

see pg. A-9d

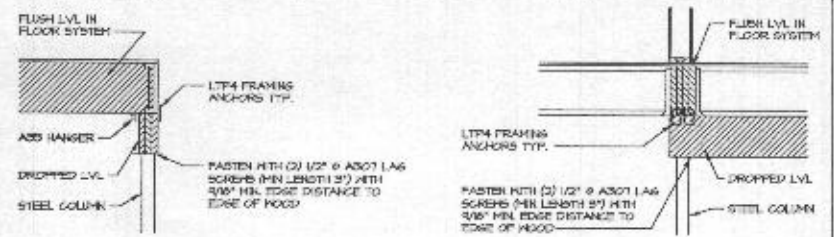
see pg. A-9c

- NOTES:**
1. ALL HEADERS ARE ON 2x6 UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6\"/>
- NOTE:**
- SEE SHEET 5-6 FOR DRAGED WALL PANEL LOCATIONS

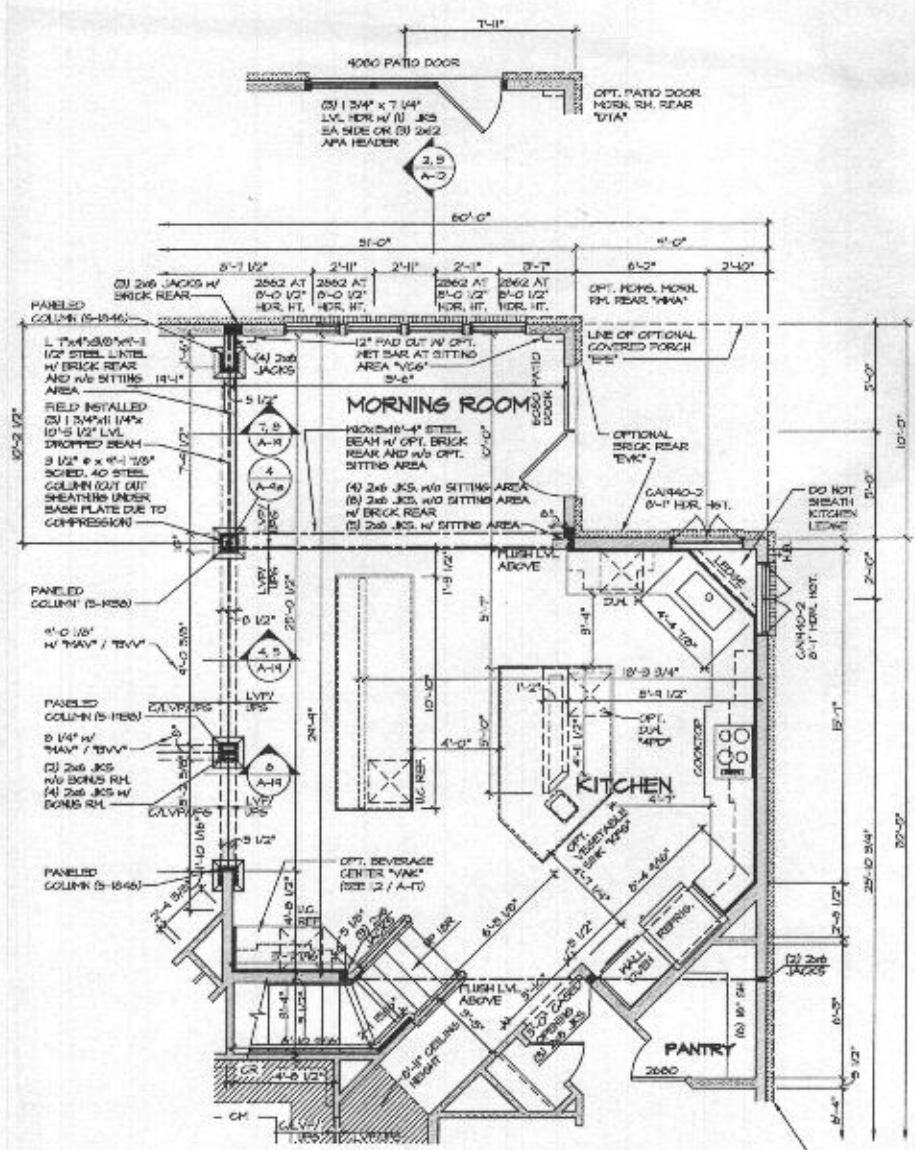
REV.	NO.	DATE	DESCRIPTION
01	00000		ISSUED FOR PERMITS
02	00000		ISSUED FOR PERMITS
03	00000		ISSUED FOR PERMITS
04	00000		ISSUED FOR PERMITS
05	00000		ISSUED FOR PERMITS
06	00000		ISSUED FOR PERMITS
07	00000		ISSUED FOR PERMITS
08	00000		ISSUED FOR PERMITS
09	00000		ISSUED FOR PERMITS
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12	00000		ISSUED FOR PERMITS
13	00000		ISSUED FOR PERMITS
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15	00000		ISSUED FOR PERMITS
16	00000		ISSUED FOR PERMITS
17	00000		ISSUED FOR PERMITS
18	00000		ISSUED FOR PERMITS
19	00000		ISSUED FOR PERMITS
20	00000		ISSUED FOR PERMITS

<p>NVR</p> <p>NVR, INC. ARCHITECTS & ENGINEERS</p> <p>1111 N. W. 10th Ave.</p> <p>Fort Lauderdale, FL 33304</p>	<p>SET NO. 00000</p> <p>VERSION 01</p> <p>DRAWN BY AJH</p> <p>DATE 12/1/12</p> <p>OPTION</p>
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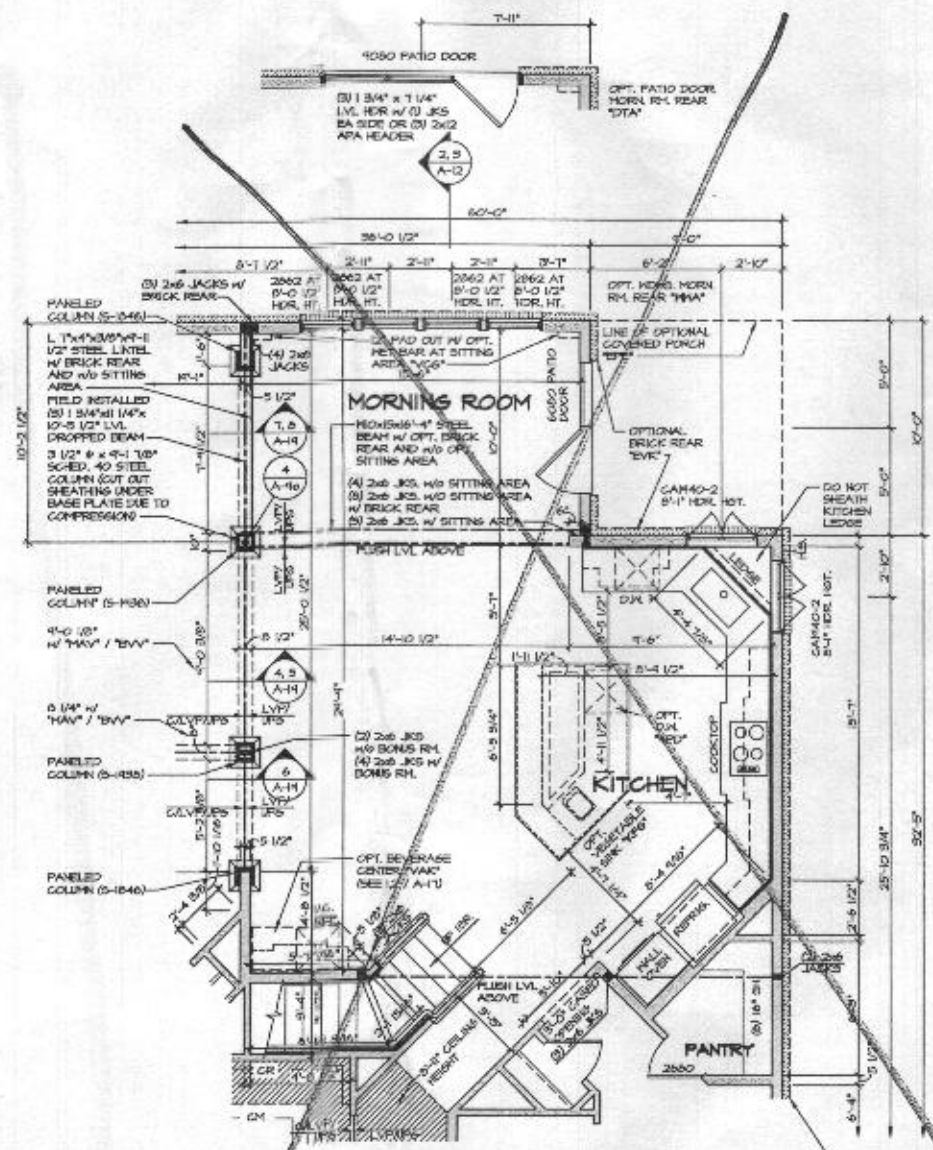
<p>MODEL</p> <p>CLIFTON PARK II</p> <p>DRAWING TITLE</p> <p>FIRST FLOOR PLAN</p>	<p>SHEET NO.</p> <p>A-9</p> <p>47</p>
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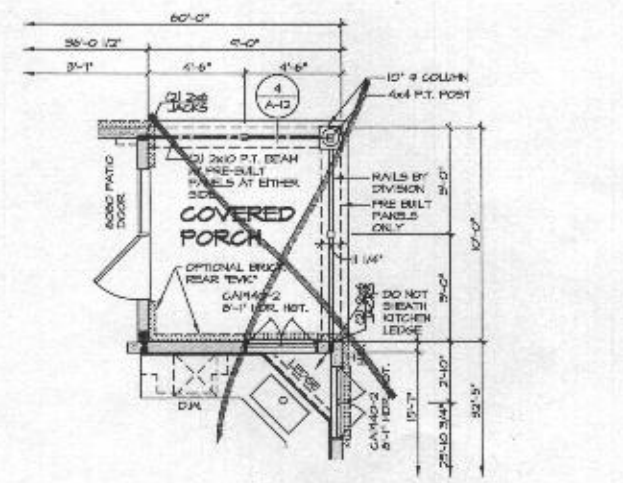
4 ATTACHMENT DETAIL
SCALE 1/2" = 1'-0"



2 PARTIAL FLOOR PLAN
SCALE 1/4" = 1'-0"
MORNING ROOM w/ COUNTER ISLAND AND PANTRY



1 PARTIAL FLOOR PLAN
SCALE 1/4" = 1'-0"
MORNING ROOM PANTRY



3 PARTIAL FLOOR PLAN
SCALE 1/4" = 1'-0"
COVERED PORCH
NOTE: ONLY AVAILABLE w/ PANTRY

NOTE:
1. PARTIAL PLANS SHOWN w/ ELEVATION "A". SEE SHEET A-1 AND A-2 FOR ADDITIONAL INFORMATION. MATCH VENEER ACCORDING TO SELECTED ELEVATION.

NOTES:
1. ALL READERS ARE TO 2x6, UNLESS OTHERWISE NOTED.
2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
3. ALL INTERIOR WALLS ARE 5 1/2" UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILING.
5. ALL GATED OPENINGS AT 1'-11" UNLESS OTHERWISE NOTED.
6. HALLS ARE ALWAYS ON THE LEFT FOR PLAN OR REVERSE PLAN (WHERE APPLICABLE).

NOTE:
SEE SHEET 5-6 FOR BRACED WALL PANEL LOCATIONS

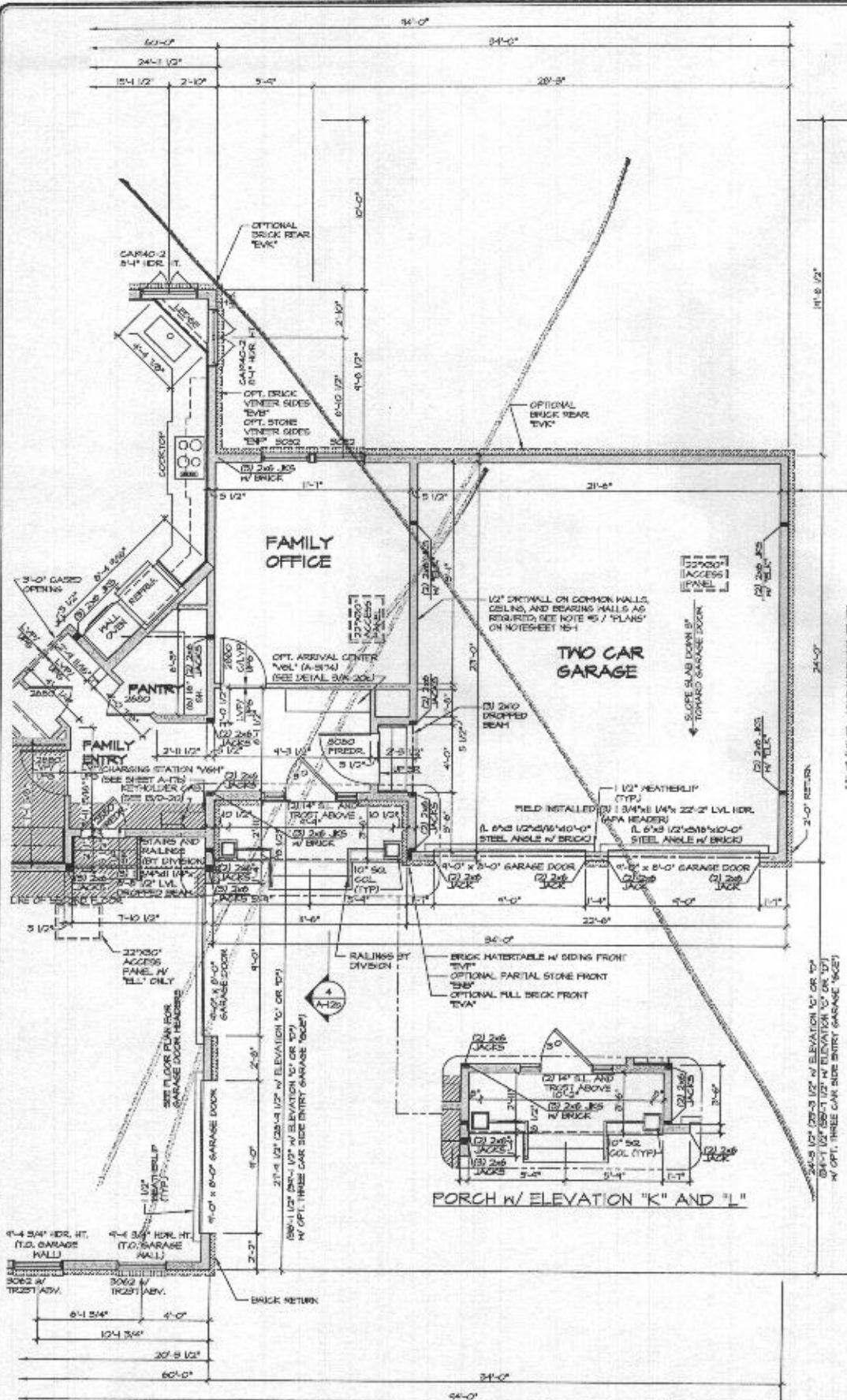
REV. NO.	DATE	DESCRIPTION
1	10/24/14	ISSUED FOR PERMIT
2	10/24/14	ADDED ATTACHMENT DETAIL OF A-3 (PANEL 2) (2060)
3	10/24/14	ISSUED FOR PERMIT
4	10/24/14	ISSUED FOR PERMIT
5	10/24/14	ISSUED FOR PERMIT
6	10/24/14	ISSUED FOR PERMIT
7	10/24/14	ISSUED FOR PERMIT
8	10/24/14	ISSUED FOR PERMIT
9	10/24/14	ISSUED FOR PERMIT
10	10/24/14	ISSUED FOR PERMIT

THIS PLAN WAS PREPARED BY NVR IN ACCORDANCE WITH THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE INTERNATIONAL BUILDING CODE (IBC). THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR VERIFYING THE ACCURACY OF ALL INFORMATION PROVIDED TO NVR. NVR DOES NOT WARRANT THE ACCURACY OF THIS PLAN FOR ANY OTHER PURPOSES.



SET NO. 10000
VERSION 01
DRAWN BY AJH
DATE: 1/4/15
OFFICE: MAA

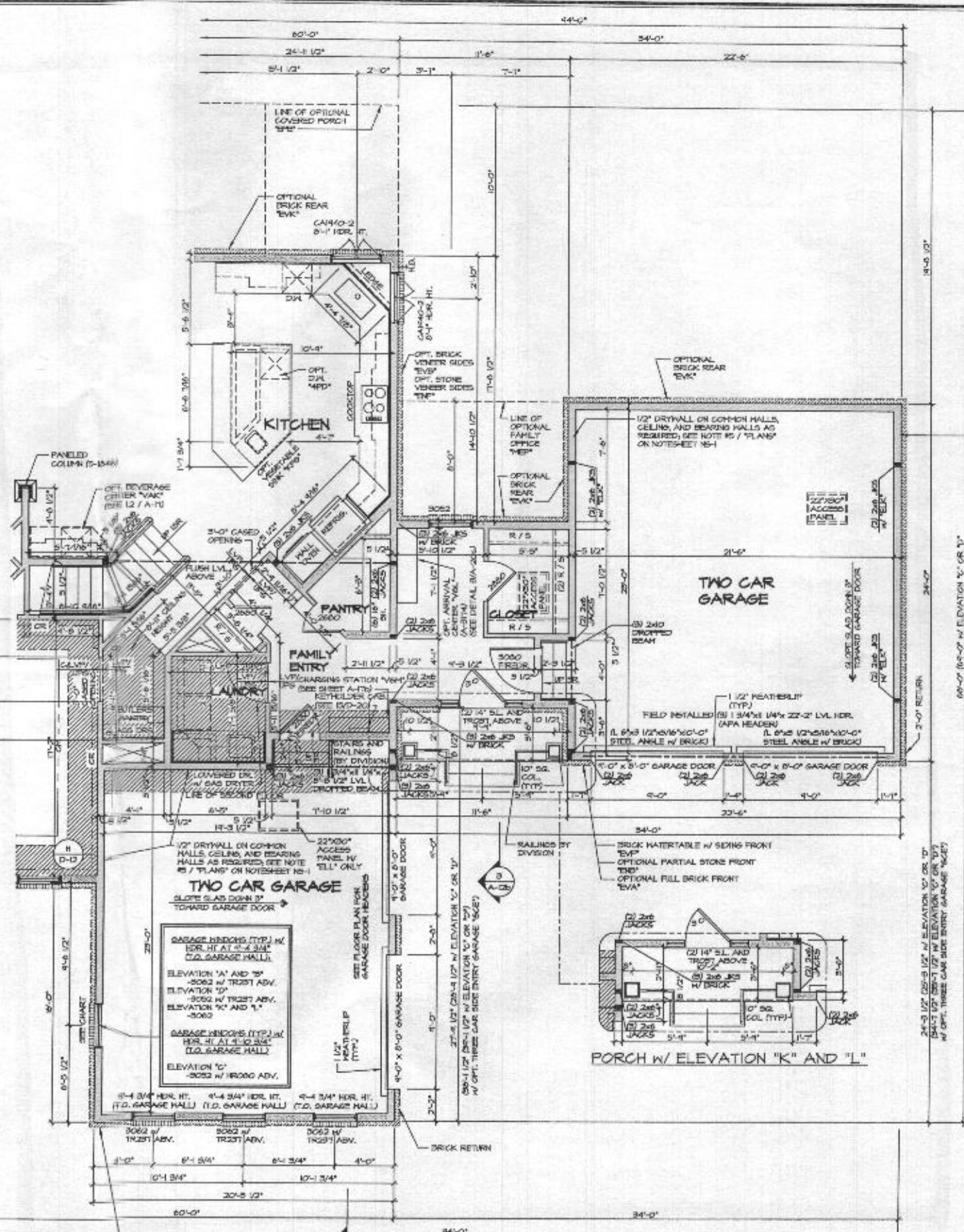
MODEL: CLIFTON PARK II
SHEET NO. A-90
FIRST FLOOR PARTIAL PLANS
OPTION DESCRIPTION: MORNING ROOM
52



2 PARTIAL FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 SIDE ATTACHED GARAGE FRONT ENTRY W/ FAMILY OFFICE SHOWN W/ ELEVATION "A" "EL" A-4/1

NOTE:
 1. PARTIAL PLANS SHOWN W/ ELEVATION "A", SEE SHEET A-4 AND A-5 FOR ADDITIONAL INFORMATION. MATCH VERTICALS ACCORDING TO SELECTED ELEVATION.
 2. FOR ADDITION INFORMATION ON THE OPTIONAL, THREE CAR SIDE ENTRY GARAGE SEE DETAIL S/A-6.

NOTE:
 OPT. SIDE ATTACHED FRONT ENTRY GARAGE "SAB" ONLY AVAILABLE W/ OPT. TWO CAR SIDE ENTRY GARAGE "SCC" OR OPT. THREE CAR SIDE ENTRY GARAGE "SCC".



1 PARTIAL FLOOR PLAN
 SCALE: 1/4" = 1'-0"
 SIDE ATTACHED GARAGE FRONT ENTRY SHOWN W/ ELEVATION "A" "EL" A-4/1

NOTES:
 1. ALL HEADERS ARE (S) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 3. ALL INTERIOR WALLS ARE 3/2" UNLESS OTHERWISE NOTED.
 4. HATCHED AREAS INDICATE DROPPED CEILING.
 5. ALL CAVED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.
 6. HATCHES ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).

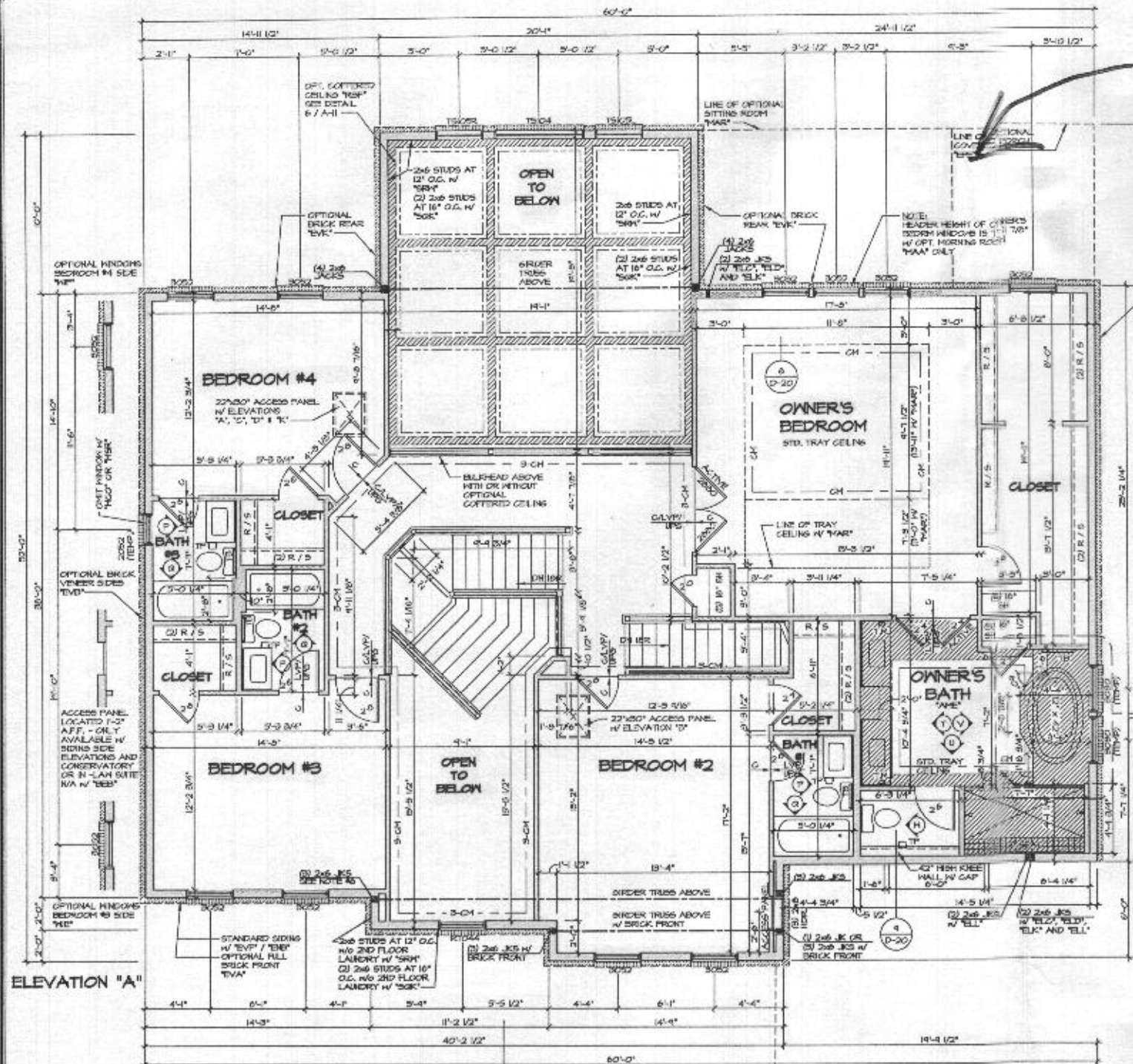
NOTE:
 SEE SHEET S-6 FOR BRICK MASONRY WALL PANEL LOCATIONS.

REV. NO.	DATE	DESCRIPTION
1	08/15/11	ISSUED FOR PERMIT
2	08/15/11	REVISED CHANGES TO PERMIT
3	08/15/11	REVISED CHANGES TO PERMIT
4	08/15/11	REVISED CHANGES TO PERMIT
5	08/15/11	REVISED CHANGES TO PERMIT
6	08/15/11	REVISED CHANGES TO PERMIT
7	08/15/11	REVISED CHANGES TO PERMIT
8	08/15/11	REVISED CHANGES TO PERMIT
9	08/15/11	REVISED CHANGES TO PERMIT
10	08/15/11	REVISED CHANGES TO PERMIT



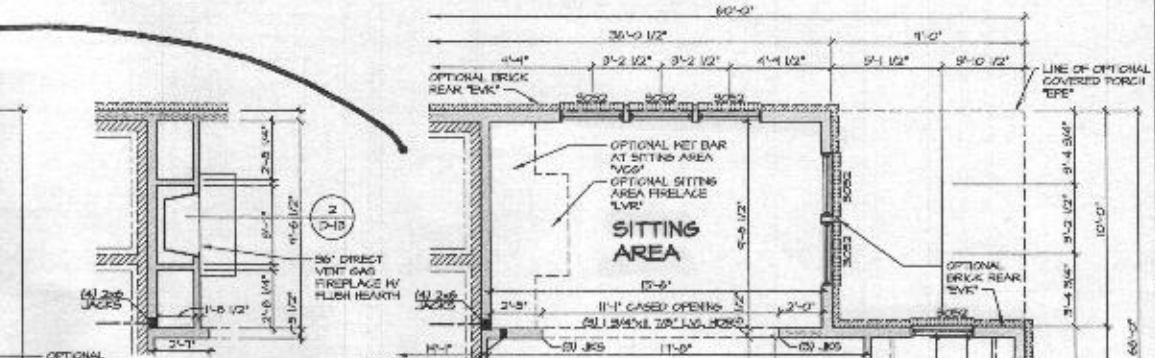
SET NO. 10500
 DESIGNER: A/JH
 DATE: 1/4/11
 DRAWN: G/AS

PROJECT: CLIFTON PARK II
 SHEET TITLE: FIRST FLOOR PARTIAL PLANS
 OPTION DESCRIPTION: TWO CAR SIDE ATTACHED GARAGE
 SHEET NO.: A-4/1
 TOTAL SHEETS: 53

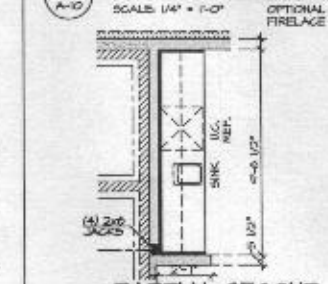


1 SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

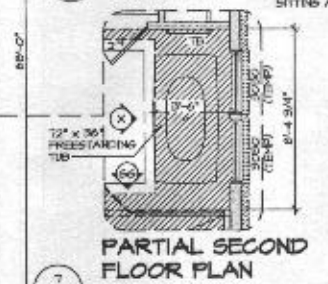
4 Second Floor Bedrooms
1 First Floor Bedrooms
5 Bedrooms, Total



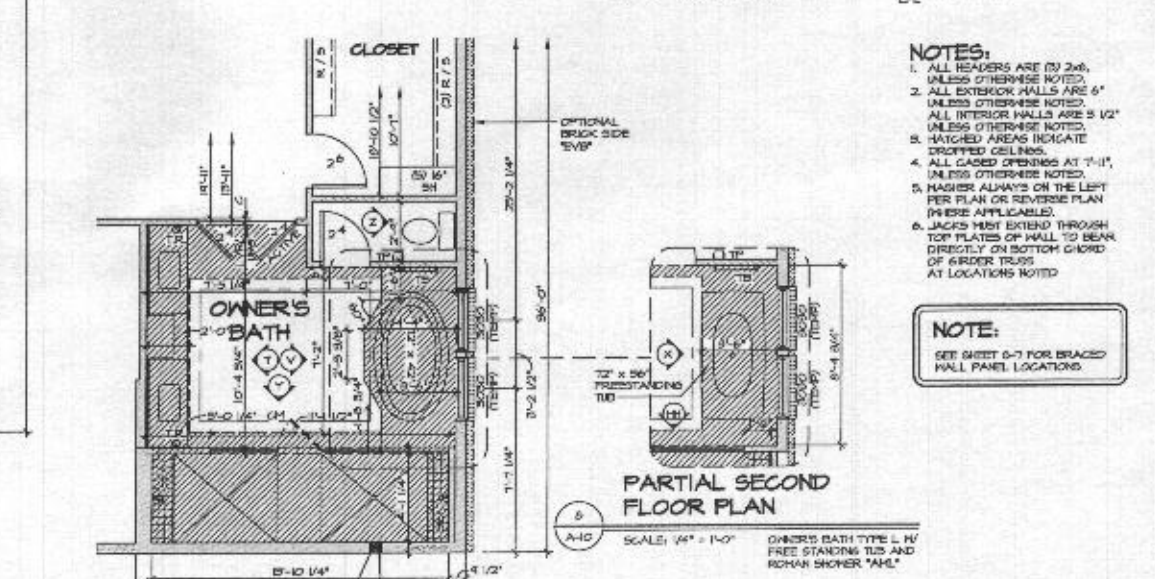
2 PARTIAL SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



3 PARTIAL SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



4 PARTIAL SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



5 PARTIAL SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"



6 PARTIAL SECOND FLOOR PLAN
SCALE 1/4" = 1'-0"

- NOTES:
1. ALL READERS ARE (2) 2x6, UNLESS OTHERWISE NOTED.
 2. ALL EXTERIOR WALLS ARE 6" UNLESS OTHERWISE NOTED.
 3. ALL INTERIOR WALLS ARE 5 1/2" UNLESS OTHERWISE NOTED.
 4. HATCHED AREAS INDICATE DROPPED CEILING.
 5. ALL GATED OPENINGS AT 7'-11" IN THIS OTHERWISE NOTED.
 6. HANGERS ALWAYS ON THE LEFT PER PLAN OR REVERSE PLAN (WHERE APPLICABLE).
 7. JACKS MUST EXTEND THROUGH TOP PLATES OF WALL TO BEAR DIRECTLY ON BOTTOM CHORD OF GIRDER TRUSS AT LOCATIONS NOTED.

NOTE:
SEE SHEET 5-7 FOR BRACED WALL PANEL LOCATIONS

REV. NO.	DATE	DESCRIPTION
1	07/21/12	ISSUE FOR PERMIT
2	07/21/12	ISSUE FOR PERMIT
3	07/21/12	ISSUE FOR PERMIT
4	07/21/12	ISSUE FOR PERMIT
5	07/21/12	ISSUE FOR PERMIT
6	07/21/12	ISSUE FOR PERMIT
7	07/21/12	ISSUE FOR PERMIT
8	07/21/12	ISSUE FOR PERMIT
9	07/21/12	ISSUE FOR PERMIT
10	07/21/12	ISSUE FOR PERMIT

WE, the undersigned, hereby certify that we are the registered professional engineer and architect for the project shown on these plans and that we are duly licensed to practice in the State of Illinois. We also certify that we are duly licensed to practice in the State of Illinois.

NVR
NVR, Inc.
Architect-Engineer
21 Birk Court, Suite A
Frederick, MD 21704

SHEET NO.	10300
PROJECT NO.	CLIFTON PARK II
DRAWN BY	AJH
DATE	12/2/12
OPTION	
PROJECT DESCRIPTION	SECOND FLOOR PLAN
SHEET NO.	A-10
54	

**COMPLETE THIS FORM WHEN DROPPING OFF ANY
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 11/17/2020

To: Robert Bricker
(Person's Name and Division)

From: Jim Kerwin for NV Homes (443) 309-7792
(Your Name, Company Name and Telephone Number)

Subject: Project name Walker Meadows Lot 25
Project site address 12213 Mayapple Drive
Permit # B20003736 SDP # _____
Other information pertinent to this project _____

- Please check the attachments below that you are submitting with this transmittal:
- Letter of response to address plan review comment letter
 - Revised plans and/or revised details: When submitting for a complete re-review, duplicate sets shall be submitted.
 - Letter Summarizing Changes
 - Energy conservation calculations
 - Copies of Plot Plan showing revised septic tank location 25' setback from Dry well (be specific).
 - Health Department Request DPZ/ DED Request Applicant's Request
 - Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # _____
 - Other _____

Contact Person Information: (Required)

Jim Kerwin
Please Print Name

Telephone No: 443-309-7792
E-Mail Address: Jim@DeccaturbuildingServices.com

PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.

RECEIVED

Received by Drop Box

White-Plan Review / Yellow-Applicant / Pink-Permit Division
t:\Operations\Updated forms\transmit.frm - Rev. 04/2014

NOV 17 2020
LICENSES & PERMITS
DIVISION

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: *James Anastasia, NVR, Inc.*

FROM: *Robert Bricker, REHS/RS, L.E.H.S.*
Well & Septic Program

RE: *12213 Mayapple Drive, Potential Basement Bedroom*

DATE: December 2, 2020

I have reviewed the floor plans in support of Building Permit **B20003736** for a new home at **12213 Mayapple Drive** and noted that there is a proposed full bathroom in the partially finished basement. Please note that this makes it very likely for one or more rooms to be considered bedrooms upon conversion of the entire basement to finished living space and/or installation of an egress window.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned area of a dwelling unit or accessory structure that:
 - (i) Is 90 square feet or greater in size;
 - (ii) May be used as a private sleeping area; and
 - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
 - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
 - (ii) A minimum 4 foot-wide opening, without doors, into another room;
 - (iii) A half wall (4 foot maximum height) between the room and another room; or
 - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

The Health Department strongly recommends sizing the onsite sewage disposal system at least one bedroom larger than the existing **five (5)** bedroom design to accommodate a future finished basement. If you choose to only size for the existing design, any future building permit for a finished basement may be placed on hold until the system is upgraded to accommodate the proposed number of bedrooms. This memo will be retained in the Health Department file for future reference.