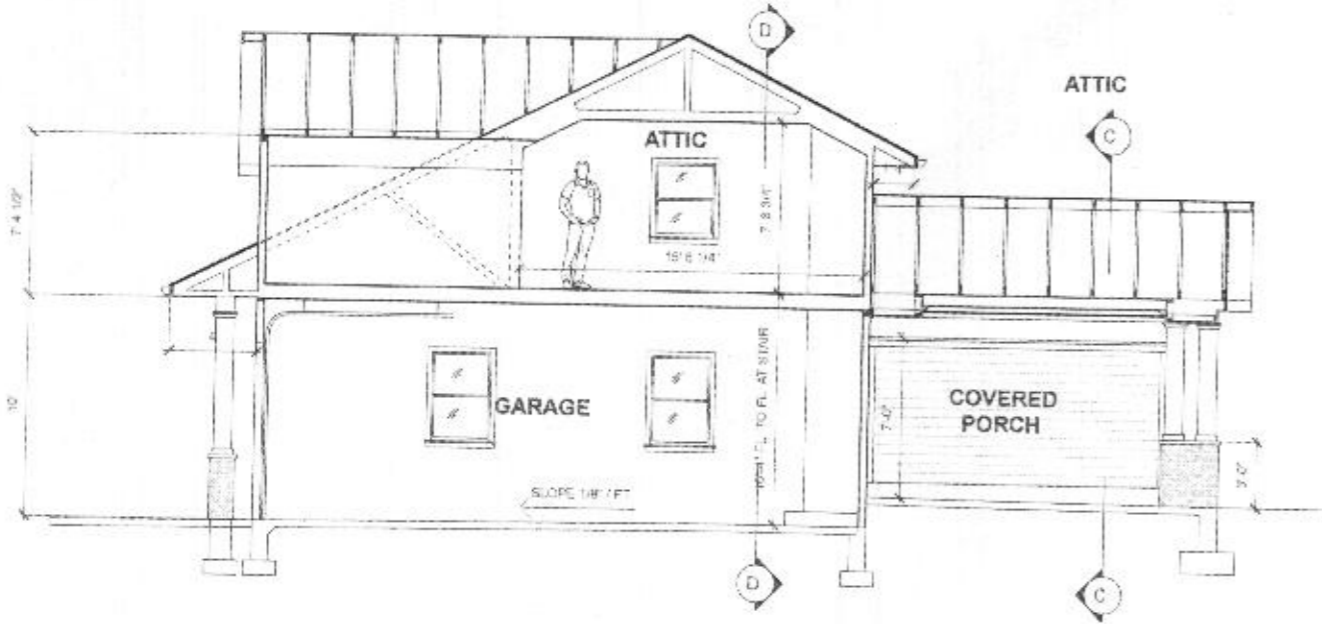
JEFF AND ELIN BANEN

13000 GREENBERRY LANE, CLARKSVILLE, MD 21029

PERMIT - 5-D

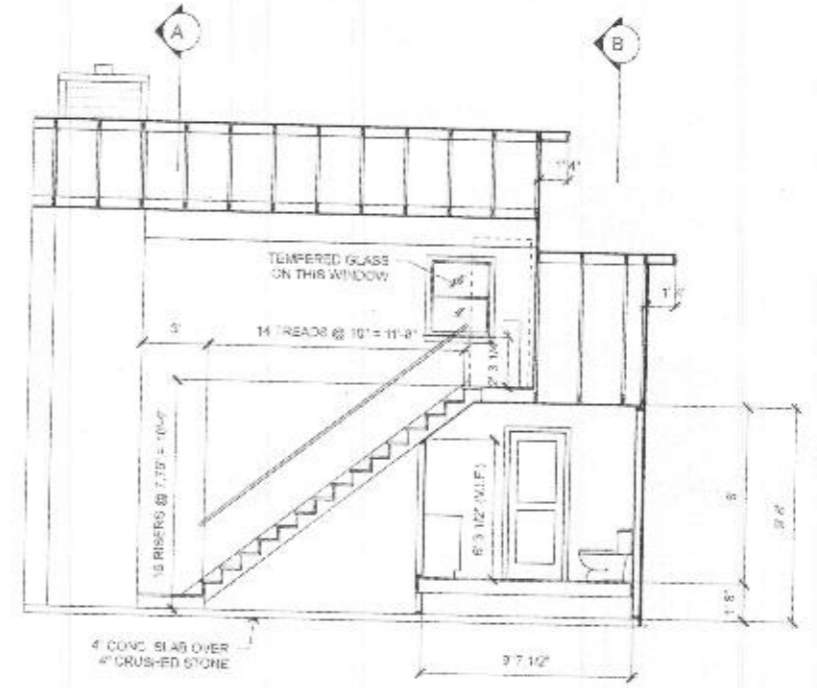
DATE 1.28.21

A-4



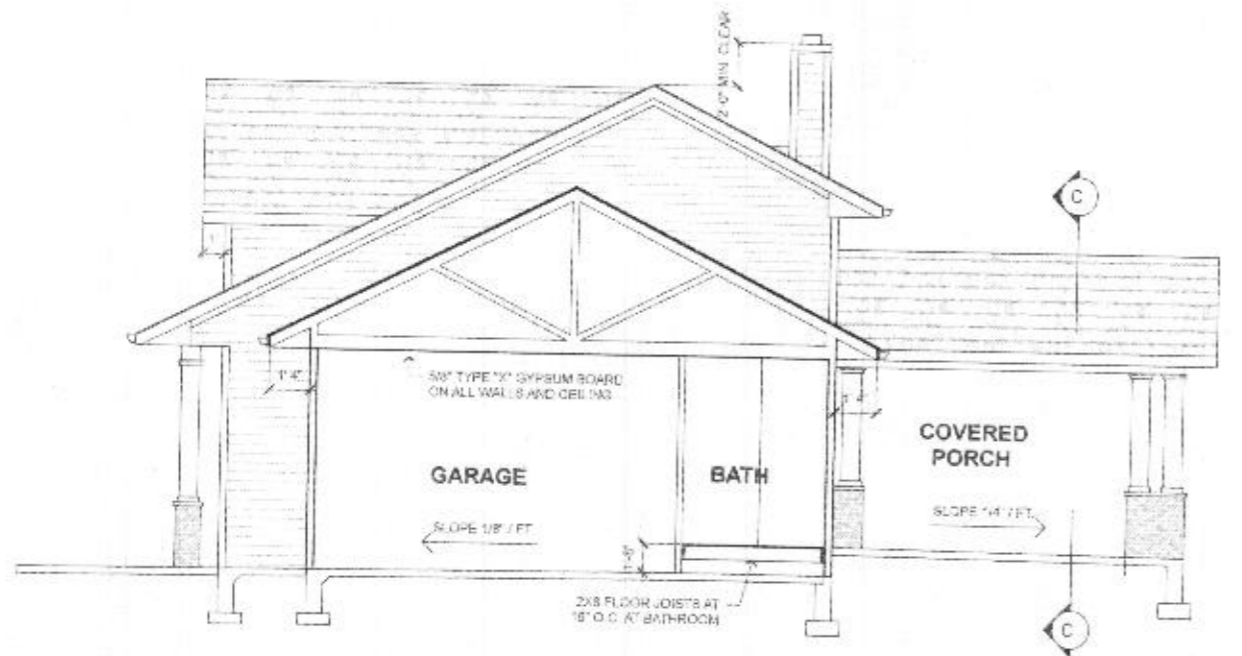
CROSS SECTION "A" THRU GARAGE

SCALE 1/4" = 1'-0"



INTERIOR ELEVATION/SECTION "D"

SCALE 1/4" = 1'-0"



CROSS SECTION "B" THRU GARAGE

SCALE 1/4" = 1'-0"



CROSS SECTION "C" THRU PORCH

SCALE 1/4" = 1'-0"

PROPOSED GARAGE ADDITION TO THE RESIDENCE OF

JEFF AND ELIN BANEN

3305 GREENBERRY LAKE, CLARKSVILLE, MD 21029

PERMIT - MID

DATE: 1/28/21

PROPOSED GARAGE ADDITION TO THE RESIDENCE OF

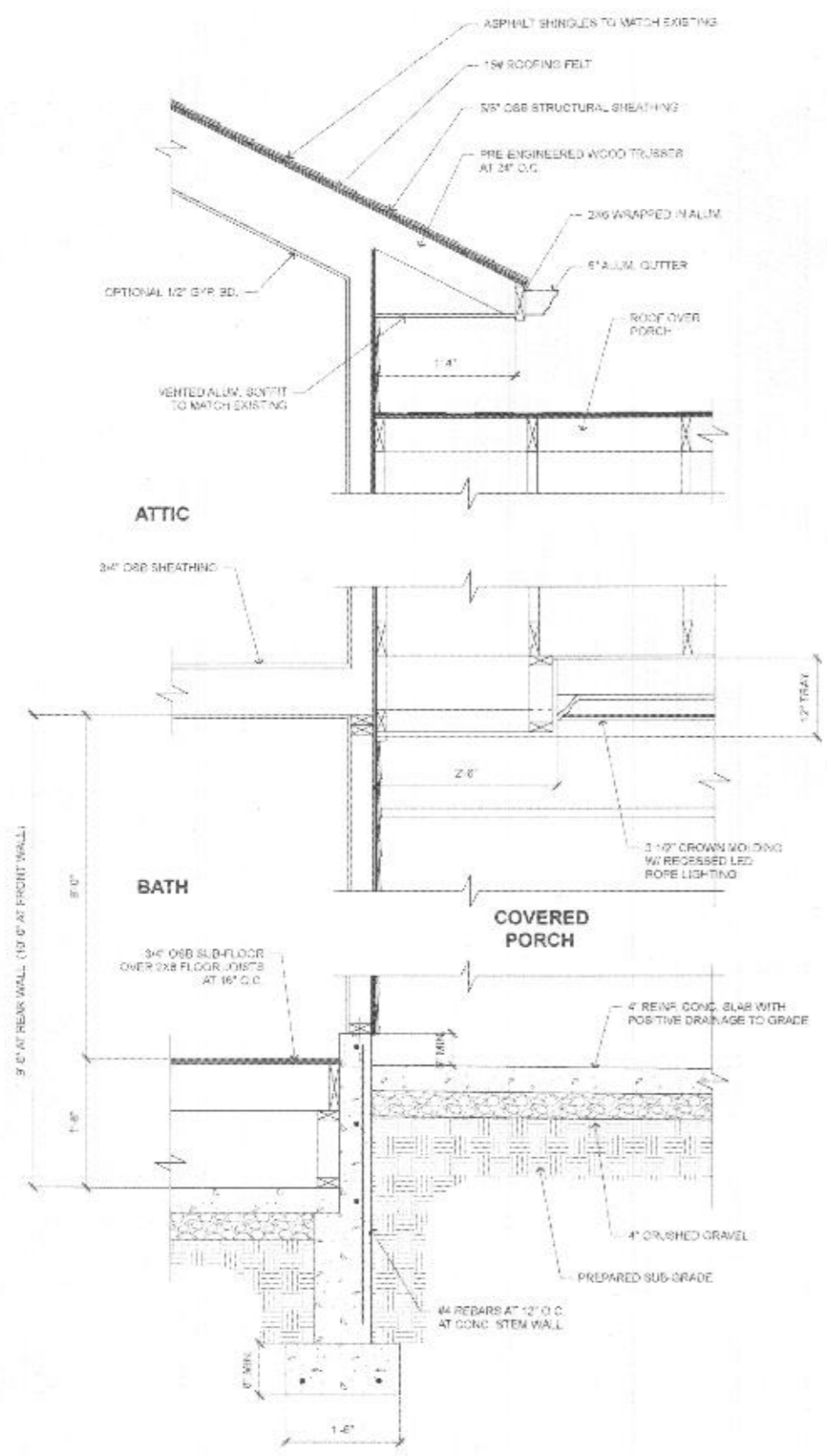
JEFF AND ELIN BANEN

13650 GREENBERRY LANE, CLARKSVILLE, MD 21029

PERMIT - BID

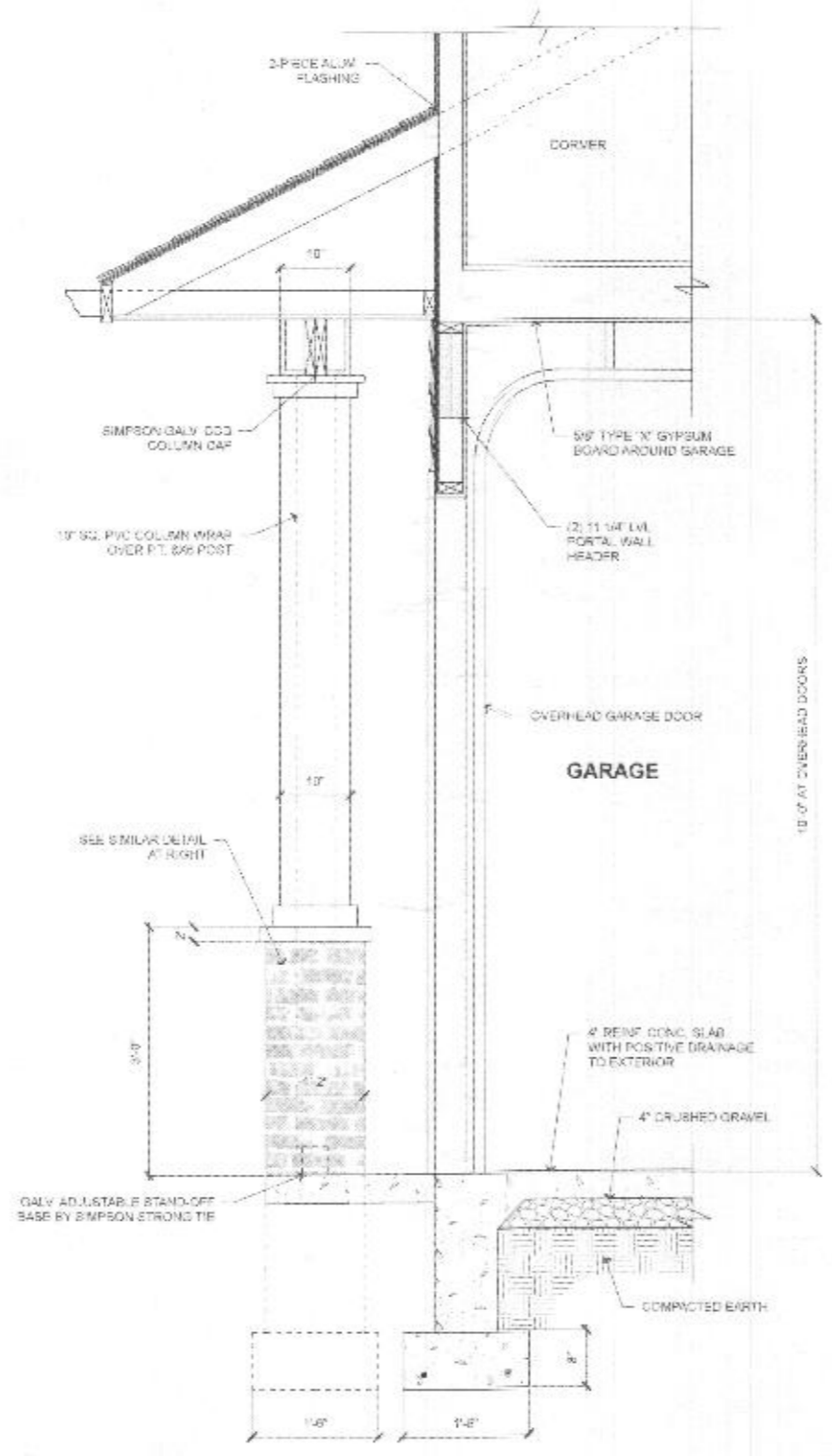
DATE: 1.28.21

A-6



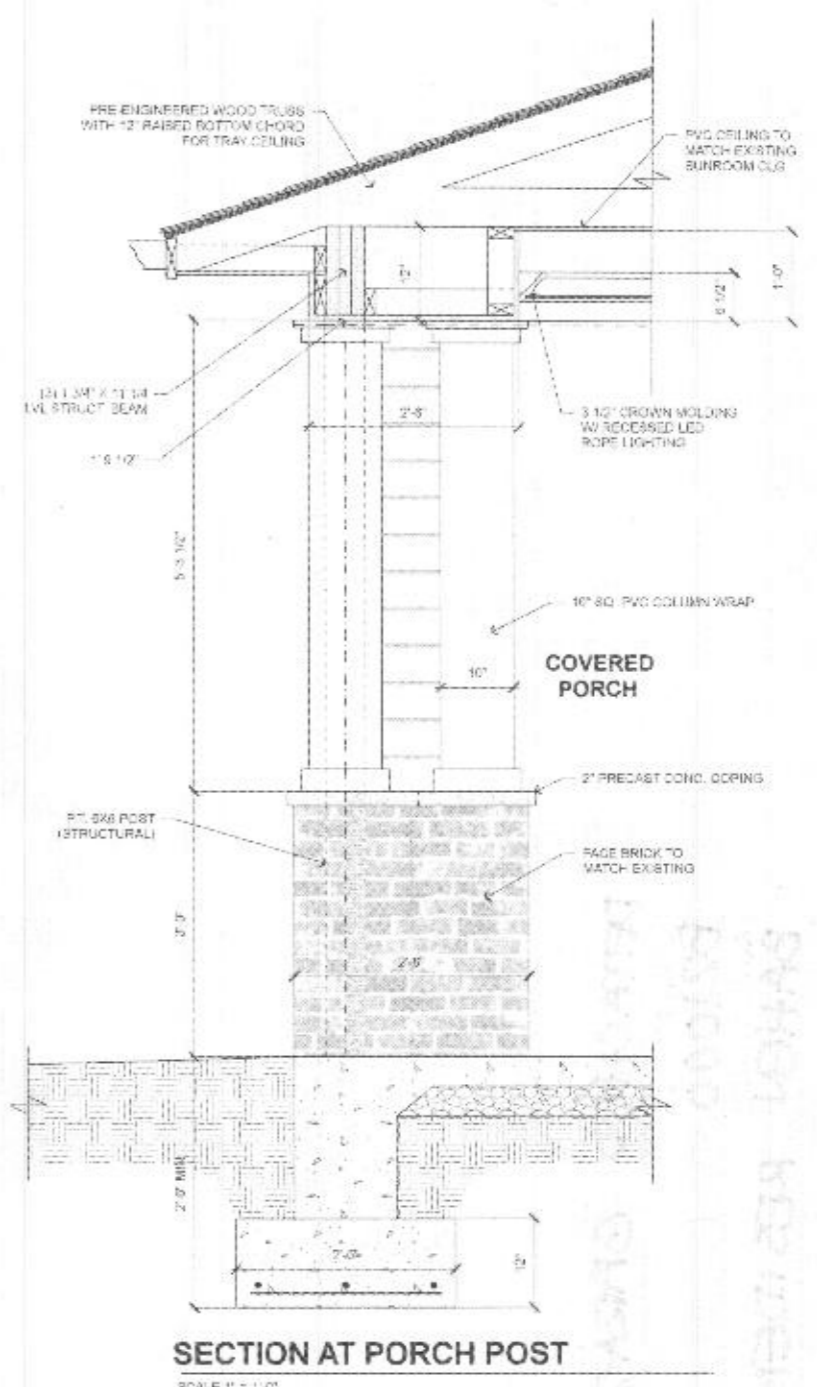
SECTION @ GARAGE REAR WALL

SCALE 1" = 1'-0"



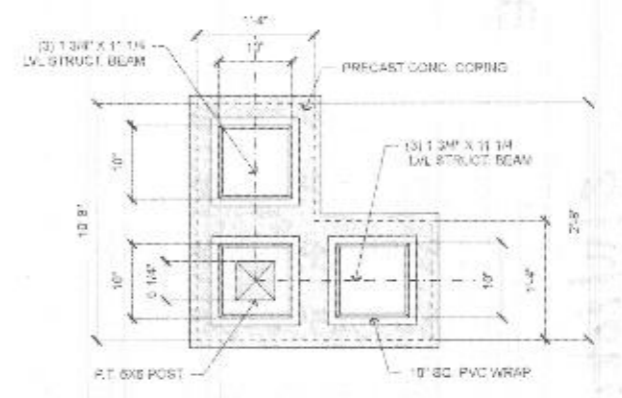
SECTION @ GARAGE FRONT WALL

SCALE 1" = 1'-0"



SECTION AT PORCH POST

SCALE 1" = 1'-0"



DETAIL AT PORCH POST

SCALE 1" = 1'-0"

NOT APPROVED FOR CONSTRUCTION