

SEP 21 2020

PERMIT NUMBER: B 20003291

DATE ACCEPTED:

LICENSES & PERMITS

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov

BUILDING SITE ADDRESS REQUIRED

Street Address: 7414 Haven Court, Unit:
City: Highland, State: MD, Zip Code: 20777
Subdivision/Village/Complex Name: Estates at Shady Mill, SDP/WP/BA #:
Lot: 2, Tax Map: 40, Parcel:
Grading Permit #: GP-21-010

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant Lot, Proposed Use: Single Family Home, Estimated Cost: \$ 740,932
Trade Work to Be Completed (Separate Permits Required): Mechanical (HVACR), Electrical, Plumbing, None
2 STORY SFD - SEE A-S-1.

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): Williamsburg Group LLC, Primary Residence: No
Owner's Street Address: 5485 Harris Farm Rd #200
City: Columbia, State: MD, Zip Code: 21044
Phone: 410-997-8900, Email: mac@williamsburgllc.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Same as above, Contact Name:
Street Address:
City:
State:
Zip Code:
Phone:
Email:

CONTRACTOR INFORMATION REQUIRED

Business Name: Same as above
Licensee's Name:
License #: 155
Street Address:
City:
State:
Zip Code:
Phone:
Email:

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:
Name:
Street Address:
City:
State:
Zip Code:
Phone:
Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling, Condo: No
Utilities: Electric, Gas, Water Supply: Private (Well), Sewage Disposal: Private (Septic)
Heating System: Electric, Natural Gas, Propane, Other:
Roadside Tree Project: No, Yes: #
Sprinkler System: NFPA 13D, Fire Alarm System: No, Voice Evac

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: R414/1000
of Bedrooms (SF): 5, # of efficiency units (MF*):
of 1 BR (MF*):, # of 2 BR (MF*):, # of 3 BR (MF*):
Rooms: 14, # Full Baths: 5, # Half Baths: 1, # Fireplaces: 1
Garage/Carport Info: Attached Garage
Basement/Foundation Info: Unfinished Basement
1st Fl Width: 50, 1st Fl Depth: 77, 2nd Fl Width: 90, 2nd Fl Depth: 61, Bsmt Width: 50, Bsmt Depth: 77
Energy Method: UA Alternative, Gross Area: 11,289 sq ft, Occupiable Area: 11,203 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: [Signature], DATE SIGNED: 9/21/20

FOR OFFICE USE ONLY

CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR, DPZ, DED, Health, SHA, CID
SUBMITTAL FEES: 100, PAYMENT: 17770, ACCEPTED BY: [Signature]

The Rutledge

Williamsburg Group, LLC
5485 Harpers Farm Rd. #200
Columbia, MD 21044
(410) 997- 8800

B20003291

HEALTH DEPT

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PROJECT DATA	
CONSTRUCTION:	
GROUND FLOOR	CONCRETE
FIRST FLOOR	WOOD
SECOND FLOOR	WOOD
ROOF	WOOD
WALLS	WOOD
BUILDING AREA SQ. FT.	INCLUDED:
RUTLEDGE ELEVATION 1, 4, 5, 6	
FIRST FLOOR CONDITIONED	2780
SECOND FLOOR CONDITIONED	2525
UNFINISHED BASEMENT	2780
OPT. FIN. BASEMENT	1685
GARAGE	715
RUTLEDGE ELEVATION 2	
FIRST FLOOR CONDITIONED	2894
SECOND FLOOR CONDITIONED	2609
UNFINISHED BASEMENT	2804
OPT. FIN. BASEMENT	1685
GARAGE	715
RUTLEDGE ELEVATION 3	
FIRST FLOOR CONDITIONED	2843
SECOND FLOOR CONDITIONED	2580
UNFINISHED BASEMENT	2843
OPT. FIN. BASEMENT	1685
GARAGE	715
OPTIONS	
PORCHES:	
ELEV. 1A, 4, 6	94
ELEV. 1B	560
ELEV. 2	85
ELEV. 3	170
ELEV. 5	93
SECOND FLOOR FAMILY RM.	420
TWO STORY CONSERVATORY:	
BASEMENT	325
FIRST FL.	325
SECOND FL.	525
MORNING RM.:	
BASEMENT	288
FIRST FL.	288
CONSERVATORY:	
BASEMENT	340
FIRST FL.	340
DETACHED GARAGE	379
BREEZEWAY	48
TOTAL CONDITIONED SPACE	
TOTAL GROSS SPACE	

PROJECT DESIGN CRITERIA		
THE FOLLOWING STANDARDS ARE BASED ON THE GENERAL REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) 2018 EDITION FOR ONE AND TWO FAMILY DWELLINGS ALL STATE AND LOCAL AMENDMENTS, CONSTRUCTION CLASSIFICATION TYPE 3B (UNPROTECTED) USE GROUP R3		
2018 IECC CODE COMPLIANCE	BUILDING DATA	
CODE SECTION	STANDARD (MINIMUM)	CLIMATE & GEOGRAPHIC DESIGN CRITERIA
R301.1 CLIMATE ZONE	4A	FLOOR LIVE LOAD 40 PSF
R401.2 COMPLIANCE METHOD	MANDATORY AND PRESCRIPTIVE PROVISIONS	ROOF LIVE LOAD 40 PSF
R402.1 WATER RESISTANCE	WALL ASSEMBLIES IN THE THERMAL ENVELOPE SHALL COMPLY WITH WATER RESISTANCE REQUIREMENTS OF SECTION 702.2 OF THE IRC 2018. R-48, R-35 WILL SATISFY THE REQUIREMENT IF FULL OVER-THE-TOE PLATE & BAYS (REQUIRED RAISED FLOOR TRUSS) R-25 OR R-19 CONTINUOUS INSULATION.	WIND SPEED ultimate 15 MPH (EXPOSE C)
R402.12 ATTIC INSULATION	R-48, R-35 WILL SATISFY THE REQUIREMENT IF FULL OVER-THE-TOE PLATE & BAYS (REQUIRED RAISED FLOOR TRUSS) R-25 OR R-19 CONTINUOUS INSULATION.	ATTIC W/ STORAGE 30 PSF
R402.12.2 WOOD FRAME WALL	R-13 FOR R-13 CONTINUOUS INSULATION.	ATTIC W/ STORAGE 30 PSF
R402.12.2.1 BASEMENT WALL INSULATION	R-10 FOR R-10 CONTINUOUS INSULATION UNINTERRUPTED BATH FULL.	HABITABLE ATTICS 40 PSF
R402.12.2.2 CRAWL SPACE WALL INSULATION	R-10 FOR R-10 CONTINUOUS INSULATION FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0" R-10 BATT INSULATION.	STAIRS 40 PSF
R402.12.2.3 FLOOR INSULATION OVER UNCONDITIONED SPACE	R-10 FOR R-10 CONTINUOUS INSULATION FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0" R-10 BATT INSULATION.	DECK & BALCONY (EXT.) 40 PSF
R402.12.2.4 WINDOW U-VALUE SHED	0.30 (U-VALUE) & 0.40 (SHGC)	GLAZING (WINDOWS) 2018 (ZONE 1)
R402.12.2.5 GLAS ON GRADE FLOORS LESS THAN 1/2" BELOW GRADE	R-10 FOR R-10 CONTINUOUS INSULATION FULL HEIGHT EXTENDING FROM FLOOR ABOVE TO FINISH GRADE LEVEL AND THEN VERTICALLY OR HORIZONTALLY AN ADDITIONAL 2'-0" R-10 BATT INSULATION.	9' LIGHT FRAME STRUCTURAL W/ SHEAR WALLS
R402.24 ATTIC ACCESS	ATTIC ACCESS SCHEDULE WILL BE WEATHER STRIPPED AND INSULATED R-48	CONCRETE WEATHERING TERMITE
R402.4.1.2 BUILDING THERMAL ENVELOPE (AIR LEAKAGE)	EXTERIOR WALLS AND PENETRATIONS WILL BE SEALED PER THIS SECTION OF THE 2018 IECC WITH CALK, GASKETS, WEATHER STRIPPING OR AN AIR BARRIER OR SUITABLE MATERIAL.	MOISTURE CATEGORY 3
R402.4.1.2.2 BUILDING ENVELOPE TEST OPTION	BUILDING ENVELOPE SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE OF NOT EXCEEDING 3 AIR CHANGES PER HOUR TESTING SHALL BE CONDUCTED IN ACCORDANCE WITH ASTM E 2179 OR ASTM E 1827 W/ BLOWER DOOR AT A PRESSURE OF 2 INCHES W.G. TESTING SHALL BE CONDUCTED BY AN APPROVED THIRD PARTY.	CONCRETE WEATHERING TERMITE
R402.4.2 FIREPLACES	NEW WOOD-BURNING FIREPLACES SHALL HAVE TIGHT FITTING FULL DAMPERS AND OUTDOOR COMBUSTION AIR	DOCKY PROBABILITY MODERATE
R402.4.4 FUEL BURNING APPLIANCES	ROOMS CONTAINING FUEL BURNING APPLIANCES WHERE OPEN COMBUSTION AIR DUCTS PROVIDE COMBUSTION AIR TO OPEN COMBUSTION AIR BURNING APPLIANCES THE APPLIANCES AND COMBUSTION AIR SHALL BE LOCATED OUTSIDE THE BUILDING THERMAL ENVELOPE OR ENCLOSED IN A ROOM ISOLATED FROM INSIDE THE THERMAL ENVELOPE EXCEPTS: 1. DIRECT VENT APPLIANCES WITH BOTH INTAKE AND EXHAUST PIPES INSTALLED CONTINUOUS TO THE OUTSIDE. FIREPLACES AND STOVES COMPLYING WITH SECTION 702.2.2 AND SECTION 7006 OF THE IRC. 2. RECESSED LUMINAIRES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE SEALED TO LIMIT AIR LEAKAGE.	ICE INSURANCEMENT YES
R402.4.5 RECESSED LIGHTING	ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPERATE HEATING AND COOLING SYSTEM.	ROOF DEPTH 3"
R402.11 THERMOSTAT	ALL DWELLING UNITS WILL HAVE AT LEAST (1) PROGRAMMABLE THERMOSTAT FOR EACH SEPERATE HEATING AND COOLING SYSTEM.	NOTE: MINIMUM VALUES SHOWN - CONFIRM WITH LOCAL CODES ORIGINAL PRIOR TO CONSTRUCTION.
R402.12.2 HEAT PUMP SUPPLEMENTARY HEAT	WHEN A HEAT PUMP SYSTEM HAS SUPPLEMENTARY ELECTRIC RESISTANCE HEAT IS USED THE THERMOSTAT SHALL PREVENT THE HEAT FROM COMING ON WHEN HEAT PUMP CAN MEET HEATING LOAD.	GENERAL NOTES AND ACKNOWLEDGED AND SHALL BE ADHERED TO DURING THE CONSTRUCTION.
R402.3.1 MECHANICAL DUCT INSULATION	SUPPLY & RETURN DUCTS IN ATTIC R-2 MIN SUPPLY DUCTS OUTSIDE OF CONDITIONED SPACE R-6 MIN ALL OTHER DUCTS EXCEPT THOSE LOCATED UNDER CONCRETE SLABS MUST BE R-6 MIN.	MEC NOTES
R402.3.2 DUCT SEALING	ALL DUCTS, AIR HANDLERS AND FILTER BOXES WILL BE SEALED. JOINTS AND SEAMS WILL COMPLY WITH SECTION 1603.4.1 OF THE IRC.	1. ALL WORK INCLUDES ALL STRUCTURAL, HVAC, ELECTRICAL AND OTHER SHALL BE PERFORMED IN ACCORDANCE WITH ALL APPLICABLE NATIONAL, STATE AND LOCAL CODES AND REGULATIONS.
R402.6 MECHANICAL VENTILATION	OUTDOOR AIR WILL BE BROUGHT INTO THE HOME THRU A DUCT WITH AN AUTOMATIC OR GRAVITY DAMPER TO COMPLY WITH TABLE R402.6.1.	2. CONTRACTOR TO VERIFY AND CORRECT ALL THE CONDITIONS AND DIMENSIONS AT THE SITE BEFORE BEGINNING OF CONSTRUCTION ANY DISCREPANCIES SHALL BE REPORTED TO ARCHITECTURE GROUP IMMEDIATELY.
R402.6.1 WHOLE HOUSE MECH VENT SYSTEM EFFICIENCY	SHALL COMPLY WITH R402.7	3. ALL PRE-ENGINEERED MATERIALS, EQUIPMENT, FIXTURES AND LIG SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS AND REQUIREMENTS.
R402.7 EQUIPMENT SEALS	A MIN. OF 30% OF ALL UNITS MUST BE HIGH-EFFICIENCY UNITS. MIN EFFICIENCY ESTABLISHED BY ASHRAE.	4. PRE-ENGINEERED WOOD ROOF TRUSSES AND FLOOR JOISTS SHALL BE DESIGNED FOR THE LOAD INDICATED BY A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF MARYLAND. SHOP DRAWINGS SHALL BE SUBMITTED TO THE COUNTY PLAN REVIEWER FOR APPROVAL PRIOR TO FABRICATION.
R402.8 LIGHTING EQUIPMENT	ALL MECH. TESTING TO BE PERFORMED BY APPROVED THIRD PARTY. THE CONTRACTOR IS ALSO RESPONSIBLE FOR GENERATING COORDINATE OF COMPLIANCE AND AFFRINS TO ELECTRICAL, HVAC.	

REVISED 10/19

Plymouth Road Architects

640 Plymouth Road, Catonsville, MD 21229 410-788-0281

DATE: 5/15

SCALE:

DRAWN: TIM

DRAWING: COVER PAGE

PROJECT: WILLIAMSBURG GROUP THE RUTLEDGE ESTATE HOME

1067 RE

Project No.

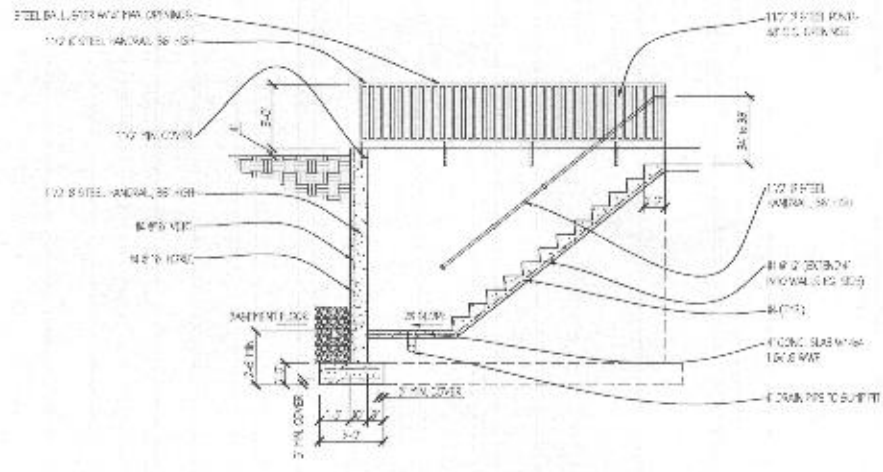
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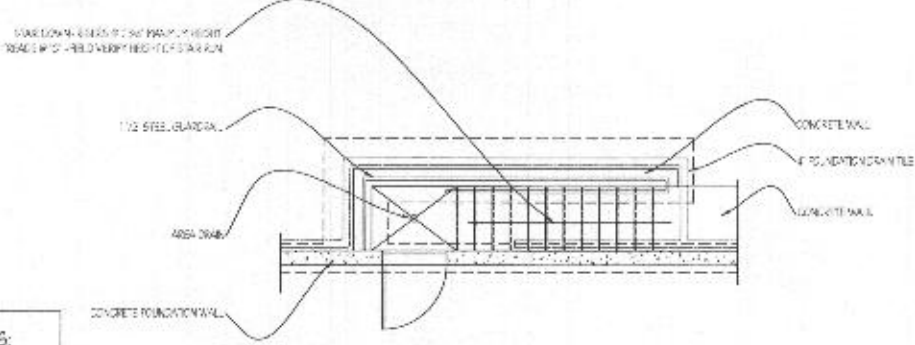
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Estates at Schooley Mill Lot 2

7414 Haven Court, Highland, MD 20777



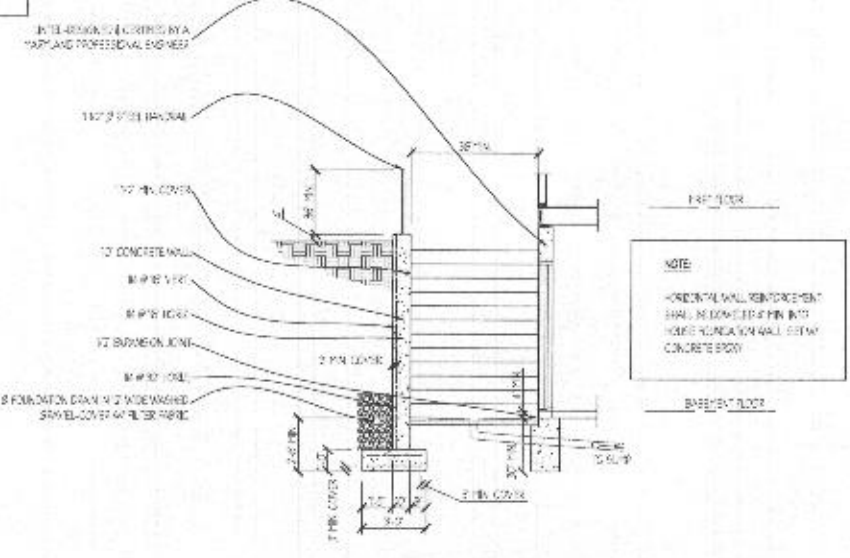
LONGITUDINAL SECTION-AREAWAY STAR



AREA FLOOR PLAN

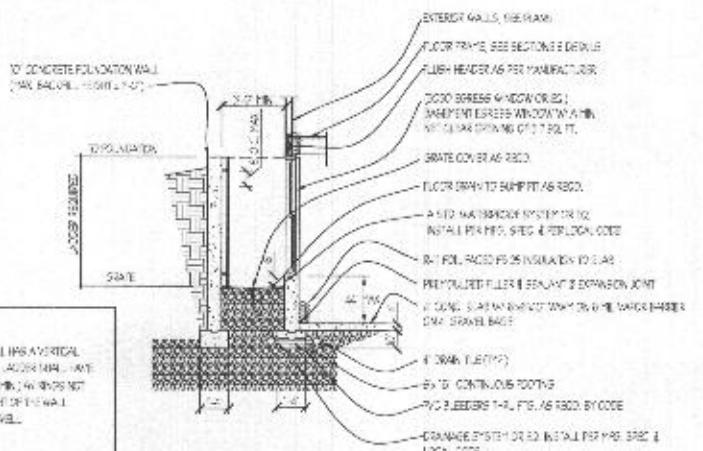
BASEMENT AREAWAY/DRAIN NOTES:

1. THE AREAWAY STAR JAVING SHALL BE AT LEAST 4" BELOW THE INTERIOR FLOOR SLAB AND MUST BE DRAIN TO AN APPROVED GENERAL PURPOSE AREA DRAIN.
2. THE GENERAL PURPOSE DRAIN SHALL HAVE AN INLET OF STRAINERS WITH A MINIMUM 1/4" GAPS BETWEEN GAPS AND A MINIMUM FREE CUL-TO-FL.
3. THE DRAIN SHALL HAVE A STRAINER, LID OR BODY THAT PROVIDES ACCESSIBILITY FOR MAINTENANCE OF DRAIN BODY AND PIPE.
4. THE AREA DRAIN SHALL BE CONNECTED TO A RIGID NEWLY-INSTALLED DRAIN OR TO AN EXISTING RIGID DRAIN OR A DAY-LIGHTED EXTERIOR DRAIN.
5. THE RIGID PIPE SHALL NOT BE CONNECTED TO THE INTERIOR OR EXTERIOR FOUNDATION DRAIN OR DRAIN TILE.
6. THE PIPE SHALL BE SLOPED WHERE IT PASSES THROUGH THE FOUNDATION WALL OR FOOTING PROTECTED FOOTING.
7. THE GENERAL PURPOSE DRAIN, INLET AND RIGID PIPE MAY BE SUBSTITUTED BY 1/2" DIA. PVC, 1/2" DIA. RIB. OR EQUIVALENT APPROVED RIGID PIPE.



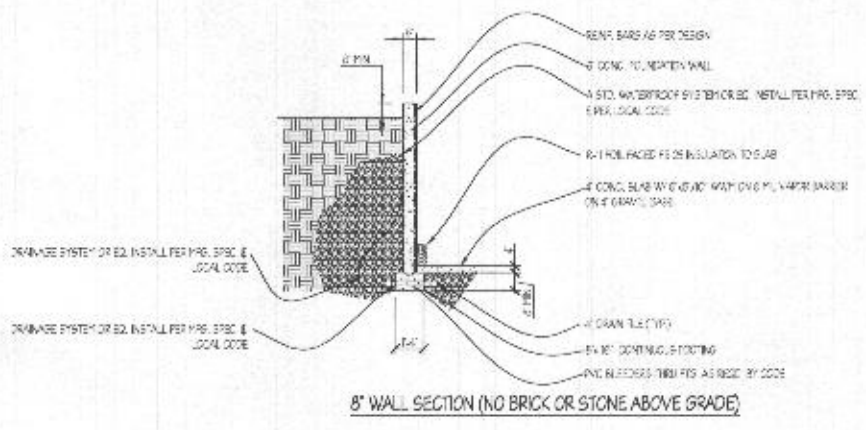
CROSS SECTION-AREAWAY

NOTE:
HORIZONTAL WALL REINFORCEMENT SHALL BE LOCATED 4" MIN. FROM TOP OF FOUNDATION WALL SETWAY CONCRETE BODY.

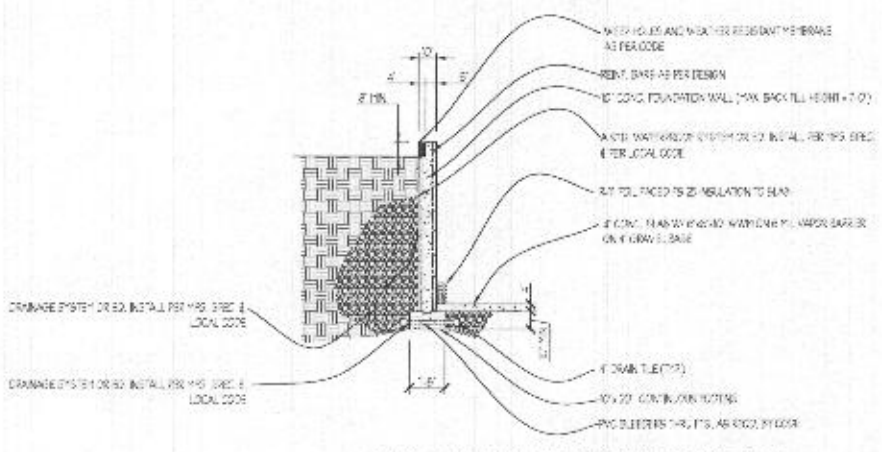


WINDOW WELL DETAIL

NOTE:
ACCESS TO BE PROVIDED TO WINDOW WELLS HAS A VERTICAL DEPTH GREATER THAN 4" BELOW GRADE. THE ACCESS SHALL HAVE AN INSIDE DIMENSION OF NOT LESS THAN 18" MIN. AND NOT MORE THAN 18" DIA. VERT. FOR THE FULL HEIGHT OF THE WALL PORTION LOCATED ON SIDE WALL, UNLESS WELL.



8" WALL SECTION (NO BRICK OR STONE ABOVE GRADE)



10" WALL SECTION (TO SUPPORT BRICK OR STONE VENEER ABOVE GRADE)

DATE	REVISION	BY	DATE	REVISION	BY
	1. CHANGE TO FIG. NO. 1				

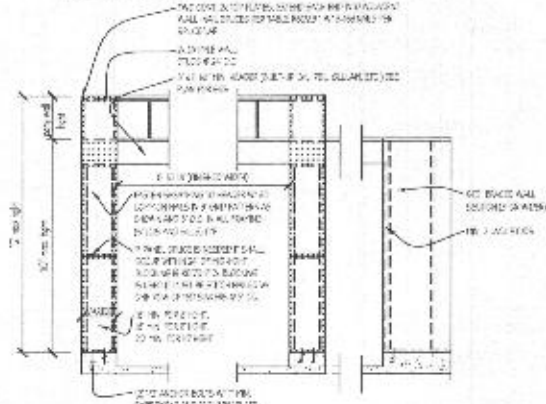
Date: 5/15
Scale: 1/4" = 1'-0"
Drawn: TTM

Drawing: **WILLIAMSBURG GROUP**
Project: **THE RUTLEDGE ESTATE HOME**

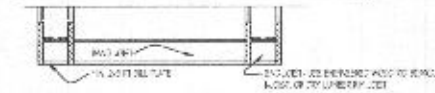
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INTERIOR ELEVATION

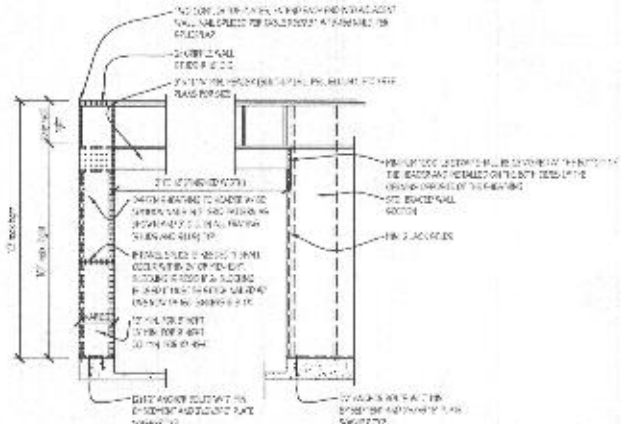


TWO SIDED NARROW WALL PORTAL FRAME EXTERIOR ELEV. DIRECT TO FOUNDATION



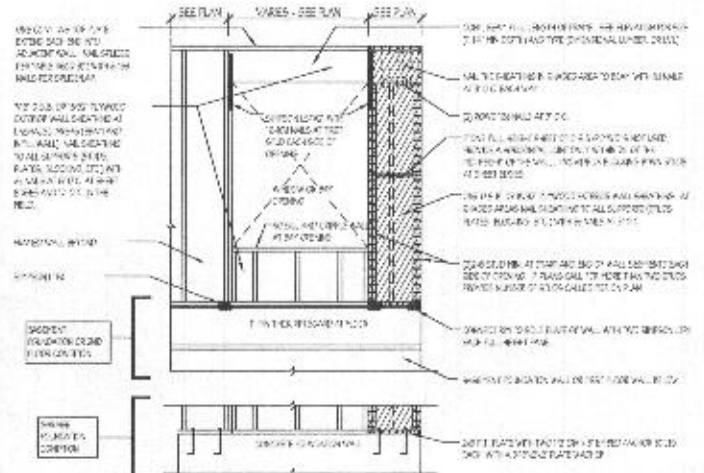
EXTERIOR ELEV. OVER RAISED FLOOR

NARROW WALL PORTAL DETAILS - TYPE 1



ONE SIDE PORTAL FRAME FOR SEISMIC DESIGN A, B AND C AT GARAGE

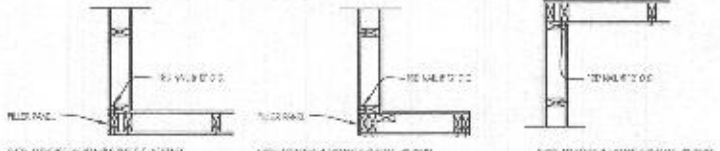
NARROW WALL PORTAL DETAILS - TYPE 2



ONE SIDED PORTAL FRAME DETAIL AT WINDOW OR BAY OPENING

NARROW WALL BRACING DETAILS

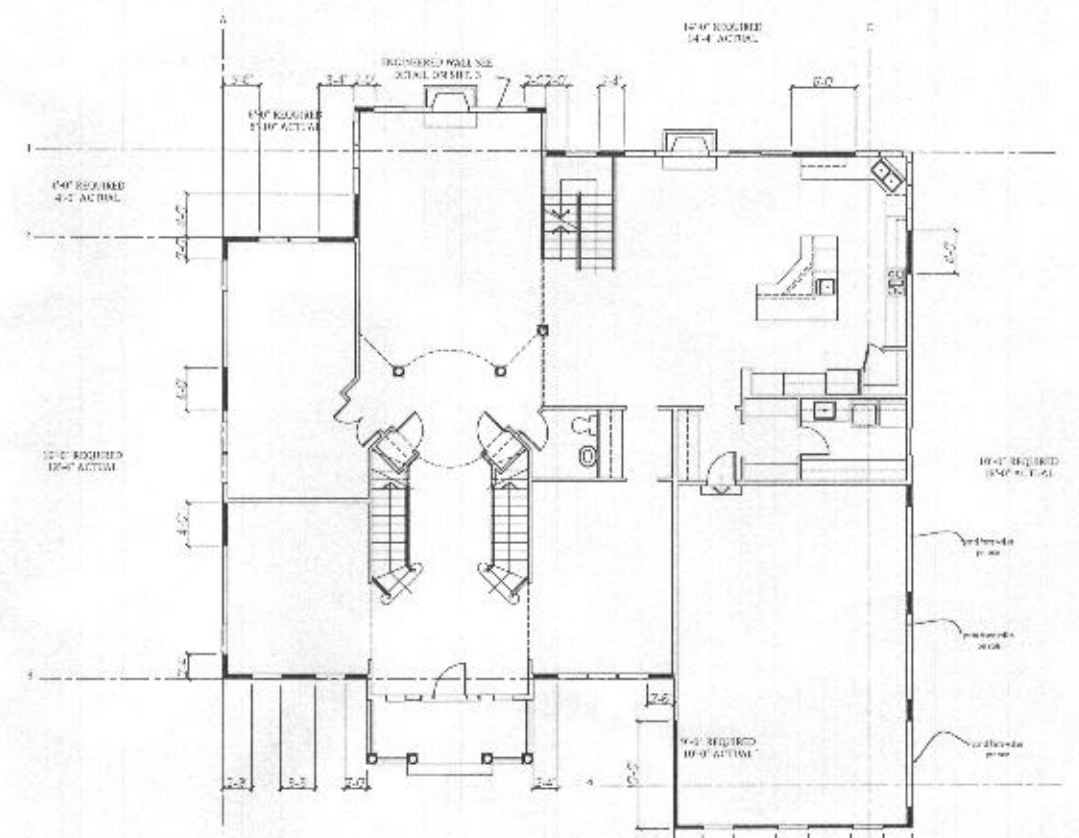
SEE NOTES FOR BRACING DETAILS TO BE USED IN CONJUNCTION WITH THIS DRAWING. SEE ALSO SECTION 05100 FOR BRACING DETAILS TO BE USED IN CONJUNCTION WITH THIS DRAWING.



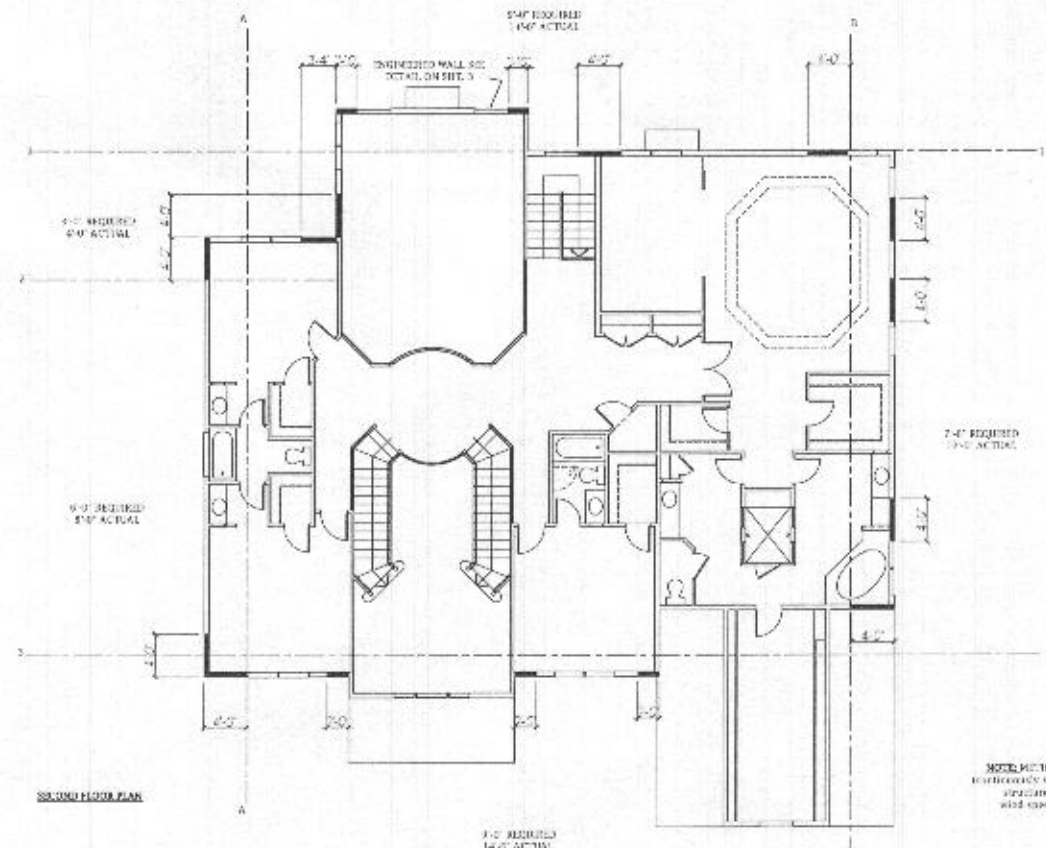
OUTSIDE CORNER DETAIL not to scale
GARAGE CORNER DETAIL not to scale
INSIDE CORNER DETAIL not to scale

SECTION	DESCRIPTION	NOTES
0100	CONCRETE	CONCRETE SHALL BE 4000 PSI STRENGTH.
0200	STEEL	STEEL SHALL BE A36 OR A572 GR 50.
0300	WOOD	WOOD SHALL BE SYPHUM OR EQUIVALENT.
0400	GLASS	GLASS SHALL BE 1/2" THICK CLEAR GLASS.
0500	BRACING	BRACING SHALL BE 2x4 LGS WITH 1/2" BOLTS.
0600	FINISHES	FINISHES SHALL BE AS SHOWN ON SCHEDULES.
0700	MECHANICAL	MECHANICAL SHALL BE AS SHOWN ON SCHEDULES.
0800	ELECTRICAL	ELECTRICAL SHALL BE AS SHOWN ON SCHEDULES.
0900	PAINTS	PAINTS SHALL BE AS SHOWN ON SCHEDULES.
1000	GENERAL	GENERAL SHALL BE AS SHOWN ON SCHEDULES.

1. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
2. FINISHES SHALL BE AS SHOWN ON SCHEDULES.
3. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
4. FINISHES SHALL BE AS SHOWN ON SCHEDULES.
5. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



FIRST FLOOR PLAN



SECOND FLOOR PLAN

NOTE: SEE SECTION 05100 FOR BRACING DETAILS TO BE USED IN CONJUNCTION WITH THIS DRAWING.

NOTE: SEE SECTION 05100 FOR BRACING DETAILS TO BE USED IN CONJUNCTION WITH THIS DRAWING.

REVISED 10/19

DATE	REVISION

Date: 5/15
 Scale: N.A.
 Drawn: LIM

Drawing: SILEAR WALL DETAILS
 Project: WILLIAMSBURG GROUP
 THE RUTLEDGE ESTATE HOME

1067 RE
 Project No.



