

PERMIT NUMBER: B 21003150

DATE ACCEPTED:

RECEIVED

AUG 19 2021



RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 15685 Old Frederick Rd
City: Woodbine
State: MD
Subdivision/Village/Complex Name:
Lot:
Tax Map: 8
Parcel:
Grading Permit #: G21000155

DESCRIPTION OF WORK REQUIRED

Existing Use: Farm
Proposed Use: Farm
Estimated Cost: \$ 1,200,000
Trade Work to Be Completed (Separate Permits Required): Mechanical (HVACR) Electrical Plumbing None

Build new 4-BR SFD shown on residential construction drawings and building characteristics & information below.

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Wynne Family, LLC
Owner's Street Address: 170 Cooley Ridge Dr
City: Sykesville
State: Md
Zip Code: 21784
Phone: (410) 991-0665
Email: wynnebrian65@gmail.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Wynne Family, LLC
Contact Name: Brian Wynne
Street Address: 170 Cooley Ridge Dr
City: Sykesville
State: Md
Zip Code: 21784
Phone: (410) 991-0665
Email: wynnebrian65@gmail.com

CONTRACTOR INFORMATION REQUIRED

Business Name: SB Services
Licensee's Name: Bobby Stillwell
License #: 88479
Street Address: 702 Fairway Dr
City: Annapolis
State: Md
Zip Code: 21409
Phone: 361-875-2903
Email: SBStillwell@verizon.net

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Jonathan Rivera Architect
Name: Jonathan Rivera
Street Address: 3226 Huntersworth
City: Glenwood
State: Md
Zip Code:
Phone: (443) 552-3201
Email: JonathanRivera.com

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling
Utilities: Electric
Water Supply: Private (Well)
Sewage Disposal: Private (Septic)
Heating System: Electric
Roadside Tree Project: No
Sprinkler System: NFPA 13
Fire Alarm System: No

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options:
# of Bedrooms (SF): 4
# of efficiency units (MF\*): 2
# of 1 BR (MF\*):
# of 2 BR (MF\*):
# of 3 BR (MF\*):
# Rooms: 11
# Full Baths: 4
# Half Baths: 1
# Fireplaces: 1
Garage/Carport Info: Attached Garage
Basement/Foundation Info: Slab on Grade
1st Fl Width: 85
1st Fl Depth: 45
2nd Fl Width: 12
2nd Fl Depth: 17
Bsmt Width: 85
Bsmt Depth:
Energy Method: Prescriptive
Gross Area: sq ft
Occupiable Area: sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: [Signature]
DATE SIGNED: 8/19/21

FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS:
PR DPZ DED Health SHA CID
SUBMITTAL FEES: PAYMENT: ACCEPTED BY:

## Bricker, Robert

---

**From:** Bricker, Robert  
**Sent:** Tuesday, August 31, 2021 4:08 PM  
**To:** wynnebrian65@gmail.com  
**Subject:** 15685 Old Frederick Road\_B21003150\_status

Dear Mr Wynne,

I have reviewed the application documents for the proposal, B21003150, to construct a residence at 15685 Old Frederick Road.

I have assigned a status of 'On Hold' to the proposal. The proposal is approvable with exception that the recently drilled well has not been approved yet by the Health Department's Bureau of Environmental Health. The Licensed Well Driller who installed the well must submit the Well Completion Report and the associated yield data to the Bureau of Environmental Health. When the reviewing Environmental Sanitarians approve the construction and yield of the well, as reported on the Well Completion Report and in the yield data, I will have authority to approve the building permit for construction of your new residence.

Robert Bricker, REHS/RS, L.E.H.S.  
Howard County Health Department  
Bureau of Environmental Health  
Well & Septic Program  
8930 Stanford Boulevard  
Columbia, MD 21045  
410.313.2691 (Office)  
rbricker@howardcountymd.gov



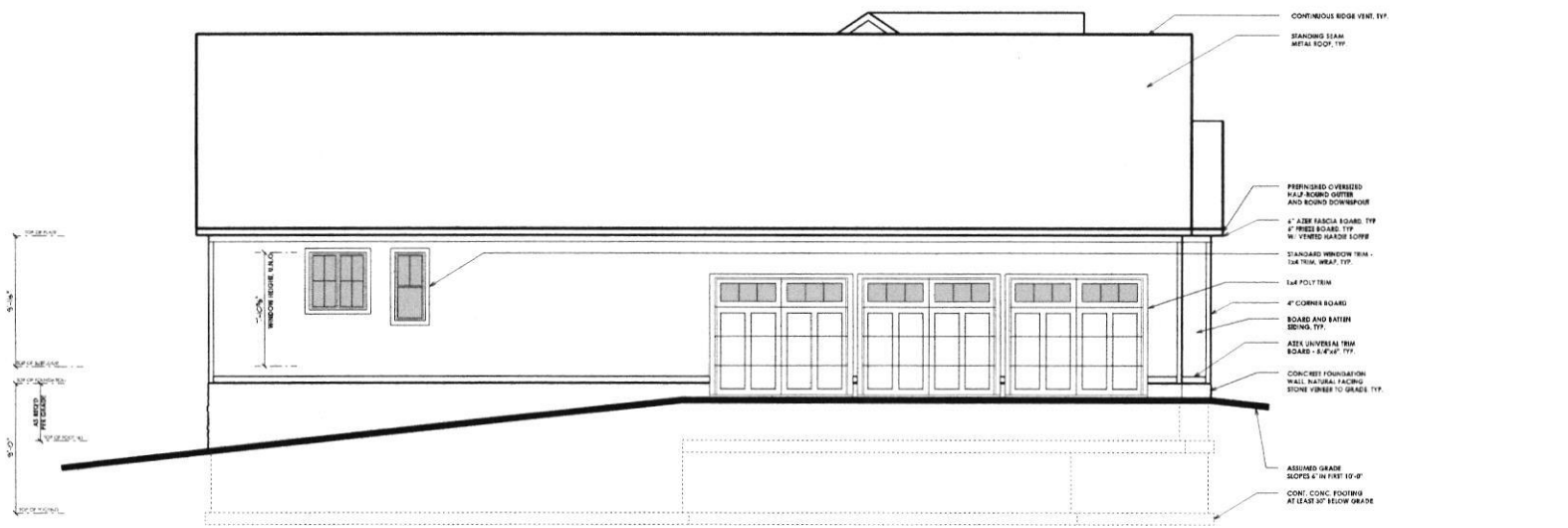
### CONFIDENTIALITY NOTICE

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Heather



FRONT ELEVATION



LEFT ELEVATION

4 bedrooms  
'OK' reB @/10/21

ARCHITECTURE  
**JONATHAN RIVERA**  
 (443) 226-5745  
 JONATHANRIVERA.COM

PROFESSIONAL CERTIFICATION  
 I certify that these documents  
 were prepared or approved  
 by me, and that I am a duly  
 licensed professional  
 architect under the laws of the  
 State of Maryland.  
 License Number #14478  
 Expiration Date: 4/30/2022

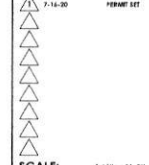
No liability is assumed for  
 construction errors unless they are  
 specifically noted on the drawings.  
 The contractor is responsible for  
 all materials to be used on the  
 project.  
 Copyright © 2021  
 Jonathan Rivera Architect  
 All Rights Reserved

**PROPOSED RESIDENCE**

**WYNNE RESIDENCE**  
 Old Frederick Road  
 Woodbine, Maryland 21797

**BUILDER**  
 Name  
 address location  
 phone number  
 email

**ISSUE DATE**  
 7-15-20 PERM SET



**SCALE:** 1/4" = 1'-0"  
**FRONT/LEFT ELEV**

**1.01**  
 PRINT DATE:  
 Monday, June 28, 2021



REAR ELEVATION

NOTE:  
 STAIRS WITH 3 OR MORE RISERS SHALL BE PROVIDED WITH HANDRAILS. HANDRAILS SHALL BE A MINIMUM OF 36\"/>

FOR CORNER, FACIAL BALCONIES OR RAILED POOR SURFACES LOCATES MORE THAN 36\"/>

RISERS ARE TO BE CLOSED SUCH THAT THE OPENING BETWEEN THE TREADS DOES NOT PERMIT THE PASSAGE OF A 4\"/>

CONCRETE FOUNDATION SHALL NATURAL FINISH FICHE VENTED TO GRADE, TYP.

ASSUMED GRADE 1\"/>

CORN. CONC. ROOFING AT LEAST 36\"/>

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ASSUMED GRADE 1\"/>

CORN. CONC. ROOFING AT LEAST 36\"/>

10'-0\"/>

12\"/>

12\"/>

CONTINUOUS RIDGE VENT, TYP.

STANDING SEAM METAL ROOF, TYP.

FINISHED OVERLAYS HALF-ROUNDED GUTTER AND ROUND DOWNPOUT

1\"/>

17\"/>

STANDARD WINDOW TRIM 1/4\"/>

4\"/>

BOARD AND BATTEN SIDING, TYP.

ASBE UNIVERSAL TRIM BOARD, 1-1/4\"/>

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ASSUMED GRADE 1\"/>

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ASSUMED GRADE 1\"/>

RIGHT ELEVATION

JONATHAN RIVERA ARCHITECT
   
 (443) 226-5745
   
 JONATHANRIVERA.COM

**PROFESSIONAL CERTIFICATION**  
 I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.  
 License Number #14478  
 Expiration Date: 6/30/2022

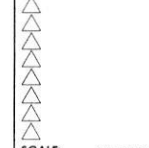
ARCHITECT  
 JONATHAN RIVERA ARCHITECT  
 10000 WOODBINE ROAD  
 WOODBINE, MARYLAND 21797  
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 Jonathan Rivera Architect  
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**PROPOSED RESIDENCE**

**WYNNE RESIDENCE**  
 Old Frederick Road  
 Woodbine, Maryland 21797

**BUILDER**  
 Name:  
 address location:  
 phone number:  
 email:

**ISSUE DATE**  
 7-16-20 PERMIT SET



SCALE: 1/4" = 1'-0"

**REAR/RIGHT ELEV**

**1.02**

PRINT DATE:  
 Monday, June 28, 2021

ALL DIMENSIONS TO BE VERIFIED IN FIELD

**FOUNDATION NOTES**

1) 2000 PSI MIN. SOIL BEARING CAPACITY ASSUMED  
 2) BEAMS, JOISTS, HEADERS & RAFTERS TO BE 3/4" MIN. OR 2X4 TRUSS/FLG.  
 3) BASEMENT WINDOW AND DOOR LOCATIONS TO BE DETERMINED AT FIELD.

4) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-IN'S, W/H'S, A/J'S AND OTHER FIXTURES ARE SUBJECT TO BUILDER DISCRETION ON SITE  
 5) FOUNDATION WALL MIN. THICKNESS 8" w/ 1/2" REINFORCING WALL w/ BRICK LEDGE EXCEEDS 12" HIGH

6) VERIFY SIZE AND LOCATION OF WINDOWS FOR GLAZE & BURGLAR  
 7) MIN. 1/2" HOOKED ANCHOR BOLTS THROUGH 2 MIN. 2" RIGID CONC. SHALL BE PLACED AT 4" O.C. AND LOCATED 4" MIN. FROM BACK SID OF ALL SLAB PLATE FEES.

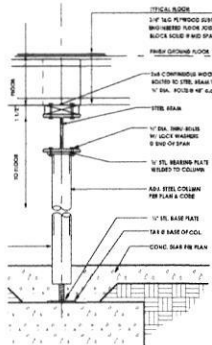
8) BRICK OR RAIL BATTERINGS FOR FOUNDATION WALL DETAILS

**TYPICAL GARAGE FOUNDATION WALL**

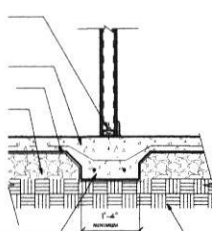
MIN. 8" REINFORCED CONCRETE FOUNDATION WALL (INCLUDES & REINFORCING FOR SOIL & GRADE CONDITIONS & CODES)  
 MIN. 8"x11" CONTINUOUS FOOTING

**TYPICAL HOUSE FOUNDATION WALL**

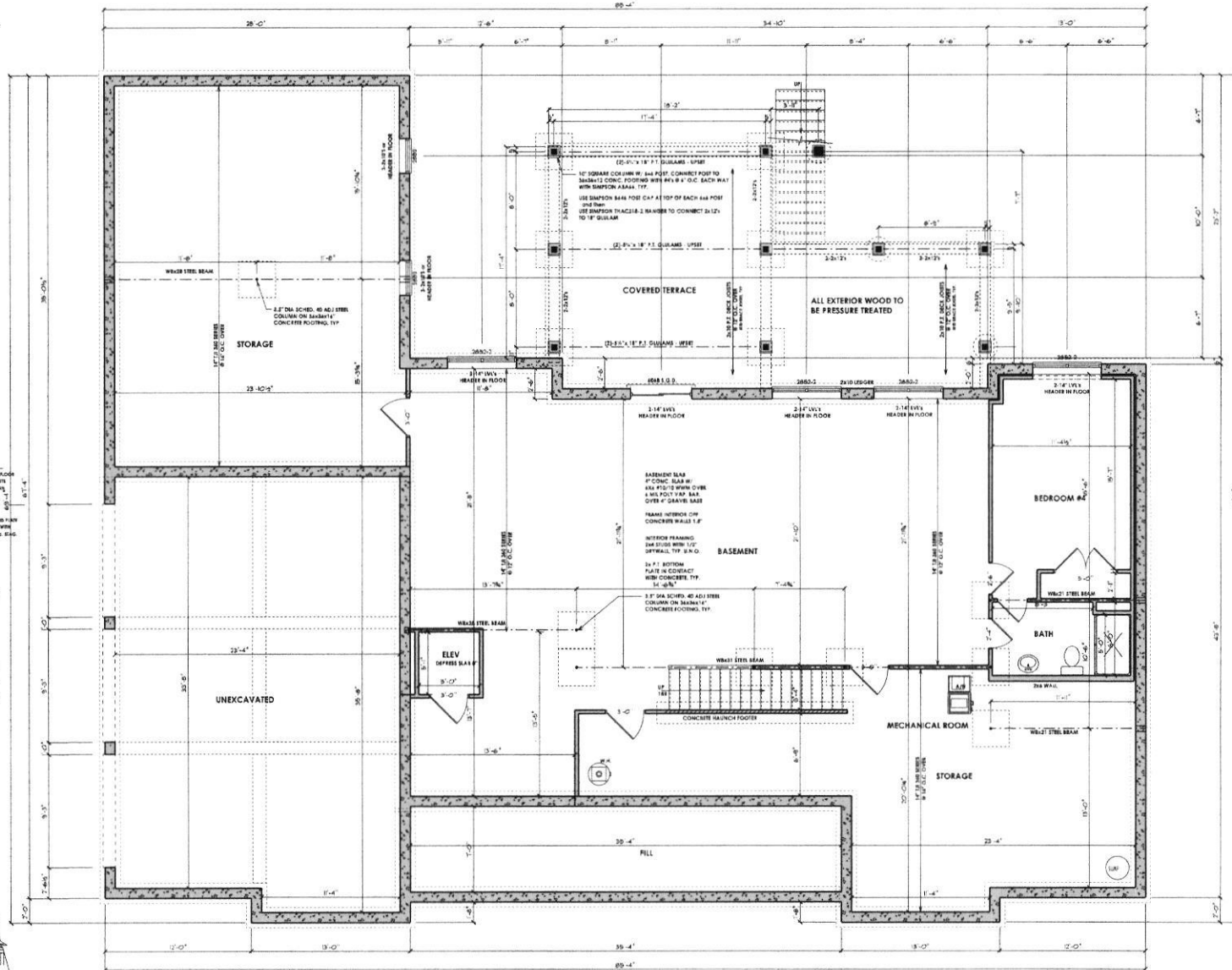
MIN. 12" REINFORCED CONCRETE FOUNDATION WALL (INCLUDES & REINFORCING FOR SOIL & GRADE CONDITIONS & CODES)  
 MIN. 12"x32" CONTINUOUS FOOTING



EL COLUMN - BEARING



CONCRETE HAUNCH FOOTER



FOUNDATION PLAN



PROFESSIONAL CERTIFICATION  
 I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland.  
 License Number: #14278  
 Expiration Date: 6/30/2022

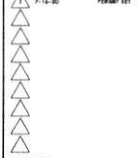
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**PROPOSED RESIDENCE**

**WYNNE RESIDENCE**  
 Old Frederick Road  
 Woodbine, Maryland 21797

**BUILDER**  
 Name:  
 address location:  
 phone number:  
 email:

**ISSUE DATE**  
 2-14-20 PERMIT SET

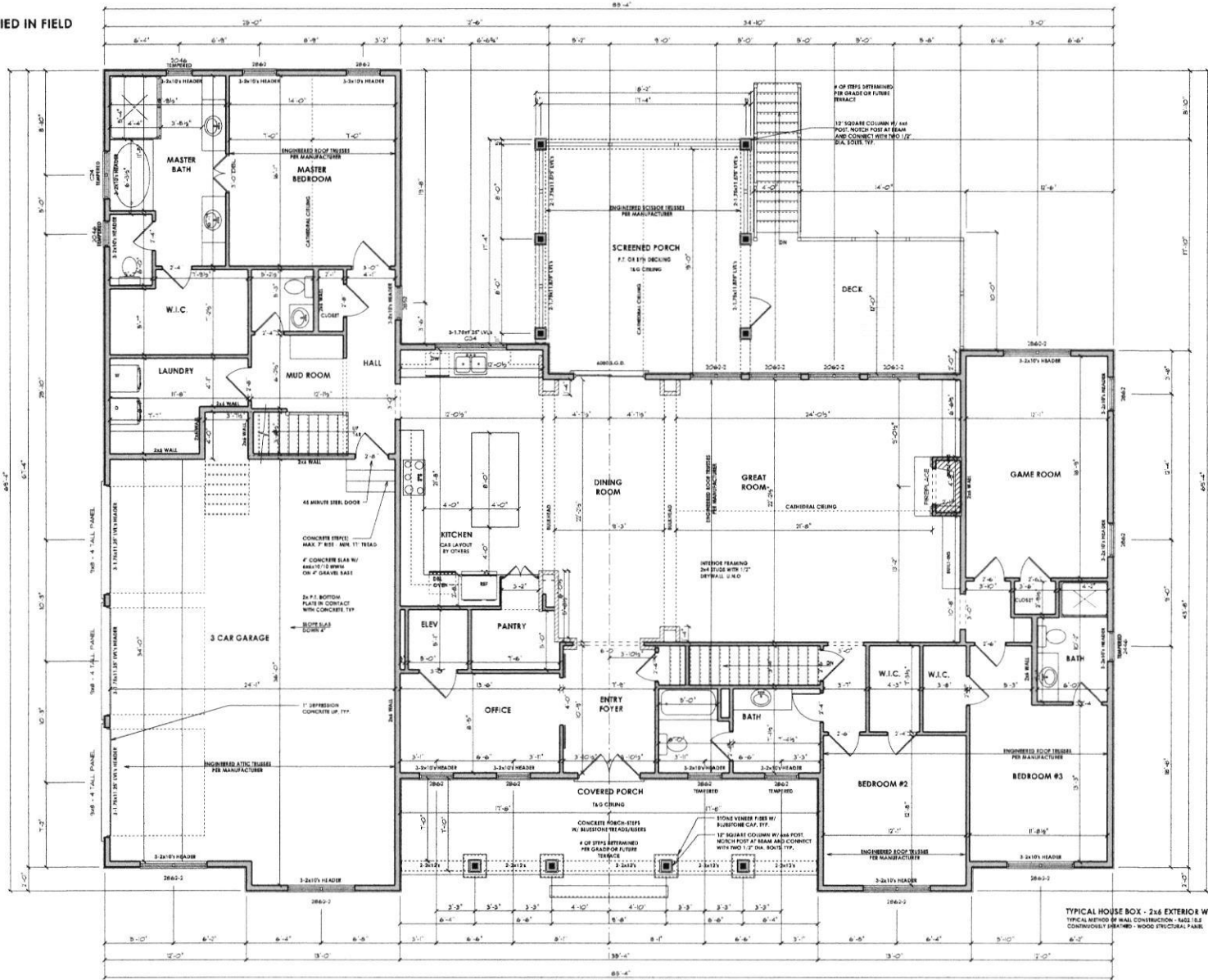


SCALE: 1/4" = 1'-0"

**FOUNDATION**  
**2.01**

PRINT DATE:  
 Monday, June 28, 2021

ISONS TO BE VERIFIED IN FIELD



FIRST FLOOR PLAN

ARCHITECT  
**JONATHAN RIVERA**  
 ARCHITECT  
 (410) 226-5745  
 JONATHANRIVERA.COM

**PROFESSIONAL CERTIFICATION**  
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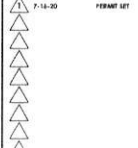
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**PROPOSED RESIDENCE**

**WYNNE RESIDENCE**  
 Old Frederick Road  
 Woodbine Maryland 21797

**BUILDER**  
 Name:  
 address location:  
 phone number:  
 email:

**ISSUE DATE**  
 7-14-20 PERMIT SET



SCALE: 1/4" = 1'-0"

FIRST FLOOR

**3.01**

PRINT DATE: Monday, June 28, 2021



Name: \_\_\_\_\_  
Street Address: 3430 Court House Drive  
City, State, Zip: Ellicott City, MD 21043  
Date: 11-2-2021

**Amendment, Permit #** B21003150

Ms. Debbie Whalen  
Division of Plan Review  
Department of Inspections, Licenses and Permits  
Howard County Government  
3430 Court House Drive  
Ellicott City, MD 21043

DILP 2021 NOV 4 AM 11:40

Dear Ms. Whalen:

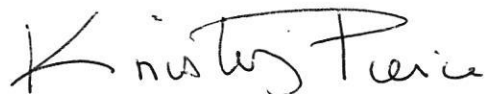
I am requesting to amend **Permit #** B21003150 **at**  
15685 Old Frederick Road, Woodbine, MD 21797 **to**  
shift proposed house uphill horizontally (north) 44+/-ft. & vertically 3-ft. and to update grading,  
septic, swm accordingly. The house footprint does not change and the new LOD  
is smaller & within the current approved LOD.

**Enclosed:**

- |                                     |                                    |
|-------------------------------------|------------------------------------|
| <input checked="" type="checkbox"/> | Fee: <u>25.00</u> <u>CK# 16623</u> |
| <input checked="" type="checkbox"/> | Plot Plans                         |
| <input type="checkbox"/>            | Sets of Construction Drawings      |
| <input type="checkbox"/>            | Other: _____                       |

If there is anything we can do to assist you, please let me know.

Sincerely,



Name: Kristy Pierce  
Title: Land Planner  
Phone: 410-880-1820  
Email: kpierce@glwpa.com

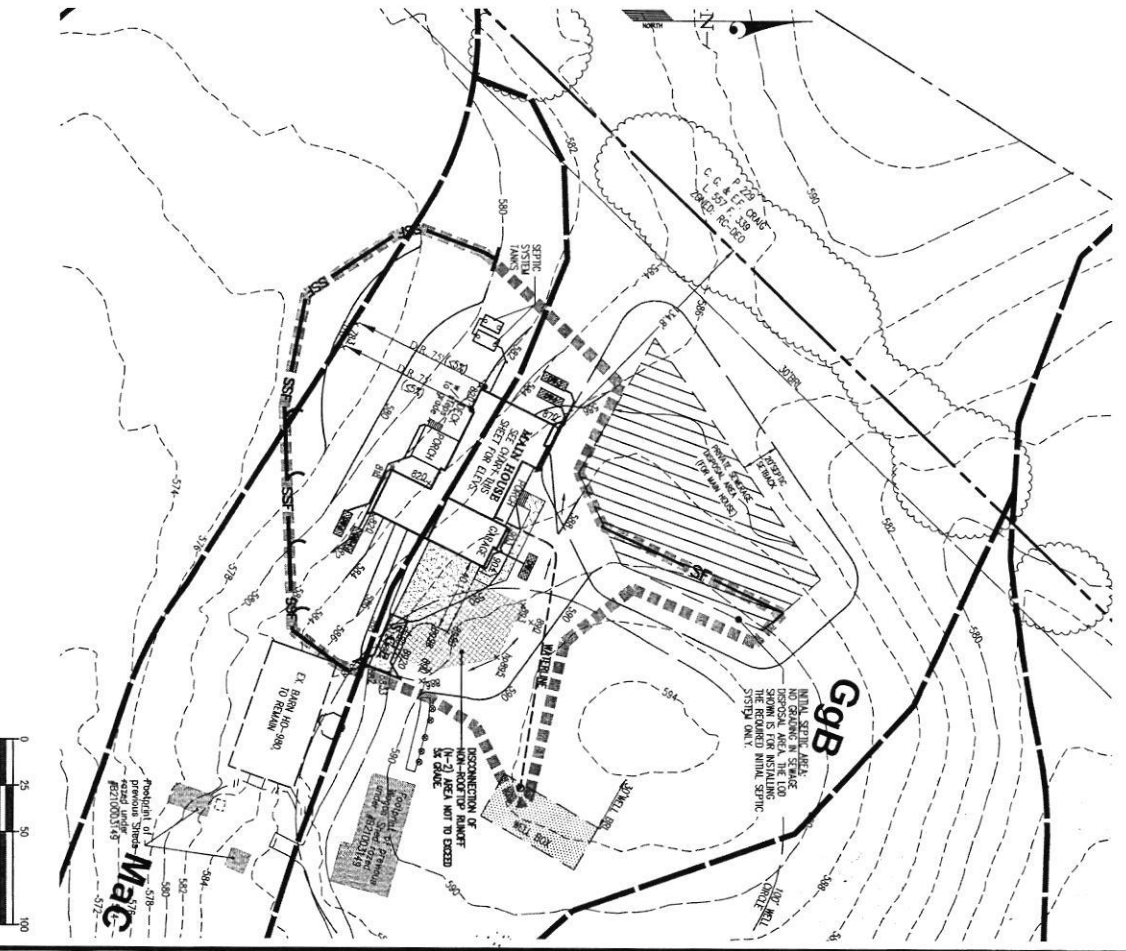
CC: PTZ  
Health





Elevations		House Grading Information	
582.50	Basement Slab Elevation (B.S.E.) at top of 4" concrete slab	582.17	Top of Footing
591.17	Top of 9" High Foundation Wall (FOFW)	591.13	First Floor Elevation (F.F.E.) - Top of 4" single gable + 2x10 floor joist + (fr board)
591.63	Finish Elevation (at 6" below F.F.E.)	591.13	Finish Grade Below front porch, 30" max. for no railing
590.13	Number of risers needed between front porch and landing at 6" floor height	4 risers	Number of risers needed between front porch and landing at 6" floor height
590.83	Number of risers needed between front porch and landing at 7" floor height	3 risers	Number of risers needed between front porch and landing at 7" floor height
590.42	Garage Front Elevation (at bottom of 1" weather lip)		

PROPOSED DRYWELL (M-5) SIZE CHART		
DRYWELL LENGTH x WIDTH	DEPTH OF	
14' x 5'	5'	
14' x 5'	5'	
14' x 5'	5'	
14' x 5'	5'	
14' x 5'	5'	





**GLW**  
General Landmark Services

**BUILDING PERMIT PLOT PLAN**

**RECORDED ZONE:**

**DESIGNER:** BRUCE WYNNIE, AIA, LWT, 1201  
NOLAN HARBOR DRIVE, BEACH  
FLORIDA 32931  
wyynne@brucewyynne.com

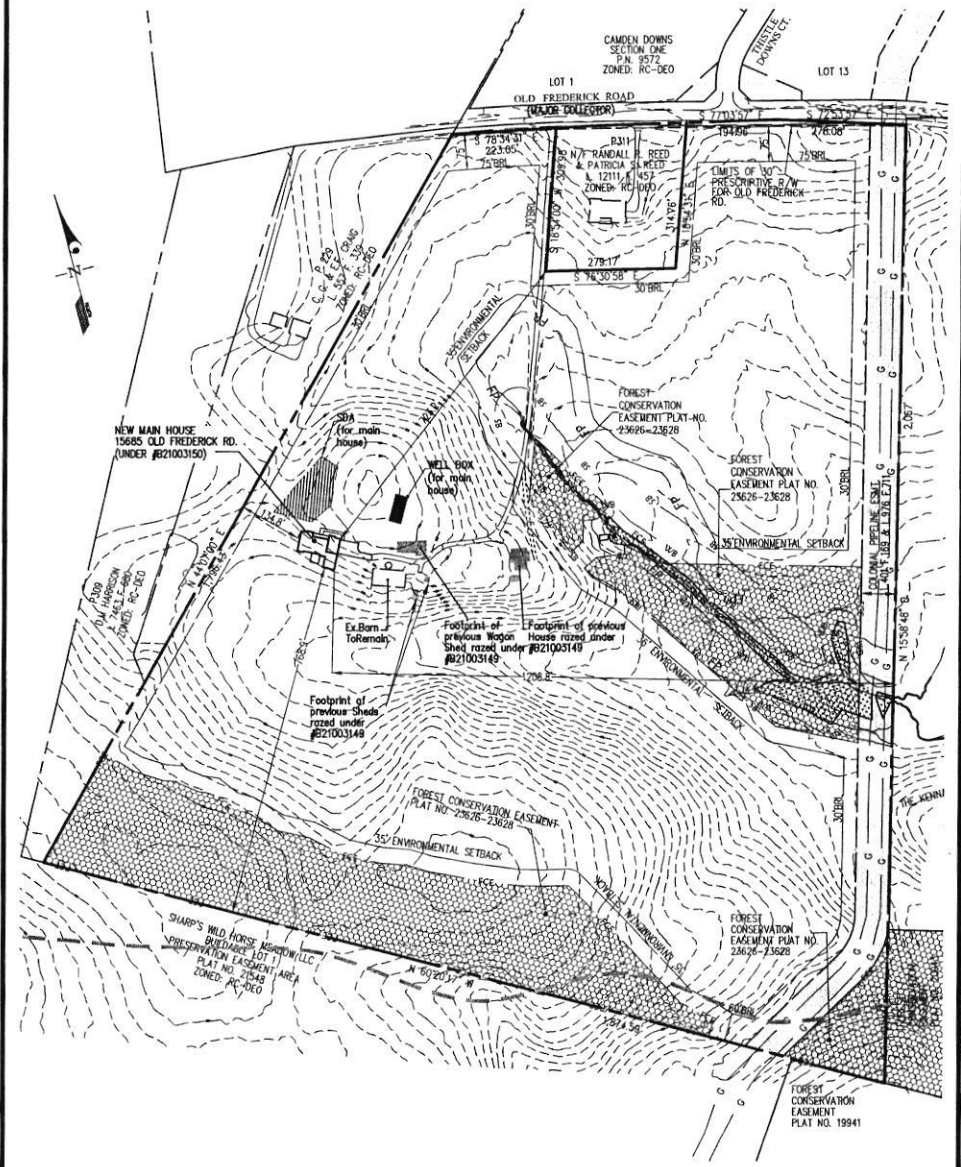
**OWNER:** WYNNIE PROPERTY  
15685 GOLD FREDERICK ROAD  
WYNNIE PROPERTY  
TAMPA, FL 33635  
PLAT No. 23826-23828

**DATE:** OCT. 2021

**SCALE:** 1" = 2'

**SHEET:** 1 OF 2

REVISED  
 Date: 11/4/21  
 Comments: 321003150  
 House Shift uphill



SEE SHEET 2 FOR 50 SCALE

BUILDING PERMIT PLOT PLAN

	DES.	PREPARED FOR:	G. L. W. No.
	DRN.	OWNER:	ZONING
	CHK.	2085 HIGHWAY 17A UNIT 1201 INDIAN HARBOUR BEACH, FLORIDA 32937 wynnebrian5@gmail.com	TAX MAP/GRID
		15685 OLD FREDERICK ROAD WYNNE PROPERTY Tax Parcel 2 (Tax Account No. 315383) PLAT No. 23626-23628	DATE
			SCALE
			SHEET

L:\CAD\DRAWINGS\2020\PLANS BY CLIENT AND PLOT PLAN\2020\_DP\_MAIN HOUSE.dwg

Name: \_\_\_\_\_  
Street Address: 3430 Court House Drive  
City, State, Zip: Ellicott City, MD 21043  
Date: 11-2-2021

**Amendment, Permit #** B21003150

Ms. Debbie Whalen  
Division of Plan Review  
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is smaller & within the current approved LOD.

**Enclosed:**

<input checked="" type="checkbox"/>	Fee: 25.00 <i>CP # 10, 20</i>
<input checked="" type="checkbox"/>	Plot Plans
<input type="checkbox"/>	Sets of Construction Drawings
<input type="checkbox"/>	Other: _____

If there is anything we can do to assist you, please let me know.

Sincerely,

*Kristy Pierce*

Name: Kristy Pierce  
Title: Land Planner  
Phone: 410-880-1820  
Email: kpierce@glwpa.com

*KP*

Amendment Letter