

Building Address: 1825 Davis Branch Rd
 City: Woodstock State: MD Zip Code: 21163
 Suite/Apt. #: _____ SDP/WP/BA #: F-06-104
 Subdivision: Myrtue Property
 Lot: 8 Tax Map: 10, Grid 24 Parcel: 225
 Existing Use: vacant improved lot
 Proposed Use: SFD
 Estimated Construction Cost: \$ 406,470
 Description of Work: Construct a new 2-story single family dwelling w/attached 2-car garage and unfinished basement.
 Use Classification R-3; Construction Type VB. 4 BEDROOMS, 3 FULL BATHROOMS, 1 FULL BATH POW-IN (BSMT.)
 Occupant/Tenant Name: _____
 Was tenant space previously occupied? Yes No
 Contact Name: _____
 Address: _____
 City: _____ State: _____ Zip Code: _____
 Phone: _____ Fax: _____
 Email: _____

Property Owner's Name: Sonshine MD, LP
 Address: 227 Granite Run Drive, Suite 100
 City: Lancaster State: PA Zip Code: 17601
 Phone: 717-464-9060 Fax: _____
 Email: billb@keystonecustomhomes.com
Applicant's Name & Mailing Address, (If other than stated herein)
 Applicant's Name: Keystone Custom Homes
 Address: 227 Granite Run Drive, Suite 100
 City: Lancaster State: PA Zip Code: 17601
 Phone: 717-719-1362 Fax: 717-459-7446
 Email: greinsmith@keystonecustomhomes.com
 Contractor Company: Keystone Custom Homes
 Contact Person: Gregg Reinsmith
 Address: 227 Granite Run Drive, Suite 100
 City: Lancaster State: PA Zip Code: 17601
 License No.: MHBR# 2937
 Phone: 717-719-1362 Fax: 717-459-7446
 Email: greinsmith@keystonecustomhomes.com
 Engineer/Architect Company: Paul B. Elser, P.E.
 Responsible Design Prof.: Paul Elser
 Address: 227 Granite Run Drive, Suite 100
 City: Lancaster State: PA Zip Code: 17601
 Phone: 717-719-1370 Fax: _____
 Email: pelser@keystonecustomhomes.com

Commercial Building Characteristics	Residential Building Characteristics	
Height:	<input checked="" type="checkbox"/> SF Dwelling <input type="checkbox"/> SF Townhouse	
No. of stories:	<u>Depth</u>	<u>Width</u>
Gross area, sq. ft./floor:	1 st floor: 60'	50'
	2 nd floor: 50'	50'
Area of construction (sq. ft.):	Basement: 60'	50'
	<input type="checkbox"/> Finished Basement	
Use group:	<input checked="" type="checkbox"/> Unfinished Basement	
	<input type="checkbox"/> Crawl Space	
Construction type:	<input type="checkbox"/> Slab on Grade	
<input checked="" type="checkbox"/> Reinforced Concrete (foundation only)	No. of Bedrooms: 4	
<input type="checkbox"/> Structural Steel	Multi-family Dwelling	
<input type="checkbox"/> Masonry	No. of efficiency units:	
<input checked="" type="checkbox"/> Wood Frame	No. of 1 BR units:	
<input type="checkbox"/> State Certified Modular	No. of 2 BR units:	
	No. of 3 BR units:	
	Other Structure:	
	Dimensions:	
<input checked="" type="checkbox"/> Roadside Tree Project Permit	Footings:	
<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Roof:	
Roadside Tree Project Permit #	<input type="checkbox"/> State Certified Modular	
	<input type="checkbox"/> Manufactured Home	

Utilities	
Electric:	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Gas:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Water Supply	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Sewage Disposal	
<input type="checkbox"/> Public	
<input checked="" type="checkbox"/> Private	
Heating System	
<input checked="" type="checkbox"/> Electric (A/C) <input type="checkbox"/> Oil	
<input type="checkbox"/> Natural Gas <input checked="" type="checkbox"/> Propane Gas (furnace)	
<input type="checkbox"/> Other:	
Sprinkler System:	
<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Grading Permit Number:	
Building Shell Permit Number:	

RECEIVED
SEP 27 2019
LICENSES & PERMITS DIVISION

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERE TO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

Applicant's Signature: Gregg Reinsmith
 greinsmith@keystonecustomhomes.com
 Email Address
 Permit Manager / Keystone Custom Homes
 Title/Company

Gregg Reinsmith
 Print Name
 9/16/19
 Date

Checks Payable to: DIRECTOR OF FINANCE OF HOWARD COUNTY
 PLEASE WRITE NEATLY & LEGIBLY
-FOR OFFICE USE ONLY-

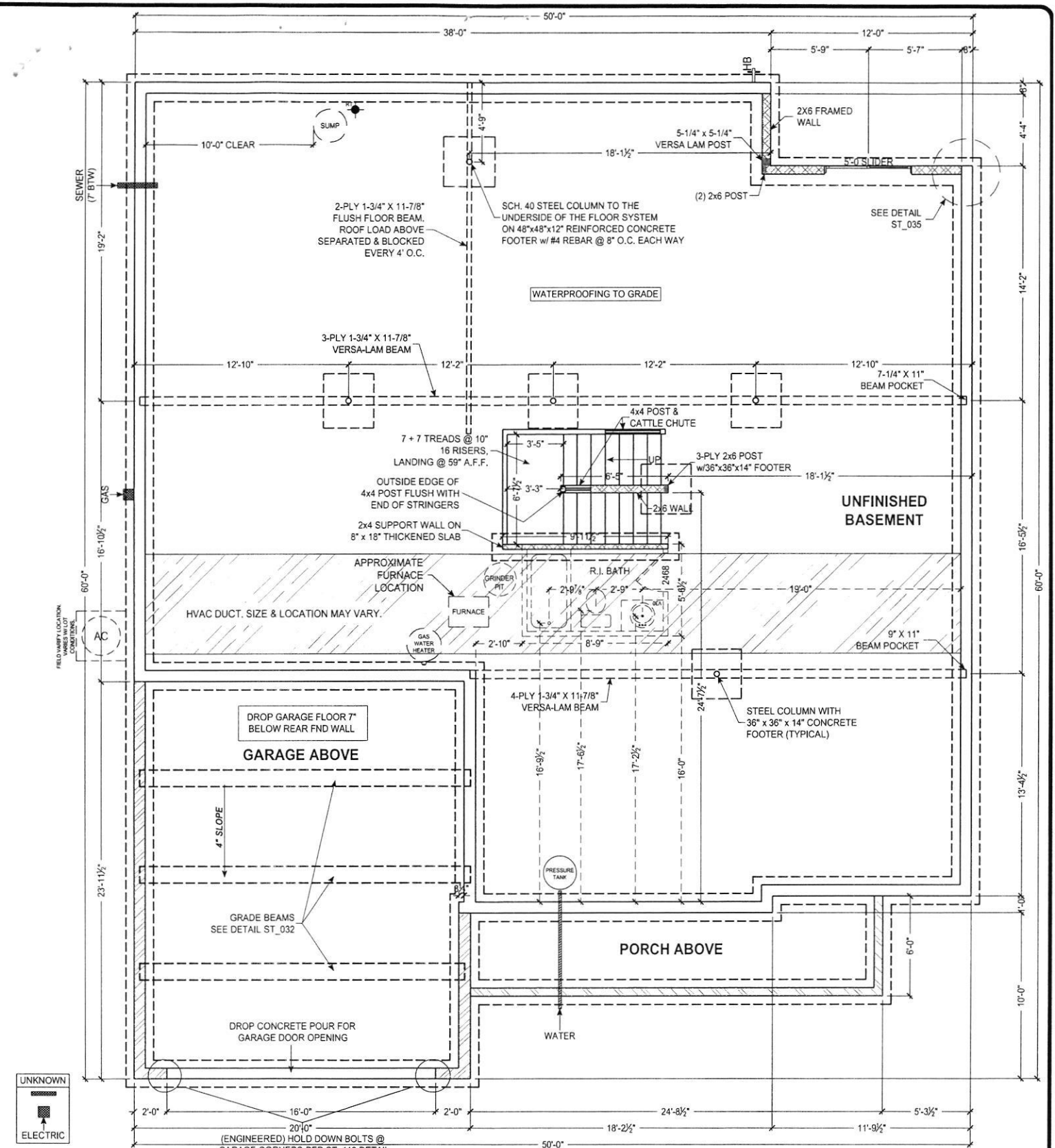
AGENCY	DATE	SIGNATURE OF APPROVAL
<input checked="" type="checkbox"/> State Highways		
<input checked="" type="checkbox"/> Building Officials		
<input checked="" type="checkbox"/> PSZ (Engineering)		
<input checked="" type="checkbox"/> PSZA (Engineering)		
<input checked="" type="checkbox"/> Health	<u>12/30/19</u>	<u>R. Bricker</u>

Is Sediment Control approval required for issuance? Yes No
 CONTINGENCY CONSTRUCTION START

DPZ SETBACK INFORMATION	
Front:	
Rear:	
Side:	
Side St.:	
All minimum setbacks met?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Is Entrance Permit Required?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Historic District?	<input type="checkbox"/> Yes <input type="checkbox"/> No
Lot Coverage for New Town Zone:	
SDP/Red-line approval date:	

Filing Fee	\$ <u>100.00</u>
Permit Fee	\$
Tech Fee	\$
Excise Tax	\$
PSFS	\$
Guaranty Fund	\$ <u>50.00</u>
Add'l per Fee	\$
Total Fees	\$
Sub- Total Paid	\$
Balance Due	\$
Check	# <u>9134</u>

Yellow: PSZA,Engineering Pink: Health Gold: SHA
 (redline in but not approved)



FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

SQUASH BLOCKS REQUIRED IN FLOOR FRAMING UNDER ALL POINT LOADS.

- = 8" THICK POURED CONCRETE WALLS - 9'-0" HEIGHT
- = 8" THICK POURED CONCRETE WALLS
- CHECK P.O. FOR WALL HEIGHT OF CRAWL SPACE AND GARAGE WALLS
- = 6" THICK POURED CONCRETE WALLS
- CHECK P.O. FOR WALL HEIGHT OF FRONT PORCH WALLS

NOTE TO HOMEOWNER(S):
 LOCATIONS SHOWN FOR HVAC, PLUMBING AND OTHER MECHANICAL ITEMS WILL BE USED IF POSSIBLE. ACTUAL PLACEMENT OF FURNACE, WATER HEATER, SUMP PIT, ETC. MAY VARY DUE TO INDIVIDUAL SITE REQUIREMENTS.

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SHEET DESCRIPTION:
 FOUNDATION PLAN
 MODEL: MRs008
 PADRES / NALLA

UPDATED: MAY 21 2019
 SCALE: AS NOTED
 DRAWN BY: M. HERSHEY

SHEET NO: P1.2
 PLAN ID: an h 30

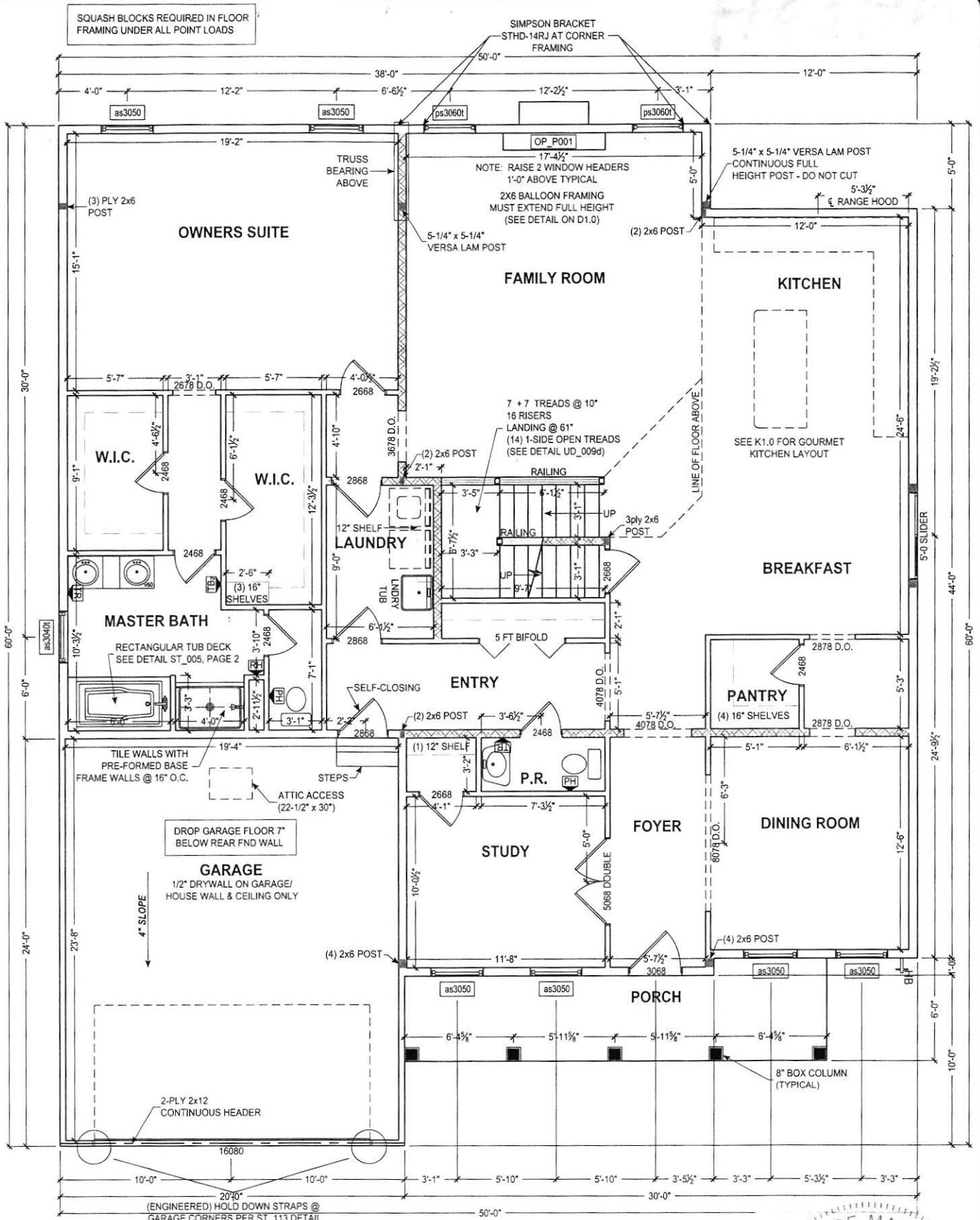
KEYSTONE
 CUSTOM HOMES

227 GRANITE RUN DRIVE, SUITE 100, LANCASTER, PA 17601
 PHONE: (717) 464-9060 • FAX: (717) 735-2034 • KeystoneCustomHome.com

UNIVERSITY OF MARYLAND
 PROFESSIONAL ENGINEER
 No. 35418

ALL EXTERIOR WALLS ARE 100% CONT. STRUCTURAL SHEATHING (METHOD #3, PER ST_112)

	FRAMING POST
	INTERIOR HALF WALL
	2 x 6 INTERIOR WALL
	GYPSUM BOARD, TWO SIDES (METHOD #5, PER ST_111)



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"

RESIDENTIAL SPRINKLER SYSTEM TO BE INSTALLED IN ACCORDANCE WITH THE CODES, FIRST PARTY AGENCY TO PROVIDE DRAWING AND TEST REPORTS

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PLAN ID: P1.0 SHEET NO. an h 30	DRAWN BY: M.HERSHEY	SCALE: AS NOTED	SHEET DESCRIPTION: FIRST FLOOR PLAN
	MODEL: MRs008	UPDATED: MAY 21 2019	PADRES / NALLA
	AS NOTED		



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