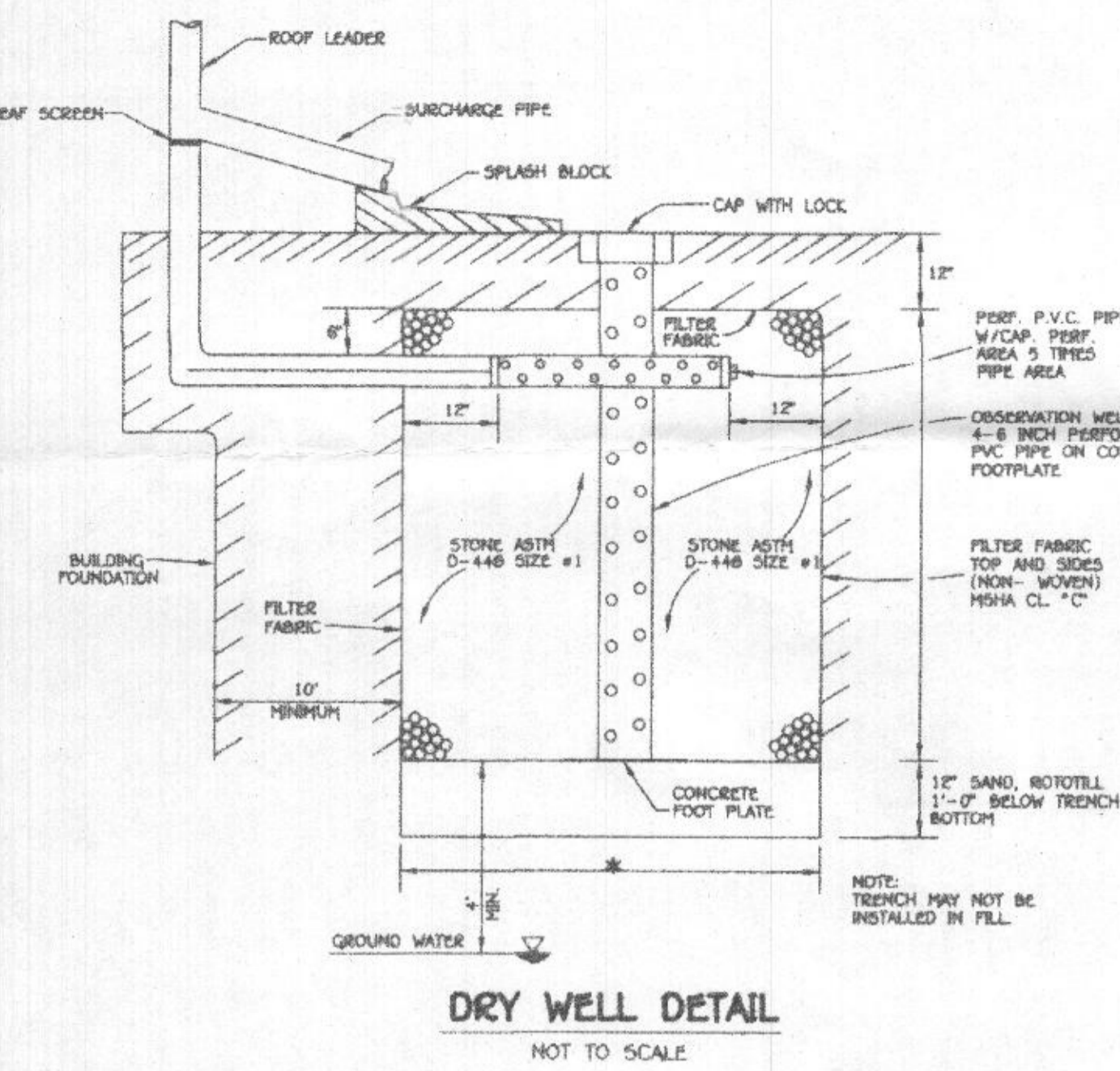
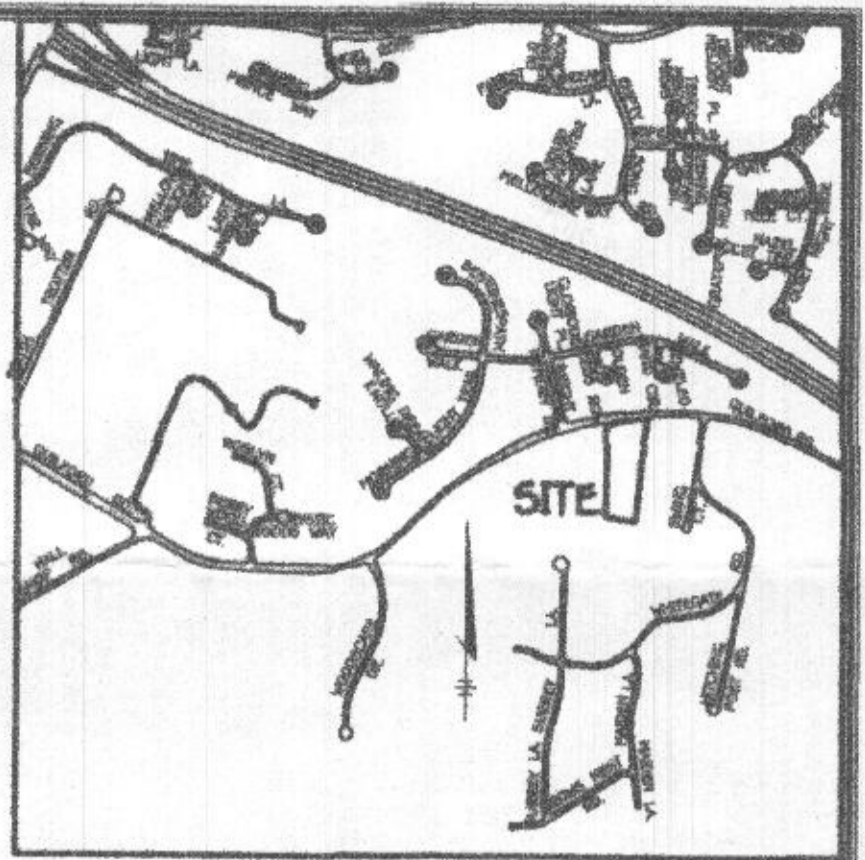


INDEX OF SHEETS

SHEET NO.	NAME
1	GRADING, SEDIMENT CONTROL AND EROSION CONTROL PLAN
2	NOTES AND DETAILS

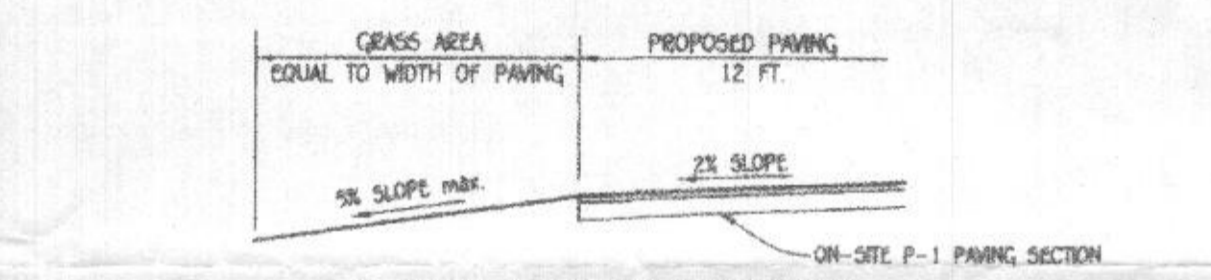
STORMWATER MANAGEMENT PRACTICES

LOT	ADDRESS	RYMELLS (M-5) Y/N NUMBER	ROOFTOP DISCONNECTION (M-1) Y/N NUMBER	NON-ROOFTOP DISCONNECTION (M-2) Y/N NUMBER	MIRO-BD (M-6) Y/N NUMBER
8	7154 GUILFORD ROAD	Y-3	N	Y	N



OPERATION AND MAINTENANCE SCHEDULE FOR DRYWELLS (M-5)

- THE OWNER SHALL VISIT THE DRYWELL AREA AND REMOVE DEBRIS AND OTHER DEBRIS AS NECESSARY.
- THE OWNER SHALL REMOVE THE SAND FILTER AND REPLACE WITH CLEAN SAND AS NECESSARY.
- THE OWNER SHALL REMOVE THE SAND FILTER AND REPLACE WITH CLEAN SAND AS NECESSARY.
- THE OWNER SHALL REMOVE THE SAND FILTER AND REPLACE WITH CLEAN SAND AS NECESSARY.
- THE OWNER SHALL REMOVE THE SAND FILTER AND REPLACE WITH CLEAN SAND AS NECESSARY.
- THE OWNER SHALL REMOVE THE SAND FILTER AND REPLACE WITH CLEAN SAND AS NECESSARY.



OPERATION & MAINTENANCE SCHEDULE FOR PERMANENTLY OWNED AND MAINTAINED, DISCONNECTION OF NON-ROOFTOP RUNOFF (M-2)

- MAINTENANCE OF AREAS RECEIVING DISCONNECTION RUNOFF IS GENERALLY NO DIFFERENT THAN THAT REQUIRED FOR OTHER LAWN OR LANDSCAPED AREAS. THE AREAS RECEIVING RUNOFF SHOULD BE PROTECTED FROM FUTURE CONSTRUCTION OR DEVELOPMENT OF IMPERVIOUS AREA IN COMMERCIAL AREAS FOOT TRAFFIC SHOULD BE DISCOURAGED AS WELL.

DAILY STABILIZATION NOTE

ALL DISTURBED AREAS NOT DIRECTED TO A SEDIMENT CONTROL DEVICE SHALL BE STABILIZED AT THE END OF EACH WORKDAY. THE CONTRACTOR SHALL NOT DISTURB AN AREA GREATER THAN THAT WHICH CAN BE STABILIZED AT THE END OF EACH WORKDAY. OTHERWISE SILT FENCE SHALL BE INSTALLED BELOW DISTURBED AREA.

DRY WELL CHART

LOT NO.	AREA OF ROOF FOR DOWN SPOUT	VOLUME REQUIRED	AREA OF STORAGE	AREA OF TREATMENT	*L	W	D	REMARKS
8	998 SQ.FT.	95 CF	100%	100%	8'	8'	5'	1
8	480 SQ.FT.	44 CF	100%	100%	8'	8'	5'	2
8	477 SQ.FT.	39 CF	100%	100%	8'	8'	5'	3
8	480 SQ.FT.	44 CF	100%	100%	8'	8'	5'	4

STORMWATER MANAGEMENT NOTES

- STORMWATER MANAGEMENT IS PROVIDED IN ACCORDANCE WITH THE 2000 HANDBOOK FOR STORMWATER DESIGN MANUAL.
- CREDITS ARE GIVEN FOR DISCONNECTION OF IMPERVIOUS COVER.
- MINIMUM CONTRIBUTING ROOF TOP AREA TO EACH DOWNSPOUT SHALL BE LESS THAN 500 SQ. FT.
- DRYWELLS SHALL BE PROVIDED AT LOCATIONS WHERE THE LENGTH OF DISCONNECTION IS LESS THAN 75' AT 5% SLOPE. THE SIZE AND CONSTRUCTION OF THE DRYWELL SHALL BE IN ACCORDANCE WITH THE FIGURE 5.2 OF THE MANUAL AND THE DETAIL SHOWN ON THIS SHEET.
- FINAL GRADING IS SHOWN ON THIS SITE DEVELOPMENT PLAN.

GENERAL NOTES

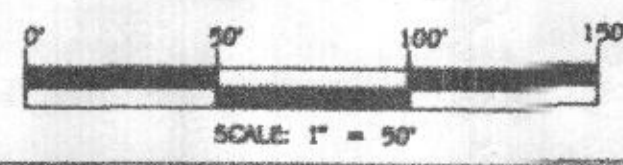
- SUBJECT PROPERTY ZONED: RR-DEO
- TOTAL AREA OF PROPERTY: 133,729 SQ.FT. OR 3.07 AC.
- ONE SINGLE FAMILY HOUSE IS PROPOSED FOR THIS LOT.
- SEPTIC ENGAGEMENT SUBJECT TO HOWARD COUNTY HEALTH DEPARTMENT REVIEW.
- LENGTH OF TRENCH TO BE DETERMINED AT TIME OF SEPTIC PERMIT ISSUANCE.
- CONTRACTOR/BUILDER TO VERIFY ELEVATION IN THE FIELD BEFORE BEGINNING ANY CONSTRUCTION.
- TOPOGRAPHIC INFORMATION IS BASED ON DIGITAL HOWARD COUNTY AERIAL ALONG WITH FIELD RUN TOPOGRAPHY BY FISHER, COLLINS & CARTER, INC., OCTOBER, 2020.
- NO WETLANDS CURRENTLY EXIST ON THE PROPERTY.
- DRIVEWAY CULVERTS SHALL BE CONSTRUCTED AT THE PLOT PLAN.
- STORMWATER MANAGEMENT IS IN ACCORDANCE WITH THE M.D.E. STORM WATER DESIGN MANUAL, VOLUMES 1 & 2, REVISED 2009. WE ARE PROVIDING STORM WATER MANAGEMENT BY THE USE OF DRYWELLS (M-5) AND NON-ROOFTOP DISCONNECTION (M-2). BOTH ARE TO BE MAINTAINED BY THE HOMEOWNER.
- WATER WILL BE PROVIDED BY PRIVATE ON-SITE WELL. SEWER WILL BE PROVIDED BY PRIVATE SEPTIC SYSTEM.
- SOILS SHOWN HEREON ARE BASED ON NRCS WEB SOIL SURVEY.
- ANY DAMAGE TO THE COUNTY'S RIGHT-OF-WAY SHALL BE CORRECTED AT THE DEVELOPER'S EXPENSE.
- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF HOWARD COUNTY PLUS MSHA STANDARDS AND SPECIFICATIONS IF APPLICABLE.
- THE CONTRACTOR SHALL NOTIFY 'MISS UTILITY' AT 1-800-297-7777 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION WORK BEING DONE.
- APPROVAL OF THIS SIMPLIFIED ECP DOES NOT CONSTITUTE APPROVALS OF ANY SUBSEQUENT AND ASSOCIATED SUBMISSION PLAN/PLAT AND/OR SITE DEVELOPMENT PLAN AND/OR RED-LINE REVISION PLAN. REVIEW OF THIS PROJECT FOR COMPLIANCE WITH THE HOWARD COUNTY SUBDIVISION AND LAND DEVELOPMENT REGULATIONS SHALL OCCUR AT THE SUBDIVISION PLAN/PLAT AND/OR SITE DEVELOPMENT PLAN STAGES AND/OR RED-LINE REVISION PROCESS. THE APPLICANT AND CONSULTANT SHOULD EXPECT ADDITIONAL AND MORE DETAILED REVIEW COMMENTS (INCLUDING COMMENTS THAT MAY ALTER THE OVERALL DESIGN) AS THE PROJECT PROGRESSES THROUGH THE PLAN REVIEW PROCESS.

SOILS LEGEND

SOIL	NAME	CLASS	"K" VALUE
GqC	Gravel loam, 0 to 15 percent slopes	B	.55
GqB	Gravel loam, 3 to 8 percent slopes	B	.37

THIS DEVELOPMENT IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

APPROVED: *Alexandra Butari* DATE: 05/26/21
HOWARD SOIL CONSERVATION DISTRICT



REVISION

NO.	DESCRIPTION	DATE
1	REVISE HOUSE ELEV FOR F.F AND BE OUTSIDE SPOTS ADD TRENCH DRAINS AND DRYWELLS REMOVE 440 CONTOUR	7/13/21

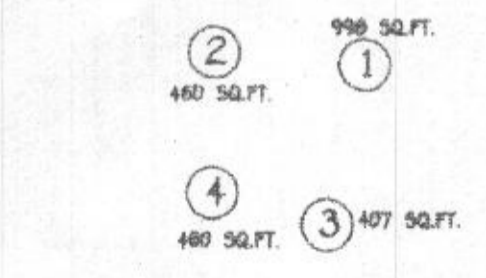
LEGEND

SYMBOL	DESCRIPTION
(Dashed line)	EXISTING CONTOUR 2' INTERVAL
(Solid line)	PROPOSED CONTOUR 2' INTERVAL
(Tree symbol)	EXISTING TREES
(Spot elevation symbol)	SPOT ELEVATION
(Fence symbol)	SUPER SILT FENCE
(Hatched area)	LIMITS OF DISTURBANCE
(Slope symbol)	DESIGNS 12% - 24% SLOPES
(Area symbol)	DESIGNS SWAGE DISPOSAL AREA
(Line symbol)	SILT FENCE
(Circle symbol)	SWAGE

SITE ANALYSIS DATA CHART

A. TOTAL AREA OF THIS SUBMISSION = 3.07 AC.	
B. LIMIT OF DISTURBED AREA = 0.92 AC.	
C. PRESENT ZONING DESIGNATION = RR-DEO (SHOWN BASED ON LDD)	
D. PROPOSED USE: RESIDENTIAL SINGLE FAMILY DETACHED	
E. PREVIOUS HOWARD COUNTY FILES: F-74-24, F-74-26R	
F. TOTAL AREA OF FLOODPLAIN LOCATED ON-SITE = 0 AC.	
G. TOTAL AREA OF SLOPES IN EXCESS OF 25% = 0 AC.	
H. TOTAL AREA OF WETLANDS (INCLUDING BUFFER) = 0 AC.	
I. TOTAL AREA OF STREAM (INCLUDING BUFFER) = 0 AC.	
J. TOTAL AREA OF EXISTING FOREST = 0 AC.	
K. TOTAL AREA OF FOREST TO BE RETAINED = 0 AC.	
L. TOTAL AREA OF LOTS / BUILDABLE PARCELS = 3.07 AC.	
M. TOTAL GREEN OPEN AREA = 2.90 AC.	
N. TOTAL IMPERVIOUS AREA (EXCLUDES EXISTING IMPERVIOUS) = 0.09 AC. (WITHIN LDD).	
O. TOTAL AREA OF ERODIBLE SOILS = 0 AC.	

Approved
B21002645
R/E 10/8/2021



FISHER, COLLINS & CARTER, INC.
CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
14100 WOODBURN ROAD, SUITE 204
ELLSWORTH CITY, MARYLAND 21042
(410) 381-1000

BUILDER
VINEY CREST HOMES
12800 TRENCH RD
SUITE 204
WEST FRIENDSHIP, MD 21794
410-977-2100

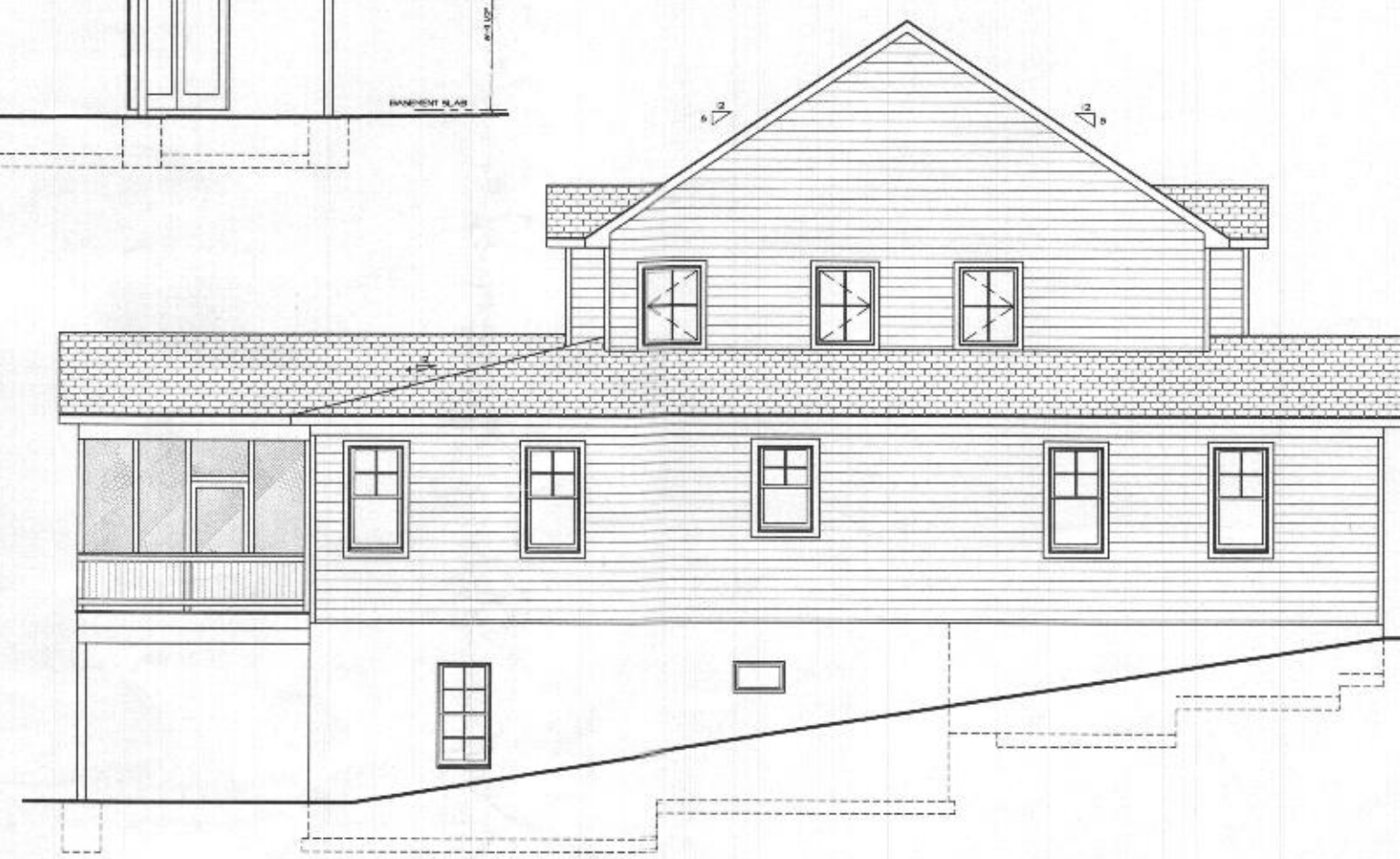
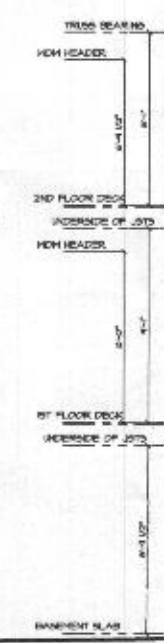
OWNER
PETER Y CHON
7154 GUILFORD RD
CLARKSVILLE MD 21029-1626

GRADING, SEDIMENT CONTROL AND EROSION CONTROL PLAN
CLARKSVILLE MEADOWS
LOT 8
7154 GUILFORD ROAD
ZONED: RR-DEO PLAT NO.: 3759
TAX MAP NO.: 35 GRID NO.: 21 PARCEL NO.: 296
5TH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
SCALE: AS SHOWN DATE: APRIL 22, 2021
SHEET 1 OF 2

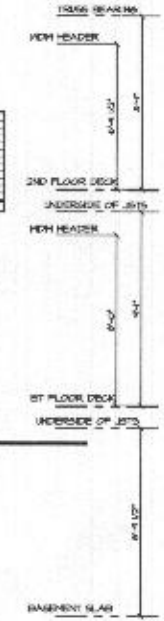
HEALTH DEPARTMENT



REAR ELEVATION
SCALE: 1/4"=1'-0"



LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



SUBMITTALS

DATE	BY	REVISION

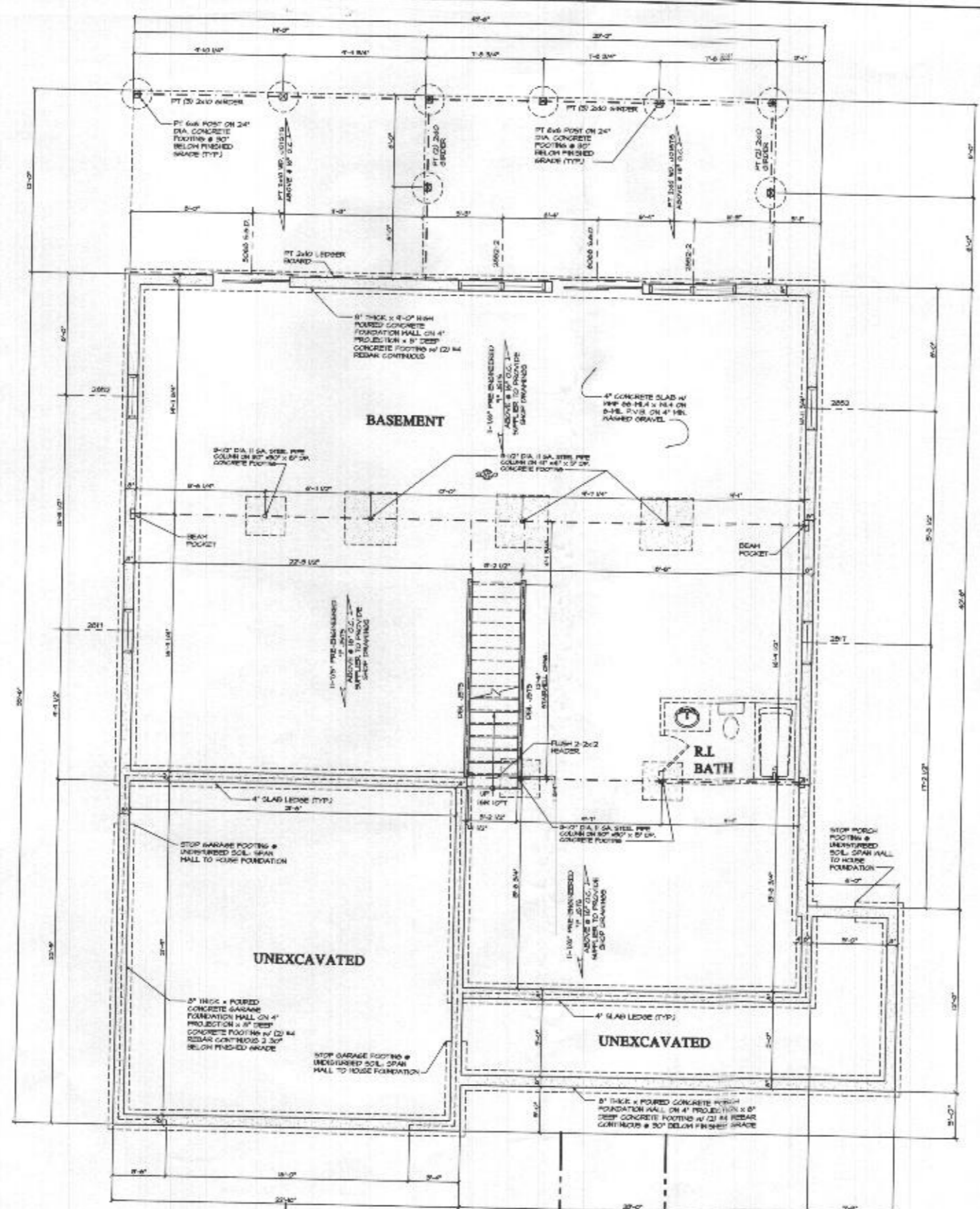
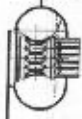
REAR & LEFT SIDE ELEVATIONS

PROPOSED NEW HOME FOR:
THE WALKER FAMILY

SHEET NO.
A-5

HEALTH DEPT

B2100 20245



FOUNDATION PLAN
SCALE: 1/4"=1'-0"

caddworks inc.
RESIDENTIAL DESIGN
32 WEST PATRICK STREET / FREDERICK, MD / 20701
(410) 301-6741 (P) DESIGN@CADDWORKS.NET
(410) 301-6748 (F) WWW.CADDWORKS.NET

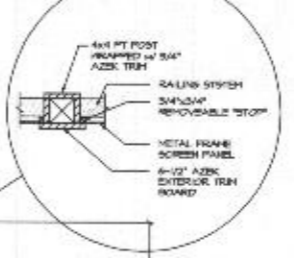
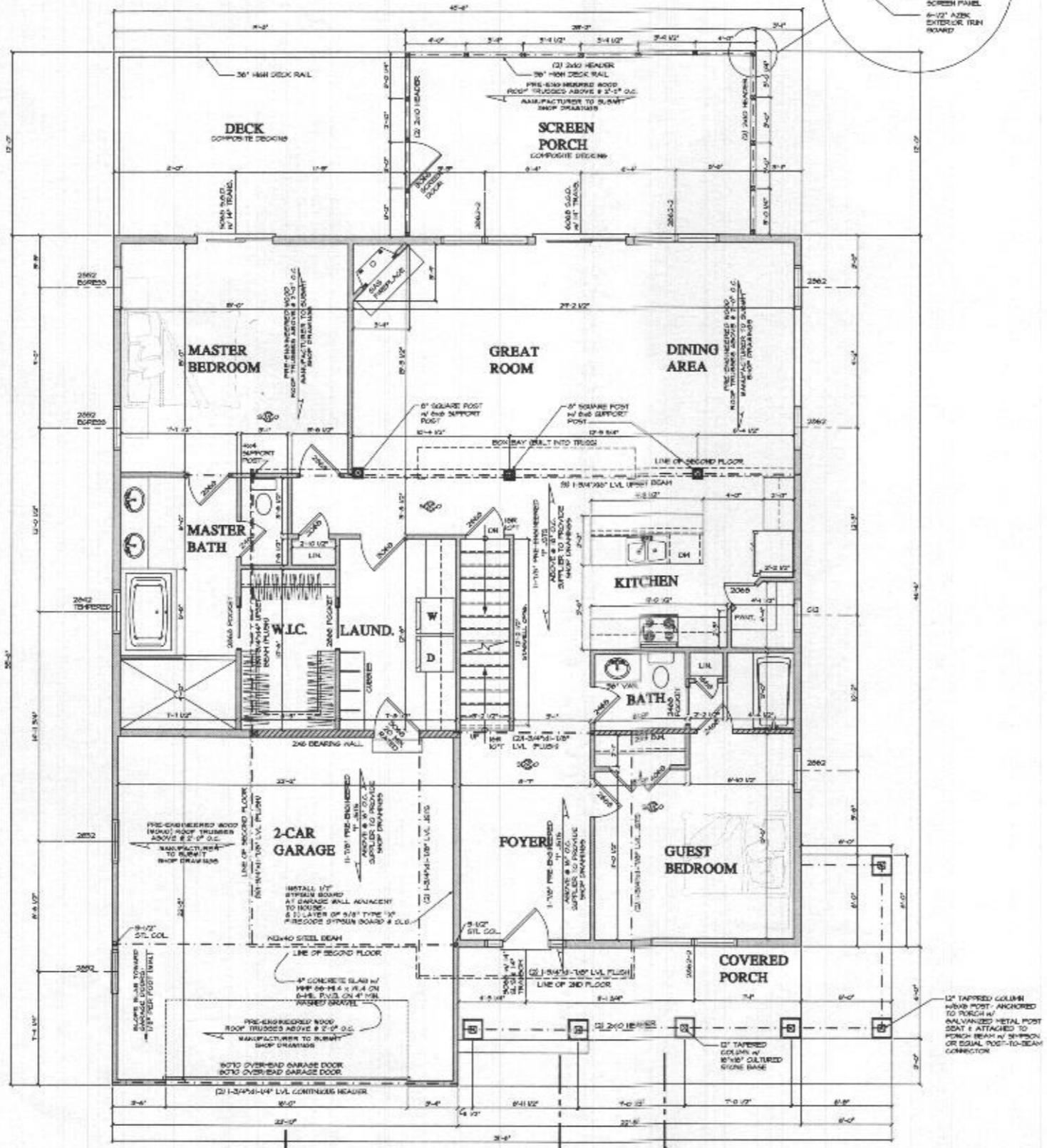
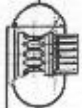
SUBMITTALS

DATE	DESCRIPTION
11-18-2009	FOUNDATION PLAN
11-18-2009	FOUNDATION PLAN
11-18-2009	FOUNDATION PLAN
11-18-2009	FOUNDATION PLAN
11-18-2009	FOUNDATION PLAN

FOUNDATION PLAN

PROPOSED NEW HOME FOR:
THE WALKER FAMILY

SI-EXT 101
A-1



cadworks
RESIDENTIAL DESIGN
33 WEST PATRICK STREET / FREDERICK, MD / 20701
TEL: 301.695.9323 | E: DESIGN@CADWORKS.NET
P: 301.695.1888 | W: WWW.CADWORKS.NET

SUBMITTALS

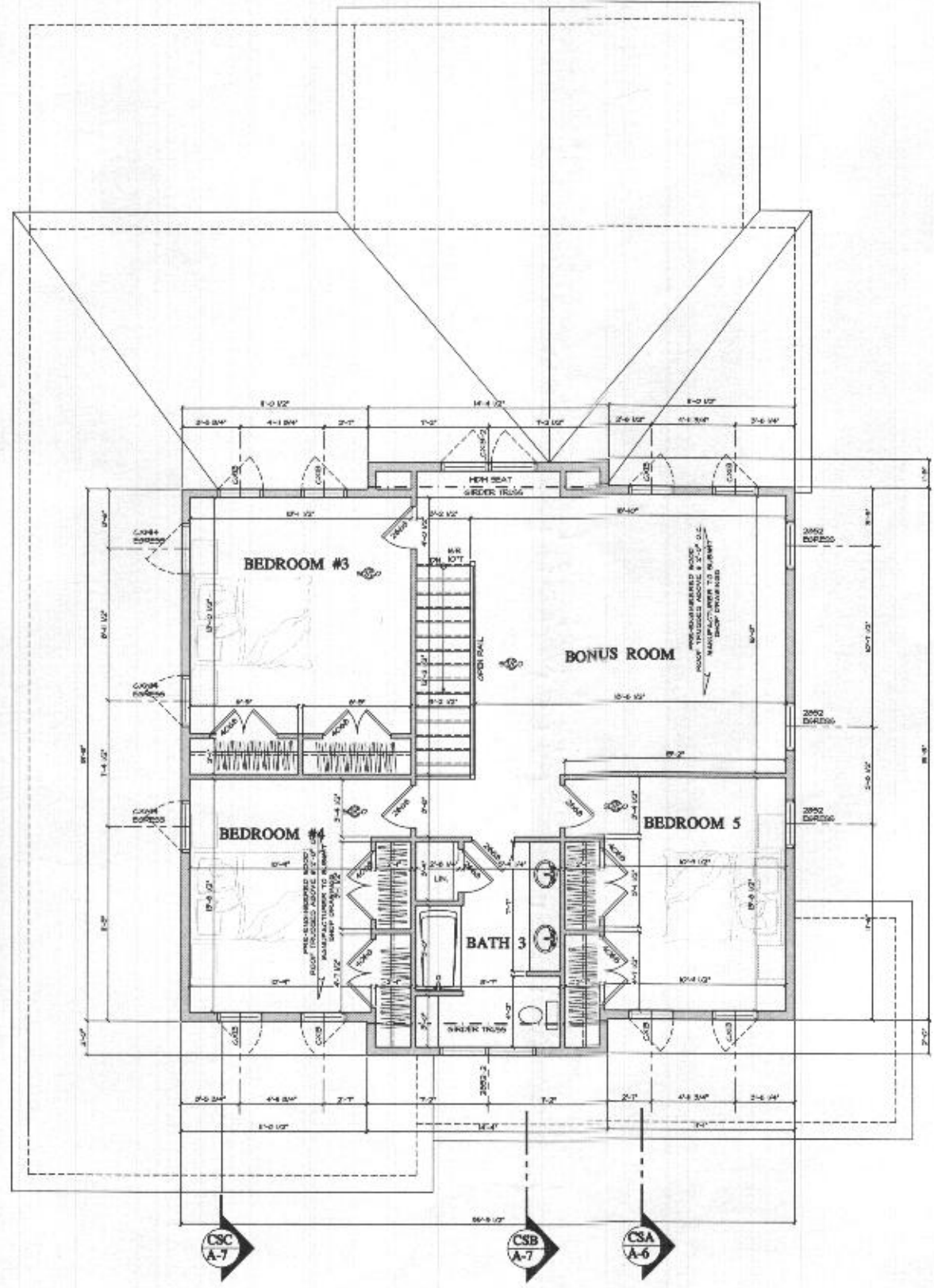
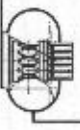
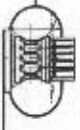
ITEM	DESCRIPTION
1000	CONCRETE
1100	FRAMING
1200	MECHANICAL
1300	ELECTRICAL
1400	PAINTS & FINISHES
1500	IRONING
1600	LANDSCAPE
1700	POOLS & SPAS
1800	STAIRS
1900	WALLS
2000	WINDOWS
2100	DOORS
2200	ROOFING
2300	CEILING
2400	FLOORING
2500	MECHANICAL
2600	ELECTRICAL
2700	PAINTS & FINISHES
2800	IRONING
2900	LANDSCAPE
3000	POOLS & SPAS
3100	STAIRS
3200	WALLS
3300	WINDOWS
3400	DOORS
3500	ROOFING
3600	CEILING
3700	FLOORING
3800	MECHANICAL
3900	ELECTRICAL
4000	PAINTS & FINISHES
4100	IRONING
4200	LANDSCAPE
4300	POOLS & SPAS
4400	STAIRS
4500	WALLS
4600	WINDOWS
4700	DOORS
4800	ROOFING
4900	CEILING
5000	FLOORING

FIRST FLOOR PLAN

**PROPOSED NEW HOME FOR:
THE WALKER FAMILY**

FIRST FLOOR PLANS
1806 SQ. FT. FIRST FLOOR AREA SCALE: 1/4"=1'-0"

SHEET NO.
A-2



SECOND FLOOR PLAN
 1151 SQ. F.T. FIRST FLOOR AREA SCALE: 1/4"=1'-0"

caddworks LLC
 RESIDENTIAL DESIGN
 33 WEST PATRICK STREET / FREDERICK, MD / 21701
 TEL: 301.495.4568 FAX: 301.495.4569
 WWW.CADDWORKS.NET

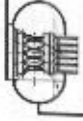
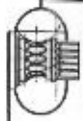
SUBMITTALS

NO.	DATE	REVISION
1	11-11-2009	ISSUE FOR PERMIT
2	12-15-2009	REVISED PER PERMIT
3	01-15-2010	REVISED PER PERMIT
4	02-20-2010	REVISED PER PERMIT

SECOND FLOOR PLAN

PROPOSED NEW HOME FOR:
THE WALKER FAMILY

SHEET NO.
A-3



cadworks inc.
 RESIDENTIAL DESIGN
 33 WEST PATRICK STREET / PEBBLECK, MD / 21071
 (301) 354-6533 FAX (301) 354-6534
 (301) 354-6534 (301) 354-6534
 WWW.CADWORKS.NET

SUBMITTALS

DATE	BY	REVISIONS
11-13-2020	DM	REVISED PLAN
12-10-2020	DM	REVISED INTERIOR PLAN
1-14-2021	DM	REVISED INTERIOR PLAN
2-1-2021	DM	REVISED

FRONT & RIGHT SIDE ELEVATION

PROPOSED NEW HOME FOR:
THE WALKER FAMILY