

Menu Save Reset Cancel Help

Record Detail * (This section is required)

Permit Type Building/Residential/Misc/Tanks Permit Number B21005002 Opened Date 12/29/2021

Description of Work
SFD/ INSTALL (1) 1000 GALLON UNDERGROUND PROPANE TANK

[check spelling](#)

Address * (This section is required)

Search Reset Clear Get Parcel & Owner

Street # 18449 Street Name HIDDEN CREEK Street Type WAY

Unit Type --Select-- Unit # X Coordinate -77.15373 Y Coordinate 39.32898

City MOUNT AIRY State MD Zip Code 21771 Primary Yes

Approved 1/6/22
KJ

Parcel * (This section is required)

Search Reset Clear Get Address & Owner

GIS ID 925299 Parcel 57 Parcel Area 1.3 Land Value 108000 Improved Value 108000 Exemption Value 0 Plan Area RURAL

Legal Description
LOT 7 1.301 A []18449 HIDDEN CREEK WAY []WINDSOR FOREST KNOLLS

[check spelling](#)

Block 7 Lot 7 Census Tract 604001 Council Dist 5 Inspection Dist Supervisor Dist Map # DAP Zone

Plan Area State Tax Id 1404373227 Subdivision Name Windsor Forest Knolls

Section Area Tax Map 6

Grid 6-16 Zoning District RC-DEO ADC Map 4690-F8

SDP No. Final Plan No. WP File No. F-07-008 Primary Yes

Record Plat No. 19395-1939 WS Contract No. FDP No.

Owner Occupied Year Built Historic District
 Yes No Yes No

Historic District Registry No. Stat Area 4-04 Flood Plain
 Yes No

Building No

Owner * (This section is required)

Search Reset Clear

Name JAMES DAVID E JR

Address Line 1 7242 ALBION WAY

Address Line 2

Address Line 3

Mail City HANOVER Mail State MD Mail Zip Code 21076

Phone 888-517-3680 Primary Yes

E-mail

Cell Number Fax Number

Professionals (This section is not required.)

Search Reset Clear

License # * 20100100429 Business Name DIXIE LAND ENERGY LLC

License Type * Propane Gs BASIL First Name STEPHEN Middle Name PERRY Last Name

Primary Address Line 1 281 EAST MAIN STREET

Address Line 2

City RISING SUN State MD ZIP Code 21911-0000

Phone 1 4434144940 Phone 2 Fax

E-mail

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type * Applicant BASIL MI STEPH Last Name PERRY

Relationship Applicant Full Name BASIL STEPHEN PERRY

Primary Organization Name DIXIE LAND ENERGY LLC

Street Address 281 EAST MAIN STREET

Address Line 2

City RISING SUN State MD Zip Code 21911 000

Phone 4434144940 Cell Fax

E-mail * inickle@dixielandenergy.com

Addtl Info

Est Construction Cost * 5500 Housing Units * 0 Number of Buildings * 0 Public Owned

Construction Type --Select--

TANK INFORMATION

RESIDENTIAL TANK INFORMATION

Capital Project-No Fee * Yes No Capital Project Number Fee Exempt * Yes No Roadside Tree Project Permit * Yes No Roadside Tree Permit #

Existing Use --Select-- Number of Tanks Installed * 1 Number of Tanks Removed * 0

Water Supply Private Sewage Disposal Private Expiration Date 7/5/2022 Relocate Existing Tank * 0

PAYMENT INFORMATION

Check 1 Payee 1 Check 2 Payee 2 SAP Doc No SAP Entered

Submit Cancel

PERMIT NUMBER: B 21001869

DATE ACCEPTED:



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS
3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 PHONE: (410) 313-2455 OPTION #4
www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 18449 Hidden Creek Way Unit:
City: Mount Airy State: MD Zip Code: 21771
Subdivision/Village/Complex Name: Windsor Forest Knolls SDP/WP/BA #:
Lot: 7 Tax Map: 6, Grid 16 Parcel: 57 Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant unimproved lot Proposed Use: SFD Estimated Cost: \$289,125.00
Trade Work to Be Completed (Separate Permits Required): Mechanical (HVAC) Electrical Plumbing None

Residential New Single Family Dwelling (Detached)

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Sonshine MD, LP Primary Residence: Yes No
Owner's Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster State: PA Zip Code: 17601
Phone: (717) 464-9060 Email: billb@keystonecustomhome.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Keystone Custom Homes Contact Name: Gregg Reinsmith
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster State: PA Zip Code: 17601
Phone: (717) 719-1362 Email: greinsmith@keystonecustomhome.com

CONTRACTOR INFORMATION REQUIRED

Business Name: Keystone Custom Homes
Licensee's Name: License #: MHBR# 2937 (exp 12/01/2021)
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster State: PA Zip Code: 17601
Phone: (717) 719-1362 Email: greinsmith@keystonecustomhome.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: James F. Collins, P.E. Name: James Collins
Street Address: 227 Granite Run Drive, Suite 100
City: Lancaster State: PA Zip Code: 17601
Phone: (352) 250-3146 Email: jcollins@keystonecustomhome.com

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling SF Townhouse SF Duplex Mobile Home Multi-Family Dwelling (MF*) Condo: Yes No
Utilities: Electric Gas Water Supply: Public Private (Well) Sewage Disposal: Public Private (Septic)
Heating System: Electric Natural Gas Propane Other: Roadside Tree Project: No Yes: #
Sprinkler System: NFPA 13 NFPA 13R NFPA 13D None Fire Alarm System: Yes No Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: Ethan Farmhouse
of Bedrooms (SF): 4 # of efficiency units (MF*): # of 1 BR (MF*): # of 2 BR (MF*): # of 3 BR (MF*):
Rooms: 18 # Full Baths: 3 # Half Baths: 1 # Fireplaces: 1
Garage/Carport Info: Attached Garage Detached Garage Integral Garage Carport None
Basement/Foundation Info: Slab on Grade Post & Pier Unfinished Basement Finished Basement: Full or Partial
1st Fl Width: 50 1st Fl Depth: 50 2nd Fl Width: 50 2nd Fl Depth: 39 Bsmt Width: 50 Bsmt Depth: 50
Energy Method: Prescriptive Performance UA Alternative ERI Gross Area: 5,523 sq ft Occupiable Area: 5,403 sq ft

AGREEMENT/ DISCALKIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE, SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

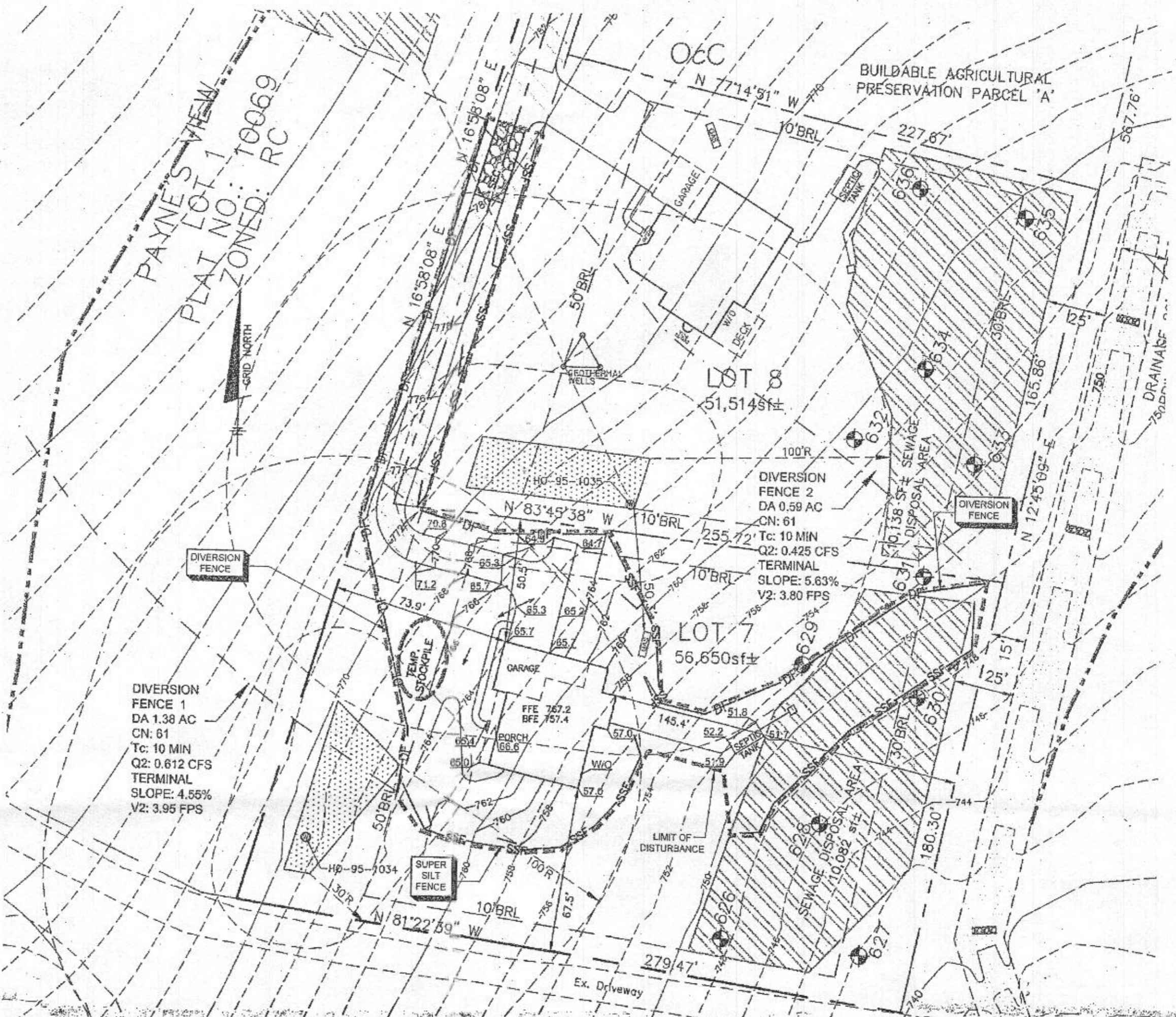
APPLICANT'S ORIGINAL SIGNATURE DATE SIGNED: 4/29/2021

FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR DPZ DED Health 6/17/21 SHA CID
SUBMITTAL FEES: 150- PAYMENT: 2662 ACCEPTED BY: PLOP Box

LEGEND

DF	DIVERSION FENCE
400	PROPOSED CONTOURS
398	EXISTING CONTOURS
400	EXISTING CONTOURS
	EXISTING PRIVATE SEWAGE DISPOSAL AREA
	EXISTING WELL BOX
SSF	SUPER SILT FENCE
	LIMIT OF DISTURBANCE
	STABILIZED CONSTRUCTION ENTRANCE
MaC	SOILS MAP SYMBOL
	SOILS DELINEATION LINE



1. A Work prot be g
2. At this SPEC
3. For requi swale (3:1) excep
4. All accoi SEDIN seedi can increa cut c outfel stabil
5. All opera
- 6.
7. Any utilitie
8. Adv and a rain e inspec

Plant Hardiness Zone IV

Zone	7a and 7b
1/2 Aug 1 to Oct 31	
1/2 Aug 1 to Oct 31	
1/2 Aug 1 to Oct 31	
1/2 Aug 1 to Oct 31	
1/2 Aug 1 to Nov 25	
to Jul 31	
to Jul 31	

percent seed germination and purity, as indicated by the seedling ratio above (by weight) of the overall percentage of other temporary seedlings, seed at 1/3 of the rate listed above.

boundaries of the zone.

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LANCASTER, PENNSYLVANIA 17601
PH: (717) 464-9060 • FAX: (717) 464-9046
www.keystonecustomhomes.com



KEYSTONE CUSTOM HOMES, INC.

FRONT ELEVATION
EASBY 007
JAMES
DATE: APR 12 2021
SCALE: AS NOTED
DRAWN BY: C.FOX
SHEET NO: A1.0
PLANT: a et 80

18449 MIDDEN CREEK WAY
MT AIRY, MD 21771

B21001809
HEALTH



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 50326, Expiration Date: 12-12-2022



LIVING SIDE ELEVATION
SCALE: 1/8" = 1'-0"

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SHEET DESCRIPTION	LIVING SIDE ELEVATION
DATE	APR 12 2021
SCALE	AS NOTED
DESIGNED BY	C.FOX
DRAWN BY	JAMES
SHEET NO.	A1.1
PAGE	1 of 80

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REAR ELEVATION
SCALE: 1/4" = 1'-0"



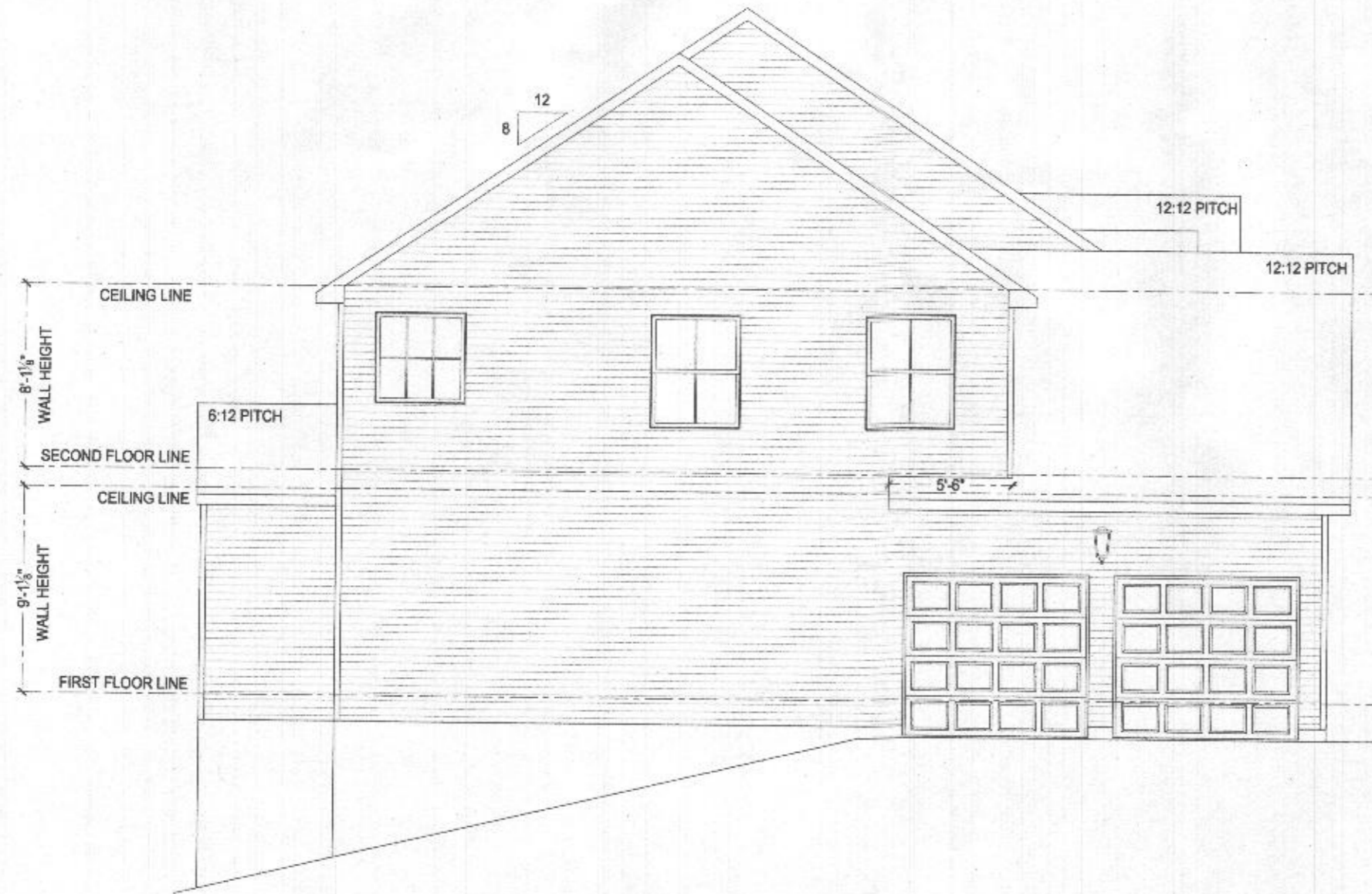
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KEYSTONE CUSTOM HOMES, INC.

PROJECT DESCRIPTION	REAR ELEVATION
DATE	APR 12 2021
SCALE	AS NOTED
DRAWN BY	C FOX
SHEET NO.	A1.2
DATE	a e t 80



GARAGE SIDE ELEVATION
SCALE: 1/4" = 1'-0"



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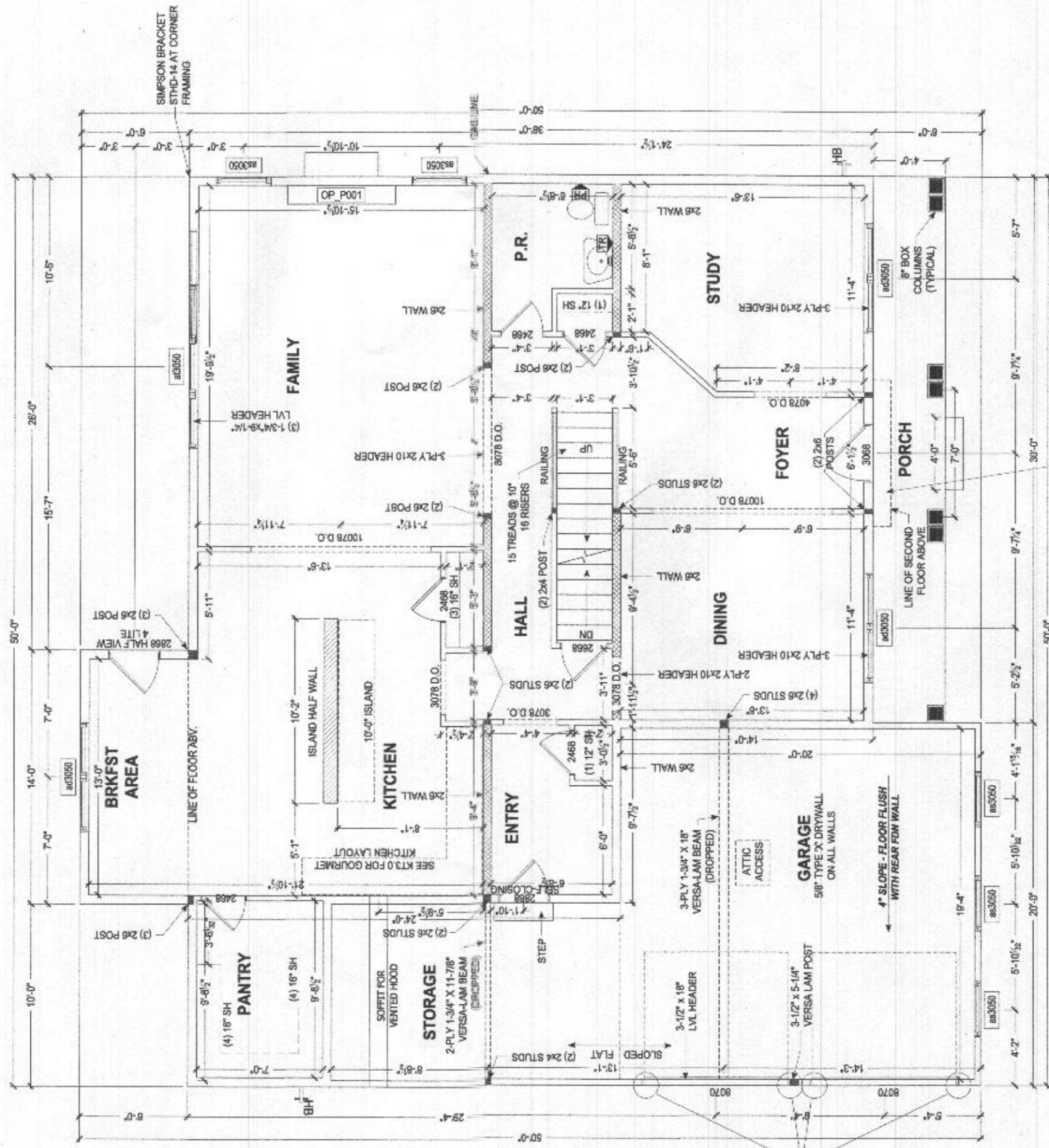


KEYSTONE CUSTOM HOMES, INC.

STREET DESIGNER
GARAGE SIDE ELEVATION
MODEL
EAS-007
JAMES

ISSUED
APR 12 2021
SCALE
AS NOTED
DRAWN BY
C. FOX

SHEET NO.
A1.3
PLAN NO.
aet80



NOTE: INSULATE UNDER OVERHANG - DOUBLE R-19 BATT INSULATION, 7/16" OSB EXT. GRADE SHEATHING NAILED TO BOTTOM OF JOISTS

RESIDENTIAL SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH THE 2015 IBC, THIRD PARTY AGENCY TO PROVIDE DRAWINGS AND INSTALL SYSTEM.

SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS

(ENGINEERED) HOLD DOWN STRAPS @ GARAGE CORNERS PER ST_113 DETAIL

FIRST FLOOR PLAN
SCALE: 1/8" = 1'-0"



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ALL EXTERIOR WALLS ARE 16" CONCRETE STRUCTURAL & FINISHING METHODS PER ST_117
 3" x 8" INTERIOR WALL
 INTERIOR HALF WALL
 REAR PORCH

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KEYSTONE CUSTOM HOMES, INC.

SHEET NO.	003070POR
PROJECT NO.	003070POR
DATE	APR 12 2021
SCALE	AS NOTED
DRAWN BY	C FOX
CHECKED BY	JAMES
DATE	04/12/2021
PROJECT	P1.0
SHEET NO.	aet80