

RECEIVED

PERMIT NUMBER: B 20003705

DATE ACCEPTED:

OCT 21 2020



RESIDENTIAL BUILDING PERMIT APPLICATION

PERMITS DIVISION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4 www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 12233 Mayapple Drive, City: Sykesville, State: MD, Zip Code: 21784, Subdivision/Village/Complex Name: Walker meadows, SDP/WP/BA #: GP21-027, Lot: 30, Tax Map: Parcel: Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: vacant lot, Proposed Use: SFD, Estimated Cost: \$ 220,000, Trade Work to Be Completed: Mechanical (HVACR) Electrical Plumbing None, New 2 story "Stratford Hall" ELV 'R' with 2 car side garage, and finished lower level (Rec room + bathroom)

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s): NVR INC - contact J. Anastasia, Primary Residence: No, Owner's Street Address: 9720 Patuxent woods Drive, City: Columbia, State: MD, Zip Code: 21046, Phone: 410-379-5956, Email: Janastas@NVRINC.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Decatur Building Services, Contact Name: Jim Kerwin, Street Address: PO Box 552, City: Woodbine, State: MD, Zip Code: 21797, Phone: 443-309-7792, Email: Jim@Decaturbuilding.com

CONTRACTOR INFORMATION REQUIRED

Business Name: NVR NV Homes MD EAST, Licensee's Name: NVR, License #: 56, Street Address: 9720 Patuxent woods Drive, City: Columbia, State: MD, Zip Code: 21046, Phone: 410-379-5956, Email: Janastas@NVRINC.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name: Name: Street Address: City: State: Zip Code: Phone: Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling, Condo: No, Utilities: Electric Gas, Water Supply: Private (Well), Sewage Disposal: Private (Septic), Heating System: Electric Propane, Roadside Tree Project: No, Sprinkler System: NFPA 13D, Fire Alarm System: Yes

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: "Stratford Hall" ELV 'R' with 2 car garage, and finished lower level, # of Bedrooms (SF): 4, # of efficiency units (MF*):, # of 1 BR (MF*):, # of 2 BR (MF*):, # of 3 BR (MF*):, # Rooms: 11, # Full Baths: 5, # Half Baths: 1, # Fireplaces: 0, Garage/Carport Info: Attached Garage, Basement/Foundation Info: Finished Basement: Full or Partial, 1st Fl Width: 54, 1st Fl Depth: 54, 2nd Fl Width: 54, 2nd Fl Depth: 48, Bsmt Width: 54, Bsmt Depth: 54, Energy Method: Performance, Gross Area: 6541 sq ft, Occupiable Area: 6541 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE

DATE SIGNED 10/20/2020

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR DPZ DED Health SHA CID, SUBMITTAL FEES: \$150.00, PAYMENT: CK# 383204 10/15, ACCEPTED BY:

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: *James Anastasia, NVR, Inc.*

FROM: *Robert Bricker, REHS/RS, L.E.H.S.*
Well & Septic Program

RE: **12233 Mayapple Drive**, Potential Basement Bedroom

DATE: November 13, 2020

I have reviewed the floor plans in support of Building Permit **B20003765** for a new home at **12233 Mayapple Drive** and noted that there is a proposed full bathroom in the partially finished basement. Please note that this makes it very likely for one or more rooms to be considered bedrooms upon conversion of the entire basement to finished living space and/or installation of an egress window.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned area of a dwelling unit or accessory structure that:
 - (i) Is 90 square feet or greater in size;
 - (ii) May be used as a private sleeping area; and
 - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
 - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
 - (ii) A minimum 4 foot-wide opening, without doors, into another room;
 - (iii) A half wall (4 foot maximum height) between the room and another room; or
 - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

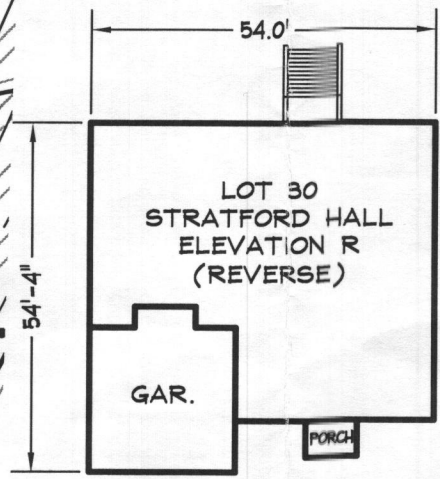
The Health Department strongly recommends sizing the onsite sewage disposal system at least one bedroom larger than the existing **four (4)** bedroom design to accommodate a future finished basement. If you choose to only size for the existing design, any future building permit for a finished basement may be placed on hold until the system is upgraded to accommodate the proposed number of bedrooms. This memo will be retained in the Health Department file for future reference.

DRAWING LEGEND

- W WELL RELOCATION
- M-6 MICRO-BIORETENTION
- ° DRY WELL
- SF PROPOSED SILT FENCE
- SSF PROPOSED SUPER SILT FENCE
- SCE STABILIZED CONSTRUCTION ENTRANCE
- M-6 MICRO-BIORETENTION
- T TRANSFORMER
- LIMIT OF DISTURBANCE
- PROPOSED SUPER SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- MICRO-BIORETENTION
- TRANSFORMER
- SEPTIC RESERVE AREA
- TEMP STOCKPILE
- TEMPORARY STOCKPILE

**MATCH LINE
SEE THIS
SHEET**

**MATCH LINE
SEE THIS SHEET**



SCALE:
1" = 30'

SCALE:
1" = 50'

SCALE:
1" = 30'

NO GRADING IN SEWAGE DISPOSAL AREA.
LOD SHOWN IS FOR THE INSTALLATION
OF THE INITIAL SEPTIC SYSTEM ONLY.

A PUMP WILL BE REQUIRED
TO SEWER THE BASEMENT

STORMWATER MANAGEMENT ON LOT 30
WILL BE PROVIDED THROUGH THE USE OF
ROOFTOP DISCONNECT AND NON-ROOFTOP
DISCONNECT.

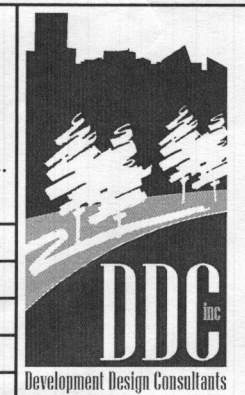
THE FRONT DOOR FOR LOT 30 FACES NORTH

Approved Septic System Plan
Howard County Health Department
4-bedroom SFD
B2000 3765

Signature

11/13/2020
Date

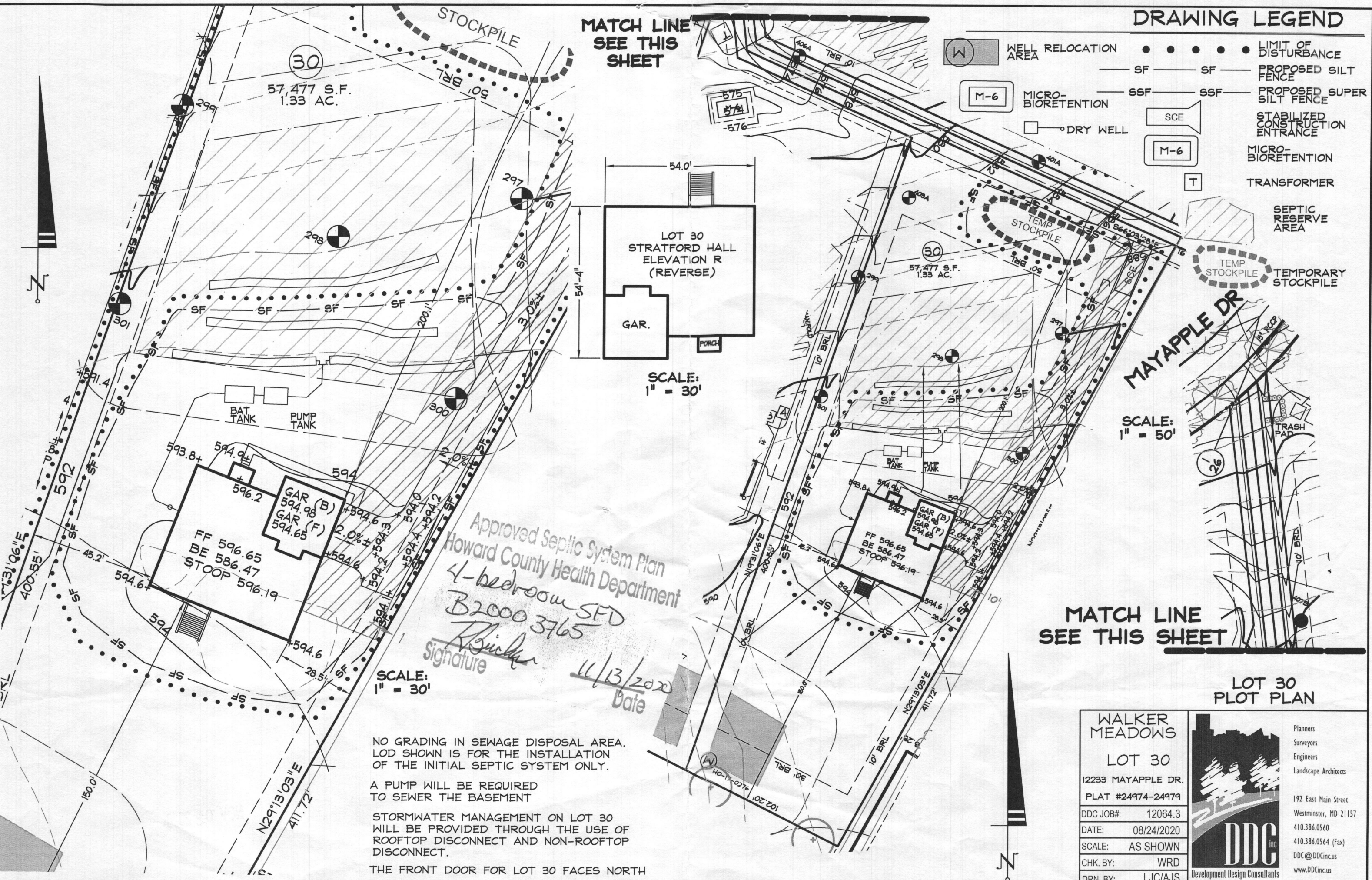
WALKER MEADOWS	
LOT 30	
12233 MAYAPPLE DR.	
PLAT #24974-24979	
DDC JOB#:	12064.3
DATE:	08/24/2020
SCALE:	AS SHOWN
CHK. BY:	WRD
DRN. BY:	LJC/AJS

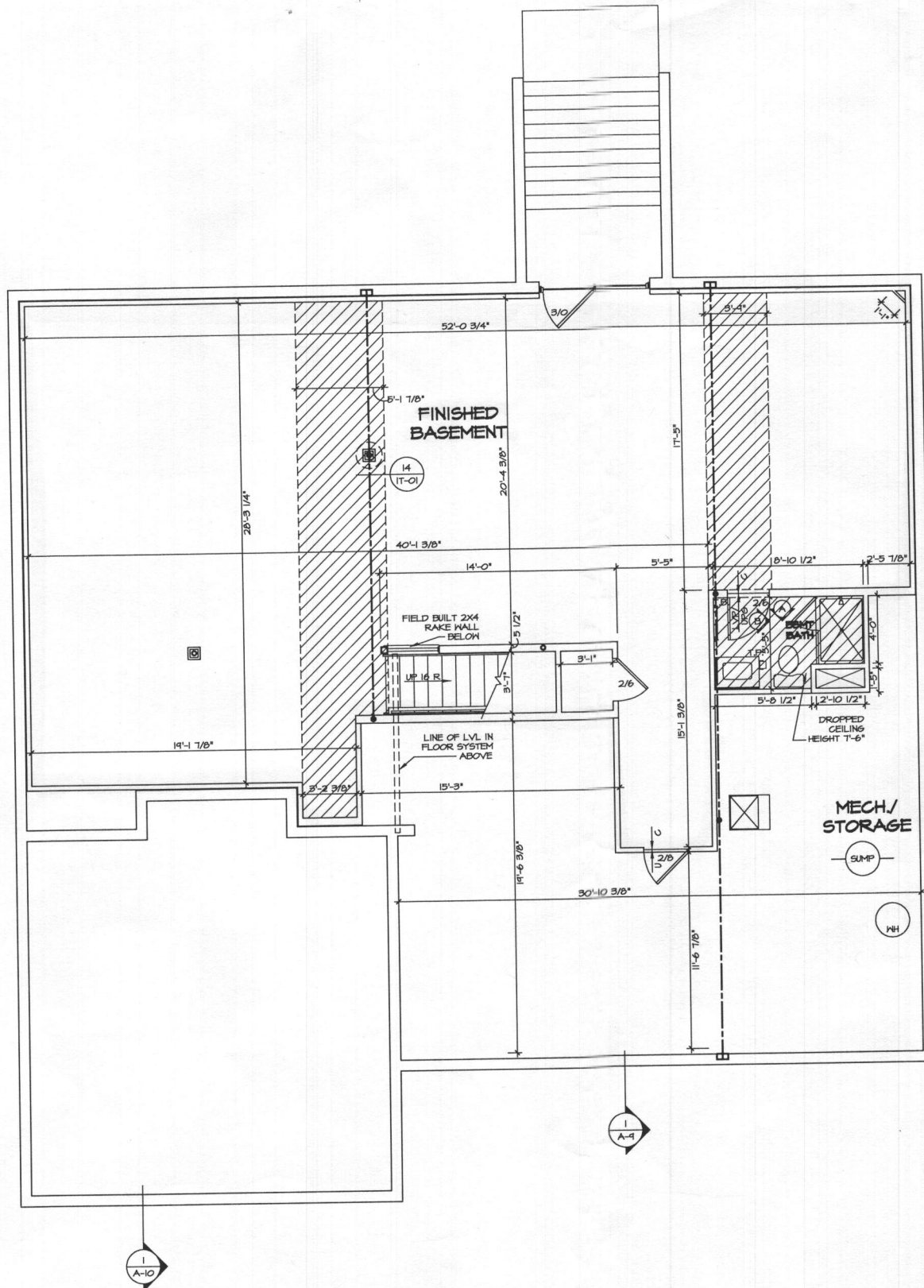


Planners
Surveyors
Engineers
Landscape Architects

192 East Main Street
Westminster, MD 21157
410.386.0560
410.386.0564 (Fax)
DDC@DDCinc.us
www.DDCinc.us

**LOT 30
PLOT PLAN**





Ø bedroom

- FLOOR PLAN NOTES**
- ALL HEADERS ARE (2) 2x6 w/ 2x4 HALLS OR (3) 2x6 w/ 2x6 HALLS, UNLESS OTHERWISE NOTED.
 - ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
 - ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
 - HATCHED AREAS INDICATE DROPPED CEILINGS. ALL DROPPED CEILINGS ARE 12" UNLESS OTHERWISE NOTED.
 - SEE "BRACED HALL PANEL DETAIL SHEET" FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
 - SEE STANDARD DETAIL CATEGORY "IT" SHEETS FOR INTERIOR TRIM DETAILS.
 - SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
 - ALL WINDOWS HAVE 7'-0" 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
 - ALL CASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

- GYPSUM NOTES**
- AT GARAGE:
5/8" DRYWALL ON COMMON HALLS, CEILING, AND BEARING WALLS AS REQUIRED.
- AT STAIRS:
1/2" GYPSUM BOARD AT UNDERSIDE OF STAIRS AND HALLS IN CLOSET
- WITH OPTION "SG1" - DRYWALL UNFINISHED BASEMENT CEILING AREA
- NOTES:**
- 1/2" GYPSUM HALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
 - A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0"x6'-0" CEILING SPACE ABOVE MECHANICAL AREA).
 - PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

LEGEND

	BEARING HALL
	NON BEARING HALL
	INDICATES BEARING FROM POINT-LOAD ABOVE
	JACKS
	BEAM/HEADER
	PAD FOOTING
	STEEL COLUMN
	PORTAL FRAME
	JOIST/TRUSS
	LVL
	ENGINEERING PAGE NUMBER

SEE FC DETAILS FOR FRAMING CONNECTORS

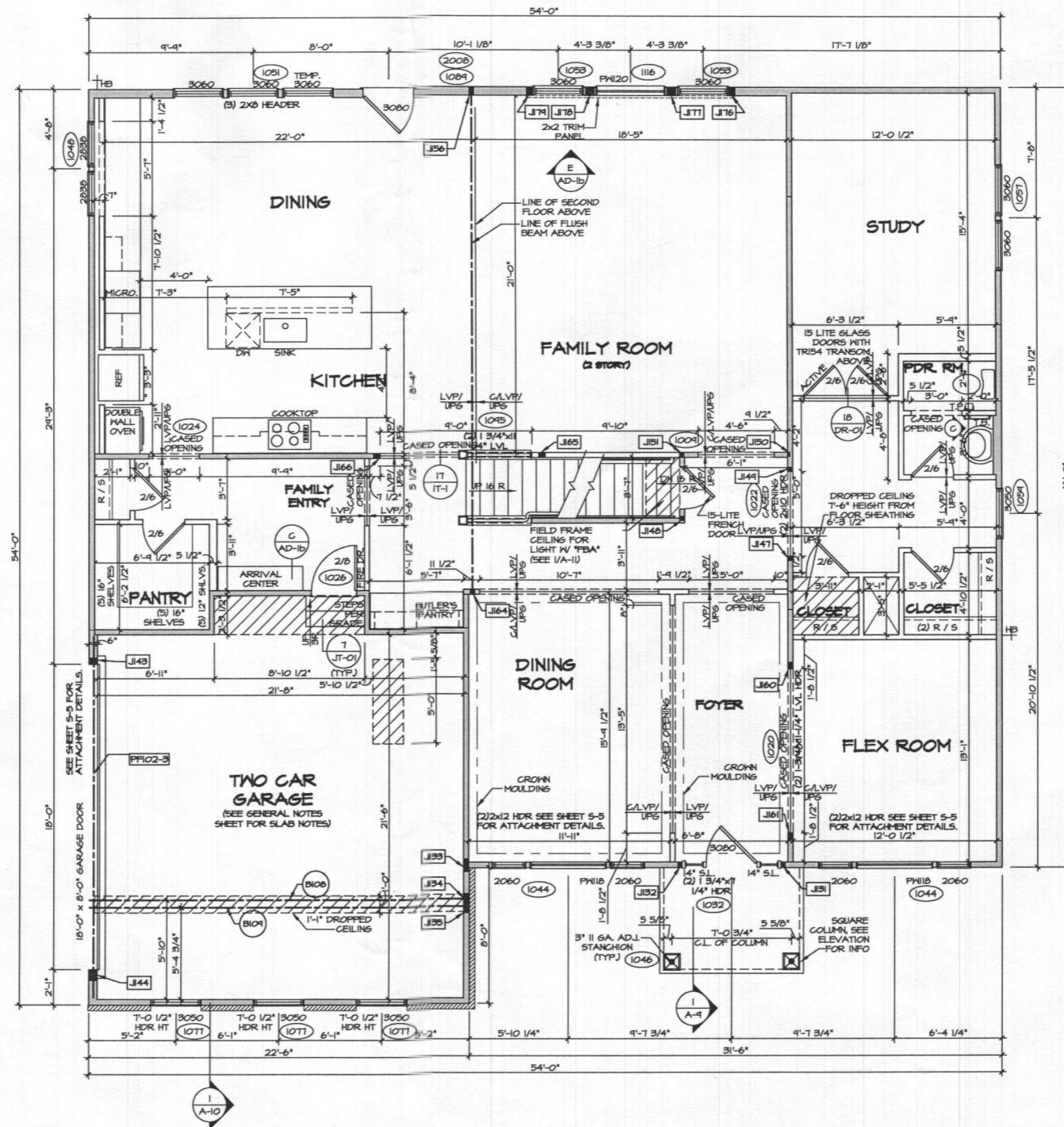
BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

SHEET NO. A-6	MODEL STRATFORD HALL	SET NO. 11900 VERSION 01	DATE	OPTION
	DRAWING TITLE BASEMENT FLOOR PLAN	DRAWN BY BIM		
	OPTION DESCRIPTION			

DIV-COMM-LOT-UNIT: **MDE-1W-0030**
 COMM-LOT: **MALKER MEADOWS - 0030**
 STREET ADDRESS: **12293 MAYAPPLE DRIVE**
 CITY: **SYKESVILLE** STATE: **MD** ZIP: **2104**

NVR, Inc. 5285 Washview Drive, Suite 100
 Frederick, MD 21703
 NVR, Inc. 10/07/20 = 5453 INT.

27

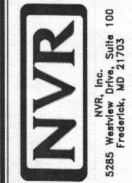


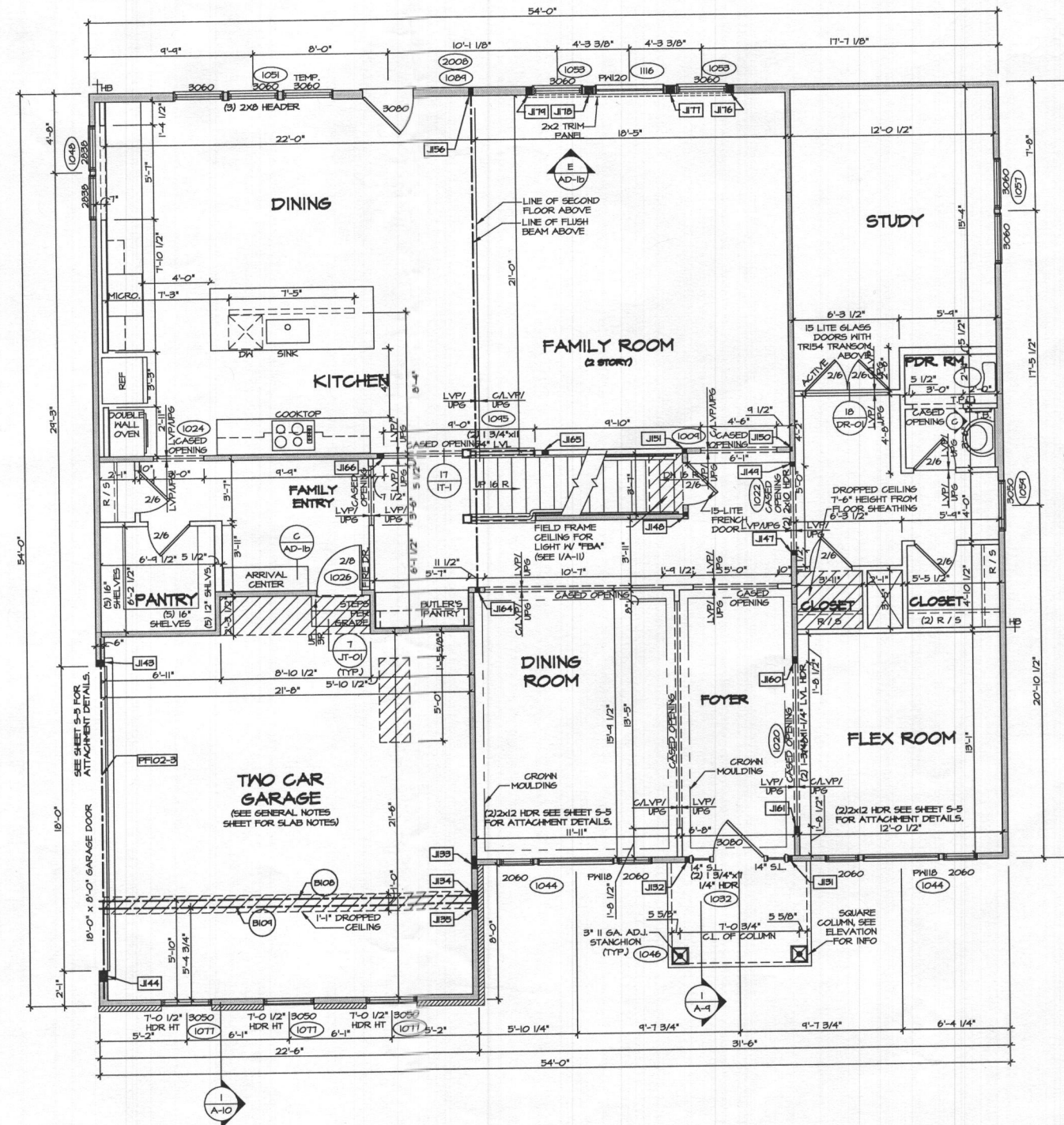
1
A-7
FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FOR NOTES AND SCHEDULES SEE PAGE A-7b

MODEL STRATFORD HALL	SET NO. 11900	SET NO. 11900	DIV.-COMM-LOT-UNIT	MDE-IN-0030
	VERSION 01	VERSION 01	COMM-LOT	
DRAWN BY BIM	DATE:	DATE:	STREET ADDRESS	APT. NO.
OPTION	OPTION	OPTION	12299 MAYAPPLE DRIVE	---
			CITY	STATE
			STYRESVILLE	MD
			ZIP	21104

NVR, Inc., expressly reserves the right to make changes to these plans at any time without notice. These plans are not to be used for construction without the written consent of NVR, Inc.



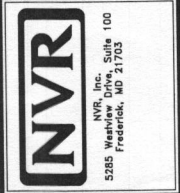


1
A-7 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FOR NOTES AND SCHEDULES SEE PAGE A-7b

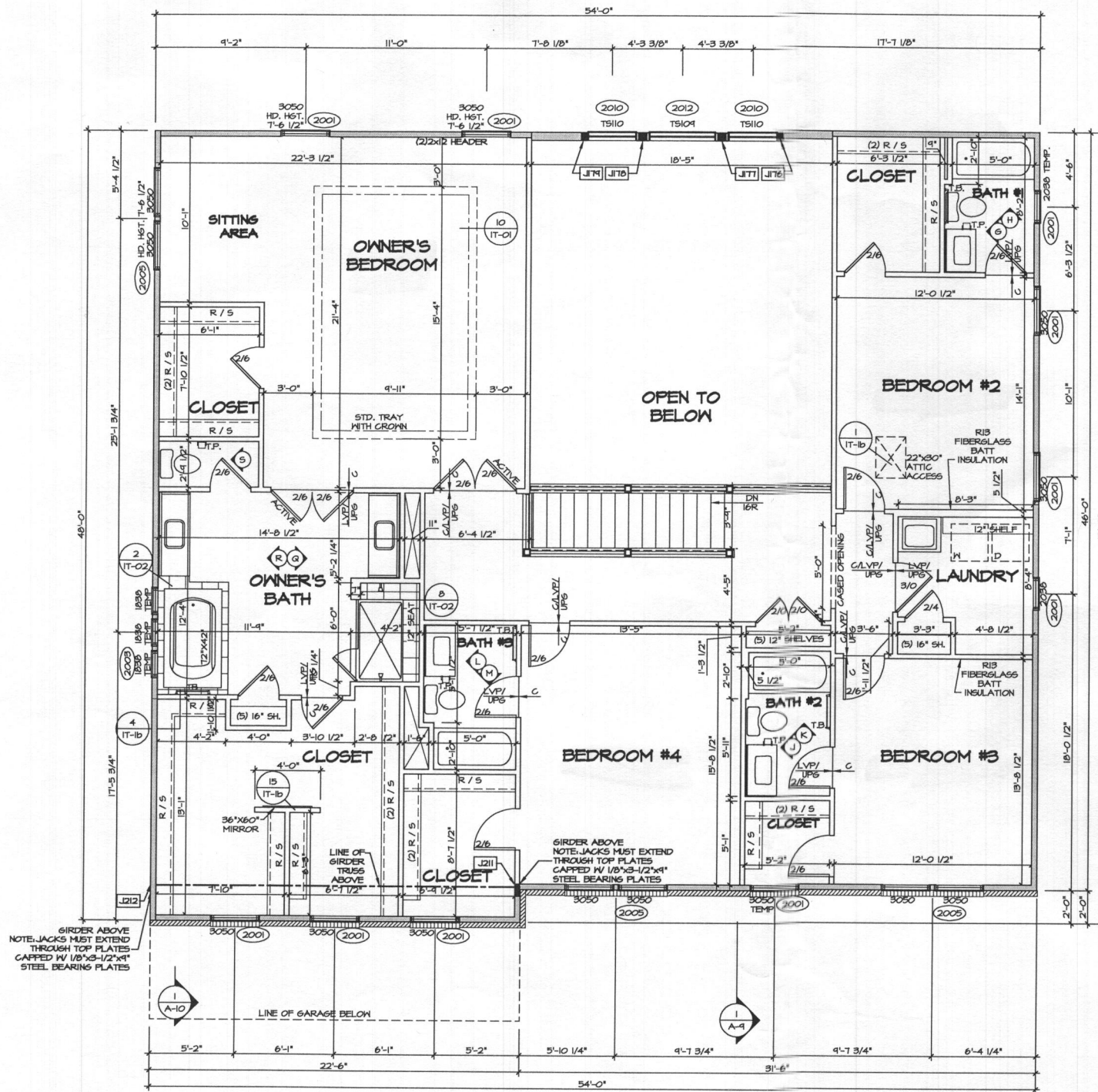
BY: COMM-L0T-UNIT
MDE-IW-0030
 COMM-L0T
 WALKER MEADOWS - 0030
 STREET ADDRESS
 12299 MAYAPPLE DRIVE
 CITY
 STYKESVILLE
 STATE
 MD
 ZIP
 21104

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SET NO. 11900
 VERSION 01
 DRAWN BY BIM
 DATE:
 OPTION

MODEL
STRATFORD HALL
 DRAWING TITLE
FIRST FLOOR PLAN
 OPTION DESCRIPTION
A-7
 29



1 SECOND FLOOR PLAN
A-B SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

1. ALL HEADERS ARE (2) 2x6 W/ 2x4 WALLS OR (3) 2x6 W/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
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6. SEE STANDARD DETAIL CATEGORY "IT" SHEETS(S) FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET "AD" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE T-O 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL CASED OPENINGS AT T-11, UNLESS OTHERWISE NOTED.

LEGEND

- BEARING WALL
 - NON BEARING WALL
 - INDICATES BEARINGS FROM POINT-LOAD ABOVE
 - JACKS
 - BEAMHEADER
 - PAD FOOTING
 - STEEL COLUMN
 - PORTAL FRAME
 - JOIST/TRUSS
 - LVL
 - ENGINEERING PAGE NUMBER
- SEE FC DETAILS FOR FRAMING CONNECTORS

SECOND FLOOR JACK SCHEDULE				
IDENTIFIER	DESCRIPTION	OPTIONS	ENS. NUM.	REMARKS
J176	JACK - (3) 2X6 SFF #2		2014	FULL HEIGHT STUDS
J177	JACK - (4) 2X6 SFF #2		2015	FULL HEIGHT STUDS
J178	JACK - (4) 2X6 SFF #2		2015	FULL HEIGHT STUDS
J179	JACK - (3) 2X6 SFF #2		2014	FULL HEIGHT STUDS
J211	JACK - (6) 2X4 SFF #1		2008	
J212	JACK - (6) 2X4 SFF #1		2008	

4/ - Bedrooms

OK

DIV-COMM-LOT-UNIT
MDE-1W-0030

CONTRACTOR
MALKER MEADOWS - 0030
STREET ADDRESS
12289 MAYAPPLE DRIVE
CITY
SYKESVILLE

STATE
MD

ZIP
21084

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NVR, Inc.
5285 Westview Drive, Suite 100
Frederick, MD 21703

SET NO. 11400
VERSION 01

DRAWN BY BIM

DATE:

OPTION

MODEL
STRATFORD HALL
DRAWING TITLE
SECOND FLOOR PLAN

SHEET NO.
A-8

OPTION DESCRIPTION
32.1