

Maura J. Rossman, M.D., Health Officer

MEMORANDUM

TO: *James Anastasia, NVR, Inc.*

FROM: *Robert Bricker, REHS/RS, L.E.H.S.*  
Well & Septic Program

RE: *12229 Mayapple Drive*, Potential Basement Bedroom

DATE: December 31, 2020

I have reviewed the floor plans in support of Building Permit **B20004137** for a new home at **12229 Mayapple Drive** and noted that there is a proposed full bathroom in the partially finished basement. Please note that this makes it very likely for one or more rooms to be considered bedrooms upon conversion of the entire basement to finished living space and/or installation of an egress window.

For reference, the following is the bedroom definition in Howard County Code Section 3.801(b):

- (1) Except as provided in paragraph (2) of this subsection, a bedroom is any space in the conditioned area of a dwelling unit or accessory structure that:
  - (i) Is 90 square feet or greater in size;
  - (ii) May be used as a private sleeping area; and
  - (iii) Has at least one window and one interior door.
- (2) If a home office, library, or similar room is proposed, it may not be a bedroom if there is no closet; and
  - (i) The room contains permanently built-in bookcases around the perimeter of the room, desks, and other features that encumber the room;
  - (ii) A minimum 4 foot-wide opening, without doors, into another room;
  - (iii) A half wall (4 foot maximum height) between the room and another room; or
  - (iv) The room is a first floor room or basement area that does not have direct access to full bathrooms or "roughed in" plumbing that would provide direct access to future full bathroom facilities.

The Health Department strongly recommends sizing the onsite sewage disposal system at least one bedroom larger than the existing **five (5)** bedroom design to accommodate a future finished basement. If you choose to only size for the existing design, any future building permit for a finished basement may be placed on hold until the system is upgraded to accommodate the proposed number of bedrooms. This memo will be retained in the Health Department file for future reference.

**COMPLETE THIS FORM WHEN DROPPING OFF ANY  
CORRESPONDENCE AND/OR PLANS TO THE HOWARD COUNTY  
DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS COUNTER:**

Date: 12/23/2020  
To: Robert Bricker Health Dept  
(Person's Name and Division)  
From: Jim Kerwin NV Homes (443) 309-7792  
(Your Name, Company Name and Telephone Number)  
Subject: Project name Walker Meadows  
Project site address 12229 Mayapple Drive  
Permit # B20004137 SDP # \_\_\_\_\_  
Other information pertinent to this project \_\_\_\_\_

- Please check the attachments below that you are submitting with this transmittal:
- Letter of response to address plan review comment letter
  - Revised plans and/or revised details: When submitting for a complete re-review, **duplicate sets shall be submitted.**
  - Letter Summarizing Changes
  - Energy conservation calculations
  - Copies of revised plot plan showing septic tank 20' from areaway (be specific).
  - Health Department Request       DPZ/ DED Request       Applicant's Request
  - Two sets of single family dwelling model plans to be placed on permanent file: Model name and/or # \_\_\_\_\_
  - Other \_\_\_\_\_

**Contact Person Information: (Required)**

Jim Kerwin  
Please Print Name

Telephone No: 443-309-7792  
E-Mail Address: Jim@DecaturBuildingServices.com

**PLEASE ASSURE ALL DOCUMENTS AND/OR REVISIONS ARE APPROPRIATELY SIGNED AND SEALED, IF NECESSARY, BY A LICENSED ARCHITECT OR ENGINEER. PLEASE BE ADVISED THAT INSUFFICIENT INFORMATION MAY RESULT IN THE DELAY OF REVIEW BY THE PLANS EXAMINER. THE DEPARTMENT OF INSPECTIONS, LICENSES AND PERMITS WILL CONTACT YOU IF THERE IS A PROBLEM. IN ADDITION, ONCE THE BUILDING PERMIT IS APPROVED BY THE PLAN REVIEW DIVISION AND ALL OTHER REQUIRED SIGNATORY AGENCIES, AND THE BUILDING PERMIT IS READY FOR ISSUANCE, THE PERMIT DIVISION WILL NOTIFY THE APPROPRIATE CONTACT PERSON FOR PERMIT PICK UP. ALL PERMIT STATUS INQUIRIES SHALL BE DIRECTED TO THE PERMIT DIVISION AT 410-313-2455. CODE RELATED QUESTIONS AND PLAN REVIEW INQUIRIES SHALL BE DIRECTED TO THE PLAN REVIEW DIVISION AT 410-313-2436. PLEASE ALLOW A MINIMUM OF FIVE (5) WORKING DAYS FOR ANY PLAN SUBMITTALS TO BE REVIEWED. THANK YOU.**

Received by D. W. P. Kerwin

White-Plan Review / Yellow-Applicant / Pink-Permit Division  
t:\Operations\Updated forms\transmit.frm - Rev. 04/2014

**RECEIVED**  
DEC 23 2020  
LICENSES & PERMITS  
DIVISION

NOV 23 2020

PERMIT NUMBER: B 20004137

DATE ACCEPTED:

LICENSES & PERMITS DIVISION

RESIDENTIAL BUILDING PERMIT APPLICATION

HOWARD COUNTY DEPARTMENT OF INSPECTIONS, LICENSES, AND PERMITS

3430 COURT HOUSE DRIVE, ELLICOTT CITY, MD 21043 - PHONE: (410) 313-2455 OPTION #4

www.howardcountymd.gov



BUILDING SITE ADDRESS REQUIRED

Street Address: 12239 Mayapple Dr
City: Jessville
State: MD
Zip Code: 21114
Subdivision/Village/Complex Name: Walker Meadows
SDP/WP/BA #: GP 21-41
Lot: 27
Tax Map:
Parcel:
Grading Permit #:

DESCRIPTION OF WORK REQUIRED

Existing Use: Vacant lot
Proposed Use: SFD
Estimated Cost: \$ 230,000
Trade Work to Be Completed (Separate Permits Required):
New 2 story "Stratford Hall" EHV A with 2 car garage, 1 car side attached garage, 1st floor bedroom and finished lower level (1st floor, #2 and 3 bedrooms)

PROPERTY OWNER INFORMATION REQUIRED

Owner(s) Name(s) (As it appears on tax records): NVK Inc. Contact: J. Anastasia
Primary Residence: No
Owner's Street Address: 9720 Paluxent Woods Dr
City: Columbia
State: MD
Zip Code: 21046
Phone: 410-379-5956
Email: janastasia@nvinc.com

APPLICANT NAME REQUIRED - INDIVIDUAL WHO SIGNS THIS APPLICATION

Business Name: Deratur Building Services
Contact Name: Jim Keenan
Street Address: PO Box 552 J
City: Woodbridge
State: MD
Zip Code: 21797
Phone: 443-309-7792
Email: jim@deraturbuildingservices.com

CONTRACTOR INFORMATION REQUIRED

Business Name: NVK Inc. Contact: James Anastasia
Licensee's Name: NVK Inc.
License #: 516
Street Address: 9720 Paluxent Woods Dr
City: Columbia
State: MD
Zip Code: 21046
Phone: 410-379-5956
Email: janastasia@nvinc.com

ARCHITECT/ENGINEER INFORMATION INDIVIDUAL WHO SIGNED PLANS, IF APPLICABLE

Business Name:
Name:
Street Address:
City:
State:
Zip Code:
Phone:
Email:

BUILDING CHARACTERISTICS REQUIRED

Primary Structure: SF Dwelling
Utilities: Electric, Gas
Water Supply: Public
Sewage Disposal: Private (Septic)
Heating System: Propane
Roadside Tree Project: No
Sprinkler System: NFPA 13
Fire Alarm System: No

ADDITIONAL RESIDENTIAL INFORMATION (PLEASE SELECT/COMPLETE ALL THAT APPLY)

Model Name & Options: Stratford Hall EHV A, with 2 car garage, 1 car side garage, 2nd floor bed, and finished lower level
# of Bedrooms (SF): 5
# of Full Baths: 6
# Half Baths: 1
# Fireplaces: 0
Garage/Carport Info: Attached Garage
Basement/Foundation Info: Finished Basement: Full or Partial
1st Fl Width: 68
1st Fl Depth: 54
2nd Fl Width: 54
2nd Fl Depth: 48
Bsmt Width: 54
Bsmt Depth: 54
Energy Method: Performance
Gross Area: 6834 sq ft
Occupiable Area: 6134 sq ft

AGREEMENT/ DISCALIMER REQUIRED

THE UNDERSIGNED HEREBY CERTIFIES AND AGREES AS FOLLOWS: (1) THAT HE/SHE IS AUTHORIZED TO MAKE THIS APPLICATION; (2) THAT THE INFORMATION IS CORRECT; (3) THAT HE/SHE WILL COMPLY WITH ALL REGULATIONS OF HOWARD COUNTY WHICH ARE APPLICABLE THERETO; (4) THAT HE/SHE WILL PERFORM NO WORK ON THE ABOVE REFERENCED PROPERTY NOT SPECIFICALLY DESCRIBED IN THIS APPLICATION; (5) THAT HE/SHE GRANTS COUNTY OFFICIALS THE RIGHT TO ENTER ONTO THIS PROPERTY FOR THE PURPOSE OF INSPECTING THE WORK PERMITTED AND POSTING NOTICES.

APPLICANT'S ORIGINAL SIGNATURE: Jim Keenan
DATE SIGNED: 11/23/2020

FOR OFFICE USE ONLY CHECKS PAYABLE TO: DIRECTOR OF FINANCE OF HOWARD COUNTY

AGENCIES REQUIRED/APPROVALS: PR, DPZ, DED, Health, SHA, CID
SUBMITTAL FEES: \$150.00
PAYMENT: CK #1383345
ACCEPTED BY: DP APPROV

12229 Mayapple Drive

Lot 29

# STRATFORD HALL

Health Dept

DIV-DOWN-LET-UNIT  
MDE-1W-0029

CDM-COI  
WALKER MEADOWS - 0029

STREET ADDRESS  
12229 MAYAPPLE DRIVE

CITY STATE ZIP  
BYKESVILLE MD 2104



NVR, Inc.  
5285 Westview Drive, Suite 100  
Frederick, MD 21703

## B20004137

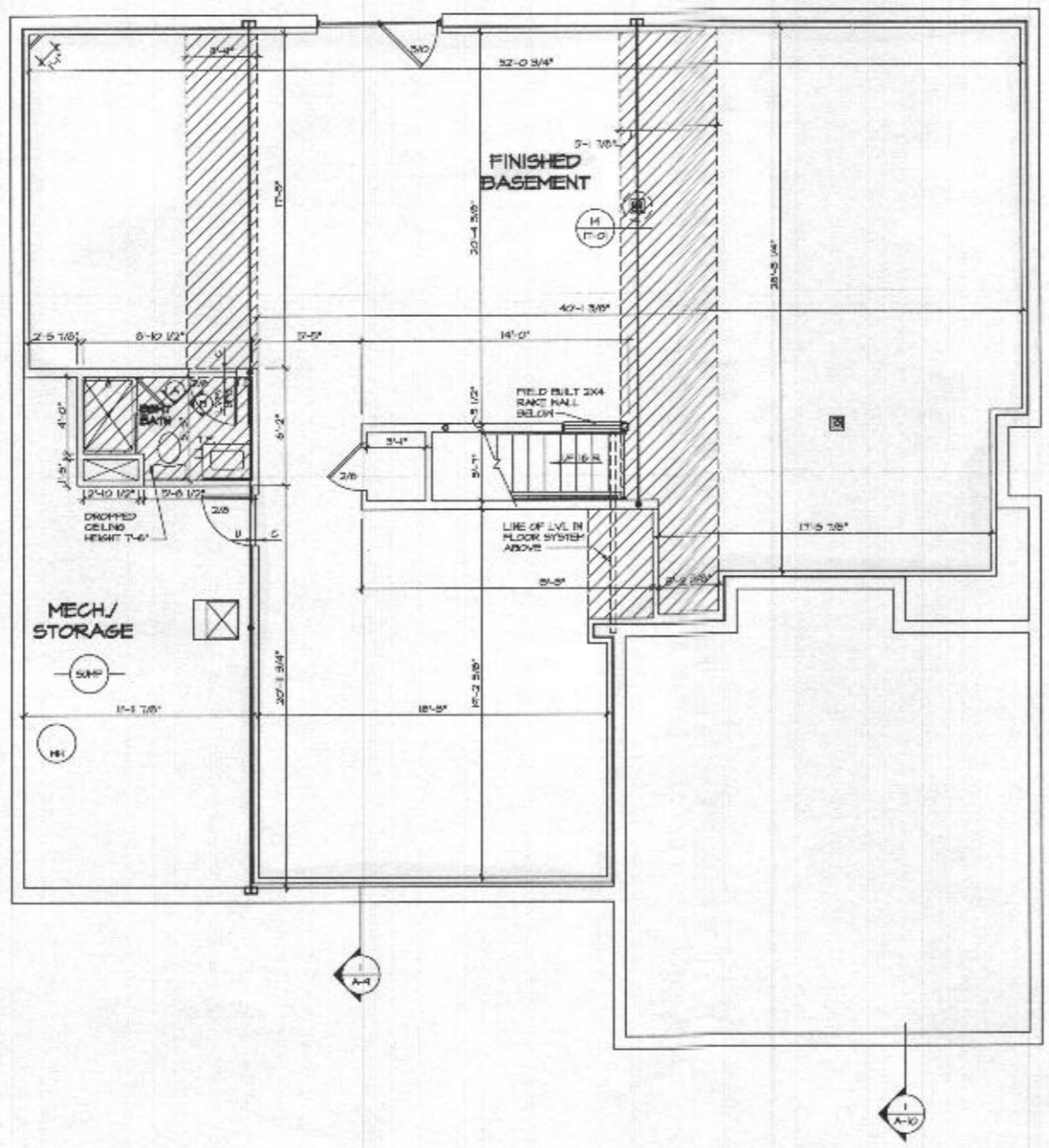
SPEC SHEET	STD. DWGS.	FULL BASEMENT										STANDARD DETAILS	
		1	2	3	4	5	6	7	8	9	10		
SPEC SHEET	55-												AD-1
ELEVATIONS	4												AD-1b
FOUNDATIONS	14												DR-1
FOUNDATION HOLD DOWNS	22, 23, 24, 25												DR-2
PLUMBING	26												DR-3
BASEMENT FLOOR PLAN	27												DM-2
FIRST FLOOR PLAN	29												ET-1
SECOND FLOOR PLAN	32.1												ET-1b
BUILDING SECTIONS	34, 36												ET-1c
STAIR SECTIONS	38												ET-1d
KITCHEN - BATHS	41, 42, 43, 44												ET-1f
BASEMENT ELECTRICAL	46												ET-2
FIRST FLOOR ELECTRICAL	47												ET-3a
SECOND FLOOR ELECTRICAL	50												F-1
FIRST FLOOR FRAMING	52												F-1b
SECOND FLOOR FRAMING	54												F-2
ROOF FRAMING	55, 56												F-3
TRUSS BRACING	61												F-3b
HALL BRACING LAYOUT	63												FA-1
HVAC LAYOUT	67												FG-1
HVAC LAYOUT	68												FG-2
HVAC LAYOUT	69												FG-4
HVAC LAYOUT	70												FD-1
HVAC LAYOUT	71												FD-2
HVAC LAYOUT	72												FD-2b
HVAC LAYOUT	73												FD-3
HVAC LAYOUT	74												FD-3b
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													MS-1

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	251 SF
	251 SF
SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	238 SF
	238 SF
GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
TWO CAR GARAGE (LEV. 'A' OR 'B' OR 'C')	501 SF
ONE CAR SIDE ATTACHED GARAGE (ADD. SF)	84 SF
	585 SF
BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	521 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	361 SF
	882 SF
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
MECHANICAL ROOM	245 SF
	245 SF
TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	251 SF
2ND FLOOR (BASE SF)	238 SF
FINISHED BASEMENT	521 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	361 SF
	816 SF

SET - VERSION  
1100 - 01

CS-1

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**1**  
A-6 **BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**FLOOR PLAN NOTES**

1. ALL HEADERS ARE (2) 2x6 W/ 2X4 HALLS OR (3) 2x6 W/ 2x6 HALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (2) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED.
5. SEE 'WALLED HALL PANEL DETAIL SHEET' FOR SPECIAL HALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL CATEGORY 'I' SHEETS FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET 'AD' FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE 7'-0" 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL GASED OPENINGS AT 7'-11", UNLESS OTHERWISE NOTED.

**GYPHUM NOTES**

- AT GARAGE:**  
5/8" DRYHALL ON COMMON HALLS, CEILING, AND REARWARD HALLS AS REQUIRED.
- AT STAIRS:**  
1/2" GYPHUM BOARD AT UNDERSIDE OF STAIRS AND HALLS IN CLOSET.
- WITH OPTION 'SCI' - DRYHALL UNFINISHED BASEMENT CEILING AREA**

- NOTES:**
- 1/2" GYPHUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
  - A MAXIMUM AREA OF 80 SQ FT MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC. TYPICALLY AN 8'-0" X 8'-0" CEILING SPACE ABOVE HEXAGONAL AREA.
  - PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYHALL HAS BEEN OMITTED.

**LEGEND**

- BEARING WALL
  - NON-BEARING WALL
  - INDICATES BEARING FROM POINT-LOAD ABOVE
  - JACKS
  - BEAM-HEADER
  - PAD FOOTING
  - STEEL COLUMN
  - PORTAL FRAME
  - JOIST/TRUSS
  - LVL
  - ENGINEERING PAGE NUMBER
- SEE PG DETAILS FOR FRAMING CONNECTORS

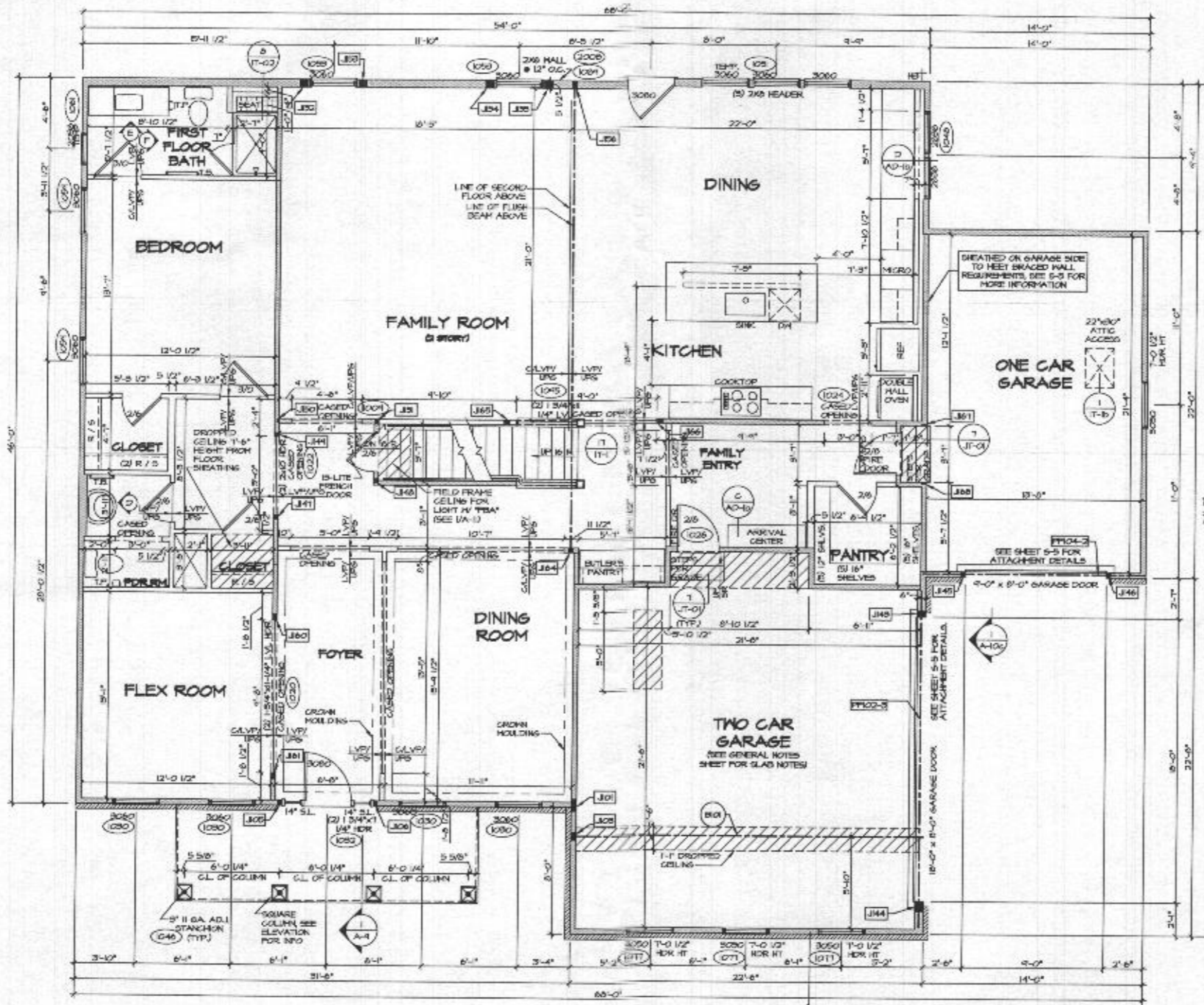
07-COMM LOT UNIT  
**MDE-IN-0029**  
COMM-LOT  
WALKER HEADS - 0029  
STREET ADDRESS  
12229 HAYSTACK DRIVE  
CITY  
SPRINGVILLE

DATE: 11/17/2009  
TIME: 11:17:20 AM  
PROJECT: STRATFORD HALL  
SHEET: A-6



NET NO. 11000  
VERSION 01  
DRAWN BY BIM  
DATE  
OPTION

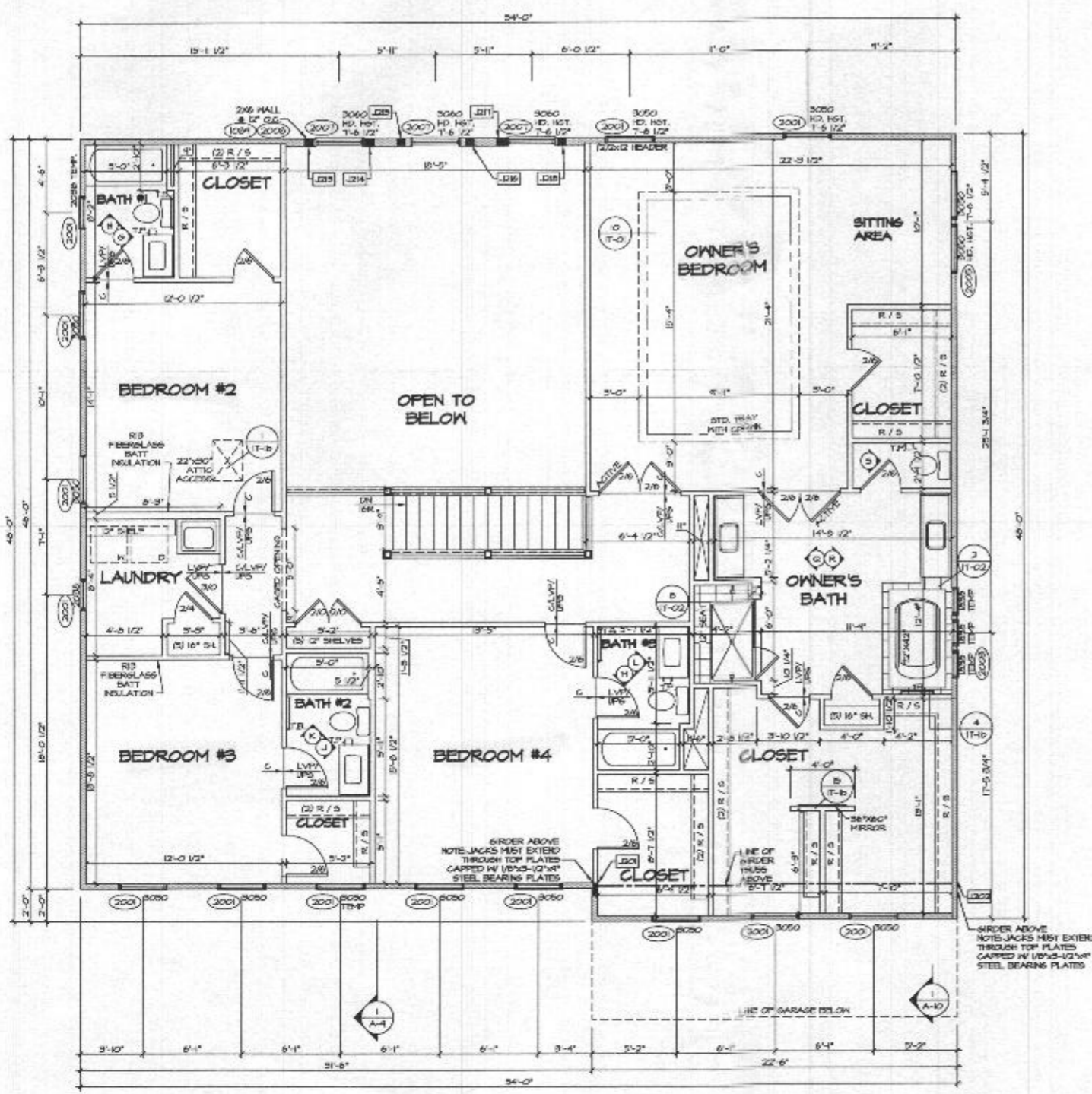
**STRATFORD HALL**  
BASING TITLE  
**BASEMENT FLOOR PLAN**  
OPTION DESCRIPTION  
**2T**



**FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

FOR NOTES AND SCHEDULES SEE PAGE A-7b

SHEET NO. <b>A-7</b>	MODEL <b>STRATFORD HALL</b> DRAWING FILE <b>FIRST FLOOR PLAN</b>	SET NO. - ROOM VERSION OR DRAWN BY ZDM	DATE: 9/16/16 OPTION
		OPTION DESCRIPTION	29
DWG. FILE: APPROXIMATE NUMBER OF SHEETS AND SHEET NUMBER. DO NOT SCALE FROM THIS DRAWING. ALL DIMENSIONS SHALL BE TAKEN FROM THE DRAWING UNLESS OTHERWISE NOTED.		DWG. NO. - LOT - UNIT <b>MDE-1W-0029</b>	
PROJECT ADDRESS <b>12228 HAYSTACK DRIVE</b>		CITY <b>SPRINGVILLE</b>	STATE <b>MD</b>
PROJECT NO. <b>21004</b>		DATE <b>11/17/20</b>	



**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

- FLOOR PLAN NOTES**
1. ALL HEADERS ARE (2) 2x6 W/ 2x4 HALLS OR (2) 2x6 W/ 2x6 HALLS, UNLESS OTHERWISE NOTED.
  2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
  3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
  4. HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 12" UNLESS OTHERWISE NOTED. SEE "BRACED HALL PANEL DETAIL SHEET" FOR SPECIAL WALL BRACING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
  5. SEE STANDARD DETAIL CATEGORY "1" (SHEETS) FOR INTERIOR TRIM DETAILS.
  6. SEE ARCHITECTURAL DETAIL SHEET "A01" FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
  7. ALL WINDOWS HAVE 1-0 1/2" HEADER HEIGHT UNLESS OTHERWISE NOTED.
  8. ALL CASED OPENINGS AT 1-1/2", UNLESS OTHERWISE NOTED.

**LEGEND**

- BEARING WALL
- NON BEARING WALL
- JOIST/TRUSS
- STEEL COLUMN
- PORTAL FRAME
- L.V.
- TRUSS MEMBERS PAGE NUMBER
- SEE PG DETAILS FOR FRAMING CONNECTORS

**SECOND FLOOR JACK SCHEDULE**

IDENTIFIER	DESCRIPTION	OPTIONS	ENG. NUM.	REMARKS
J201	JACK - (1) 2x4 SPM		300B	
J202	JACK - (1) 2x4 SPM		300B	
J213	JACK - (4) 2x6 SPM #2 STUD GRADE		300T	FULL HEIGHT STUDS
J214	JACK - (4) 2x6 SPM #2 STUD GRADE		300T	FULL HEIGHT STUDS
J215	JACK - (4) 2x6 SPM #2 STUD GRADE		300T	FULL HEIGHT STUDS
J216	JACK - (4) 2x6 SPM #2 STUD GRADE		300T	FULL HEIGHT STUDS
J217	JACK - (4) 2x6 SPM #2 STUD GRADE		300T	FULL HEIGHT STUDS
J218	JACK - (4) 2x6 SPM #2 STUD GRADE		300T	FULL HEIGHT STUDS

SHEET NO. **A-8**  
 MODEL **STRATFORD HALL**  
 DRAWING TITLE **SECOND FLOOR PLAN**  
 OPTION DESCRIPTION  
 SHEET NO. **92.1**

DRAWN BY **BIM**  
 DATE  
 OPTION

300-DOWN LOT - UNIT  
**MDE-IN-0029**  
 DOWN LOT  
 WALKER HEADINGS - 0029  
 STREET ADDRESS  
 12207 HAYAPPLE DRIVE  
 CITY  
 SPENNYVILLE  
 STATE  
 MO  
 ZIP  
 64604

NVR  
 NVR, INC.  
 6085 Reservoir Drive, Suite 100  
 Independence, MO 64613

08/24/2011 11:00 AM  
 MDE-IN-0029-1W-0029A-2158853-SPENNY LOT SPECIFIC-32.1 A-8 PLAN-1-Long 11/17/20 - 251.dwg

12229 Mayapple Drive  
 Lot 29

# STRATFORD HALL

Health Dept

DEV-COMM-LOT-UNIT  
**MDE-W-0029**  
 COMM-LOT  
 WALKER MEADOWS - 0029  
 STREET ADDRESS  
 12229 MAYAPPLE DRIVE  
 CITY STATE ZIP  
 STYKESVILLE MD 21104



NVR, Inc.  
 5285 Westview Drive, Suite 100  
 Frederick, MD 21703

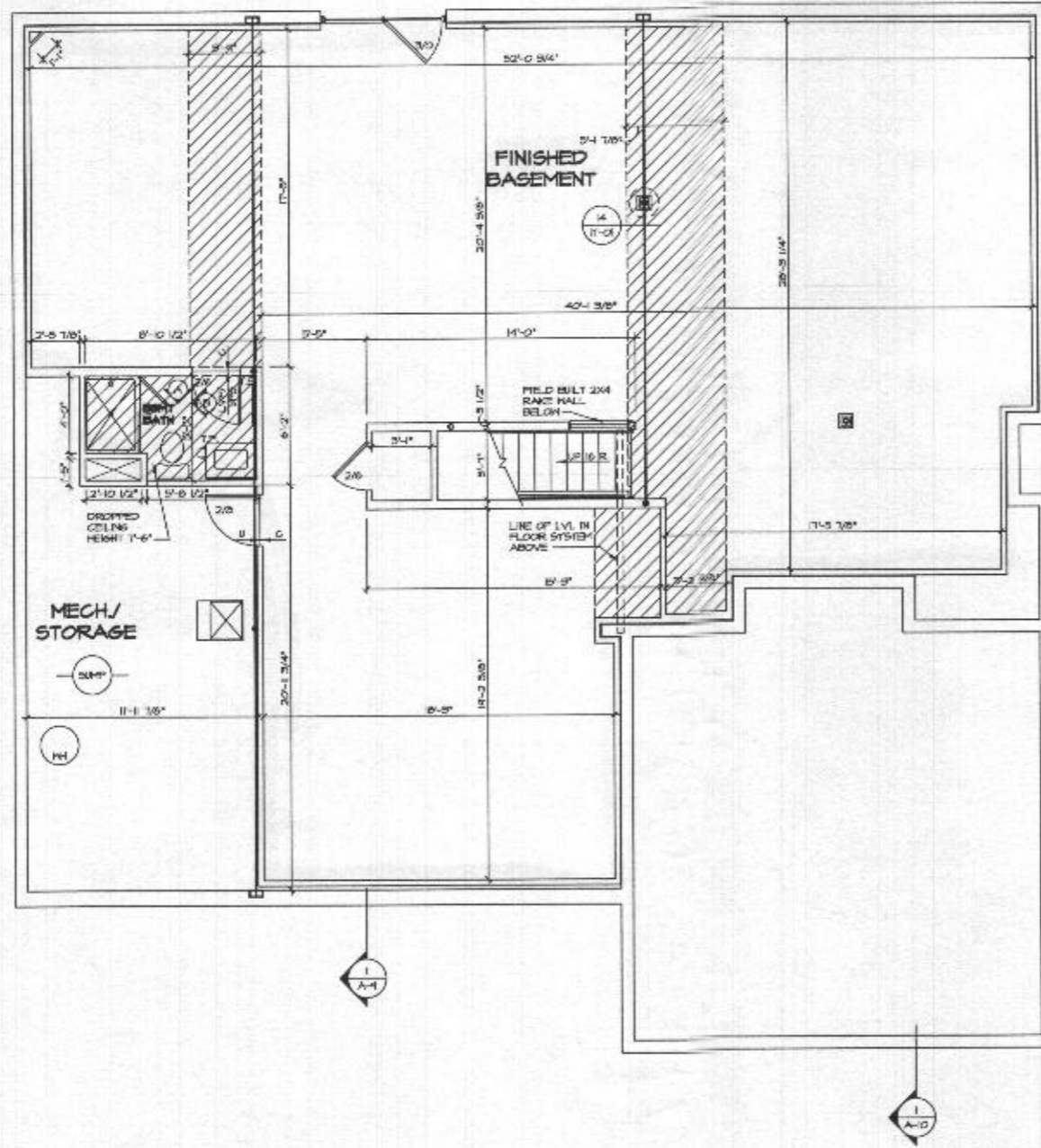
**B20004137**

FULL BASEMENT		STD. DWG. NO.	STANDARD DETAILS
DESCRIPTION	NO.		
SPEC SHEET	99-1		AD-1
ELEVATIONS	4		AD-2
FOUNDATIONS	14		DR-1
FOUNDATION HOLD DOGNS	22, 23, 24, 25		DR-2
PLUMBING	26		DR-3
BASEMENT FLOOR PLAN	21		DR-4
FIRST FLOOR PLAN	28		ET-1
SECOND FLOOR PLAN	32		ET-2
BUILDING SECTIONS	34, 36		ET-3
STAIR SECTIONS	30		ET-4
KITCHEN - BATHS	41, 42, 43, 44		ET-5
BASEMENT ELECTRICAL	45		ET-6
FIRST FLOOR ELECTRICAL	41		F-1
SECOND FLOOR ELECTRICAL	50		F-2
FIRST FLOOR FRAMING	52		F-3
SECOND FLOOR FRAMING	54		F-4
ROOF FRAMING	53, 56		F-5
TRUSS BRACING	61		F-6
WALL BRACING LAYOUT	63		FA-1
HVAC LAYOUT	67		FA-2
HVAC LAYOUT	68		FA-3
HVAC LAYOUT	64		FA-4
HVAC LAYOUT	10		FA-5
HVAC LAYOUT	11		FA-6
HVAC LAYOUT	12		FA-7
HVAC LAYOUT	73		FA-8
HVAC LAYOUT	74		FA-9
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			FA-100

FIRST FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	251 SF
	251 SF
SECOND FLOOR SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND FLOOR (BASE SF)	233 SF
	233 SF
GARAGE SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
2ND CAR GARAGE ELEV. 'A' OR 'C' OR 'R'	507 SF
ONE CAR SIDE ATTACHED GARAGE (ADD. SF)	54 SF
	561 SF
BASEMENT SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
FINISHED BASEMENT	523 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	361 SF
	884 SF
UNFINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
MECHANICAL ROOM	245 SF
	245 SF
TOTAL FINISHED SQUARE FOOTAGE	
DESCRIPTION	TOTAL SQ. FT.
1ST FLOOR (BASE SF)	251 SF
2ND FLOOR (BASE SF)	233 SF
FINISHED BASEMENT	523 SF
FINISHED BASEMENT AREA #2 (ADD. SF)	361 SF
	668 SF

SET - VERSION  
 11900 - 01 CS-1

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**BASEMENT FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**FLOOR PLAN NOTES**

1. ALL HEADERS ARE (2) 2x6 w/ 2x4 WALLS OR (3) 2x6 w/ 2x6 WALLS, UNLESS OTHERWISE NOTED.
2. ALL HEADERS TO HAVE (1) 2x4 OR 2x6 JACK EACH END, UNLESS OTHERWISE NOTED.
3. ALL EXTERIOR WALLS TO BE 4" AND ALL INTERIOR WALLS TO BE 3 1/2", UNLESS OTHERWISE NOTED.
4. HATCHED AREAS INDICATE DROPPED CEILING. ALL DROPPED CEILING ARE 2" UNLESS OTHERWISE NOTED.
5. SEE 'DRACED WALL PANEL DETAIL SHEET' FOR SPECIAL WALL FRAMING LOCATIONS AND HEADER SIZES, IF APPLICABLE.
6. SEE STANDARD DETAIL, CATEGORY 'IT' SHEETS FOR INTERIOR TRIM DETAILS.
7. SEE ARCHITECTURAL DETAIL SHEET 'AD' FOR HOUSE SPECIFIC INTERIOR TRIM OPTION TABLE.
8. ALL WINDOWS HAVE 7'-0" HEADER HEIGHT UNLESS OTHERWISE NOTED.
9. ALL GATED OPENINGS AT 1'-11", UNLESS OTHERWISE NOTED.

**GYPNUM NOTES**

- AT GARAGE:**  
5/8" DRYWALL ON COMMON WALLS, CEILING, AND BEARING WALLS AS REQUIRED.
- AT STAIRS:**  
1/2" GYPNUM BOARD AT UNDERSIDE OF STAIRS AND WALLS IN CLOSET.
- WITH OPTION 'SG1' - DRYWALL FINISHED BASEMENT CEILING AREA**

**NOTES:**

- 1/2" GYPNUM WALL BOARD REQUIRED ON CEILING IN UNFINISHED AREAS WHEN NO SPRINKLER SYSTEM IS INSTALLED.
- A MAXIMUM AREA OF 80 SQ. FT. MAY BE OMITTED AS NEEDED FOR INSTALLATION OF PLUMBING, ELECTRICAL, AND/OR HVAC (TYPICALLY AN 8'-0" x 8'-0" CEILING SPACE ABOVE MECHANICAL AREA).
- PROVIDE FIRE BLOCKING AS REQUIRED AT PERIMETER OF ANY AREAS WHERE DRYWALL HAS BEEN OMITTED.

**LEGEND**

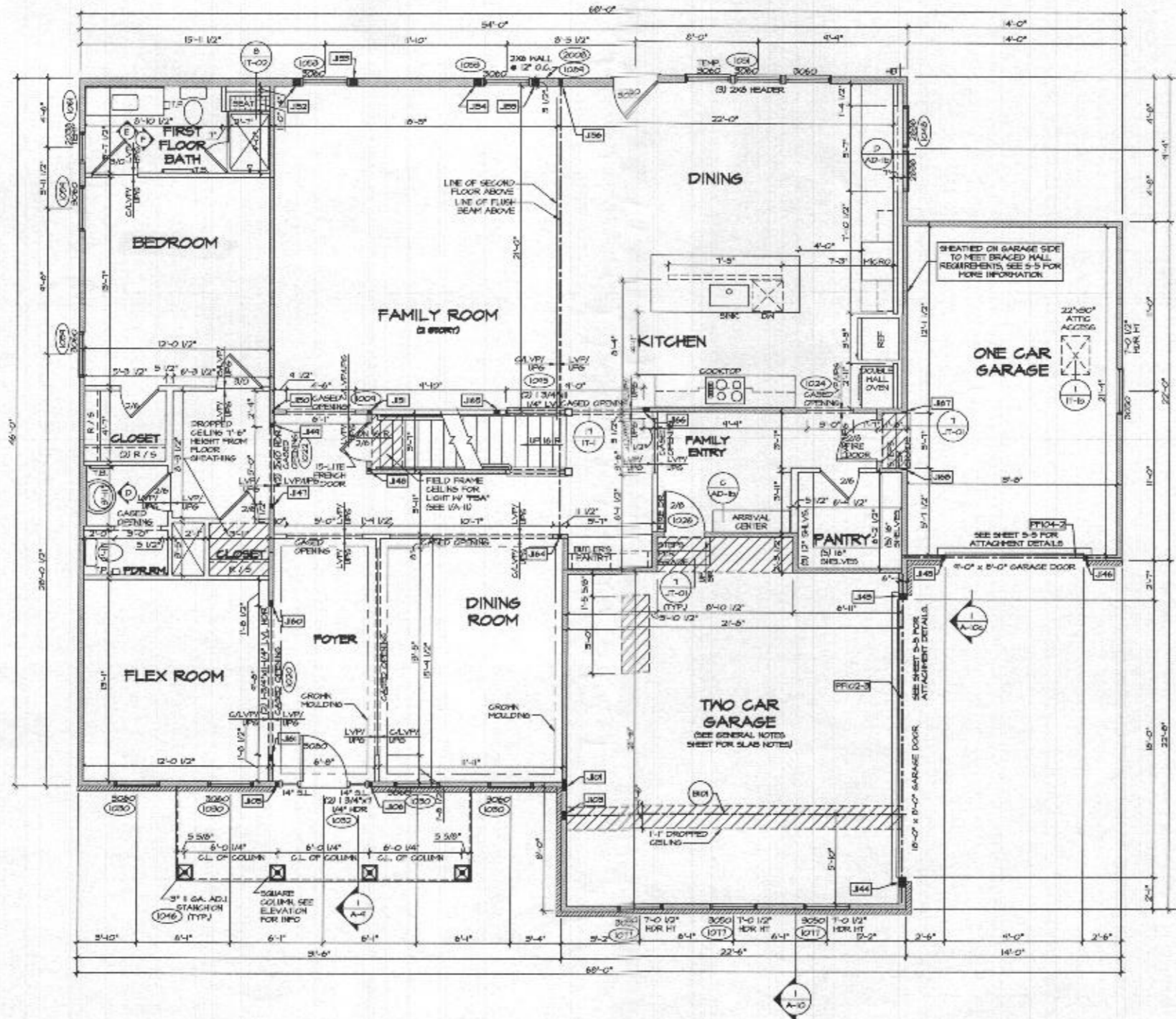
- BEARING WALL
  - NON BEARING WALL
  - INDICATES BEARING FROM POINT LOAD ABOVE
  - JACKS
  - BEAM/HEADER
  - PAD FOOTING
  - STEEL COLUMN
  - PORTAL FRAME
  - JOIST/TIMBER
  - LVL
  - ENGINEERING PAGE NUMBER
- SEE PG. DETAILS FOR FRAMING CONNECTORS

BY: CONNOR LUFF-UNIT  
**MDE-1W-0029**  
COUNTY: MALKER HEADQUARTERS - 0029  
STREET ADDRESS: 12229 MAYAPPLE DRIVE  
CITY: STONYSVILLE STATE: MD ZIP: 2104

NVR, Inc. reserves the right to change, modify, amend, or update any information in this drawing without notice. The user of this drawing shall be responsible for verifying the accuracy of the information contained herein. NVR, Inc. is not responsible for any errors or omissions in this drawing.



MODEL: STRATFORD HALL	SET NO. 11400
DRAWING TITLE: BASEMENT FLOOR PLAN	VERSION: 01
OPTION DESCRIPTION:	DRAWN BY: BLM
	DATE:
	OPTION:
SHEET NO. <b>A-6</b>	27



1 FIRST FLOOR PLAN  
 A-7 SCALE: 1/8" = 1'-0"

FOR NOTES AND SCHEDULES SEE PAGE A-7b

SHEET NO. <b>A-7</b>	MODEL <b>STRATFORD HALL</b>	SET NO. 11000	DATE: 4/7/16	OPTION
	DRAWING TITLE <b>FIRST FLOOR PLAN</b>	VERSION OF <b>ZDM</b>	DRAWN BY	
29	OPTION DESCRIPTION	NVR 4140 Old Mill Road, Suite 100 Frederick, MD 21723		
		314-DOWN-LOT-UNIT <b>MDE-W-0029</b> DOWN-LOT PALMER MEADOWS - 0029 STREET ADDRESS 12224 MAYAPPLE DRIVE CITY SYDNEYVILLE MD 21104		

The owner, contractor, and architect are not responsible for any errors or omissions in this drawing. The architect is not responsible for any errors or omissions in this drawing. The architect is not responsible for any errors or omissions in this drawing.

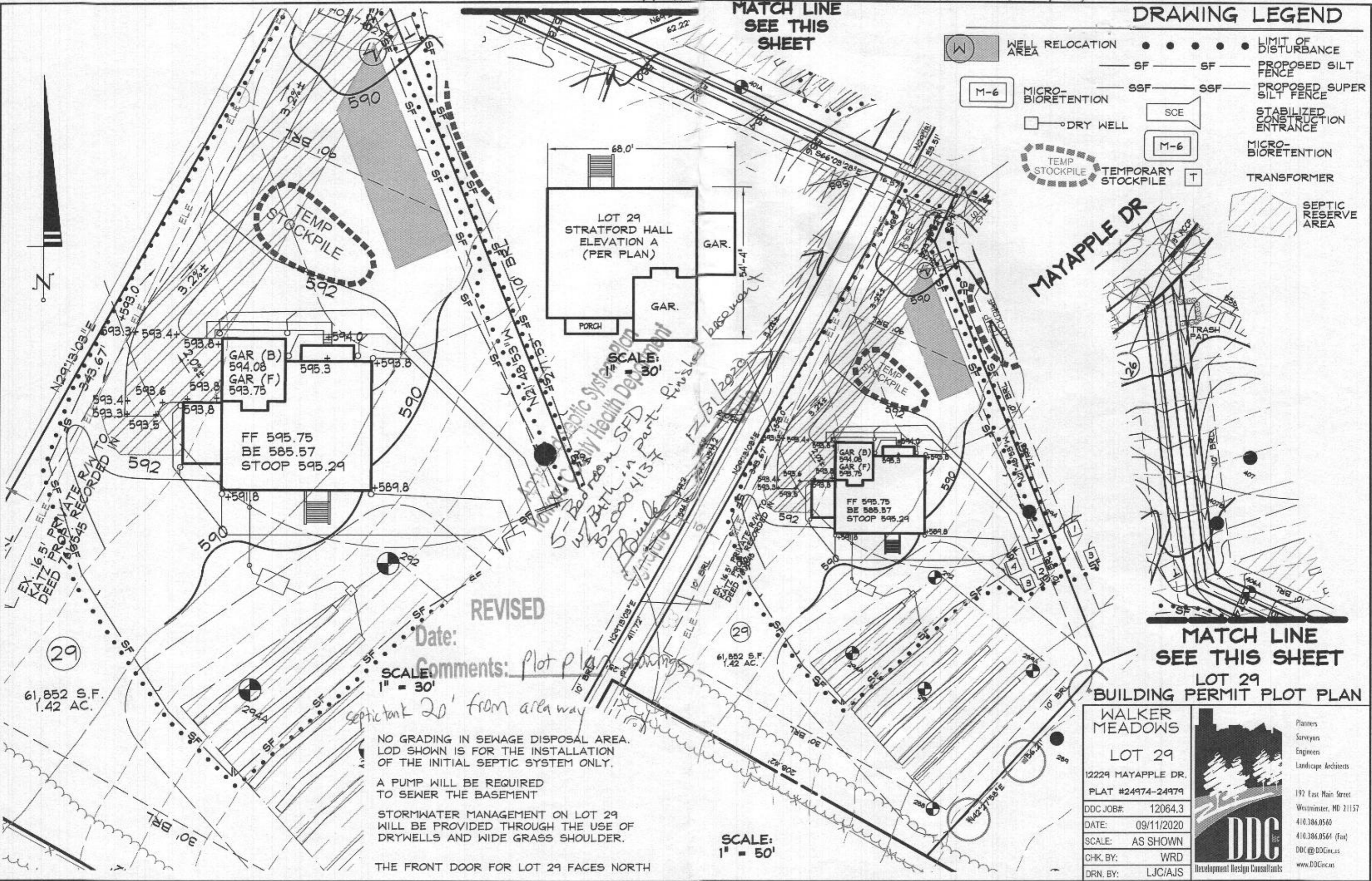
SCALE: 1/8" = 1'-0" DATE: 4/7/16 DRAWN BY: ZDM



MATCH LINE  
SEE THIS SHEET

DRAWING LEGEND

- WELL RELOCATION
- MICRO-BIORETENTION
- DRY WELL
- TEMP STOCKPILE
- TEMPORARY STOCKPILE
- LIMIT OF DISTURBANCE
- PROPOSED SILT FENCE
- PROPOSED SUPER SILT FENCE
- STABILIZED CONSTRUCTION ENTRANCE
- MICRO-BIORETENTION
- TRANSFORMER
- SEPTIC RESERVE AREA



MAYAPPLE DR

MATCH LINE  
SEE THIS SHEET

LOT 29  
BUILDING PERMIT PLOT PLAN

**REVISED**  
Date: \_\_\_\_\_  
Comments: Plot plan showing septic tank 20' from alleyway

NO GRADING IN SEWAGE DISPOSAL AREA. LOD SHOWN IS FOR THE INSTALLATION OF THE INITIAL SEPTIC SYSTEM ONLY.

A PUMP WILL BE REQUIRED TO SEWER THE BASEMENT

STORMWATER MANAGEMENT ON LOT 29 WILL BE PROVIDED THROUGH THE USE OF DRYWELLS AND WIDE GRASS SHOULDER.

THE FRONT DOOR FOR LOT 29 FACES NORTH

WALKER MEADOWS

LOT 29

12229 MAYAPPLE DR.  
PLAT #24974-24979

DDC JOB#: 12064.3

DATE: 09/11/2020

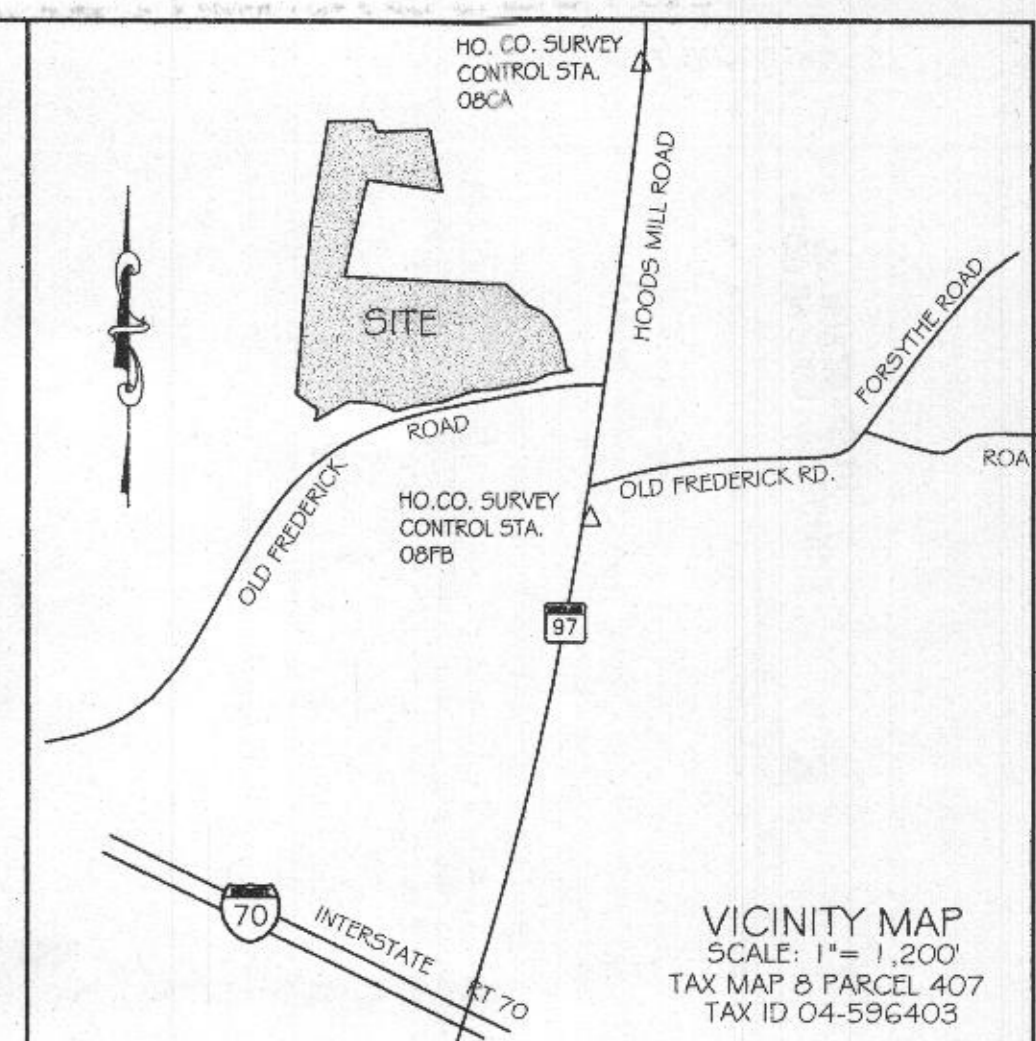
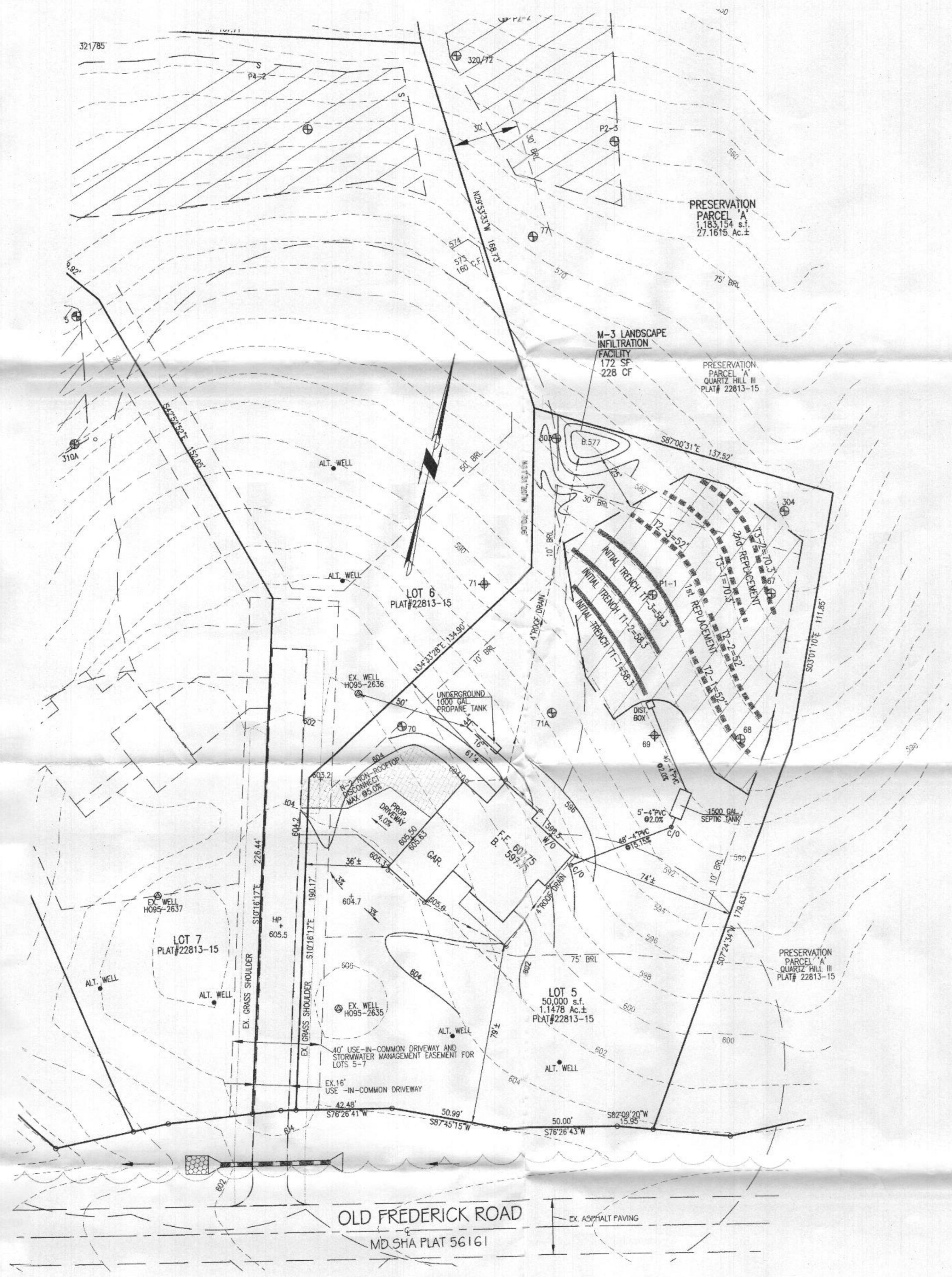
SCALE: AS SHOWN

CHK. BY: WRD

DRN. BY: LJC/AJS

Planners  
Surveyors  
Engineers  
Landscape Architects

192 East Main Street  
Westminster, MD 21157  
410.386.0560  
410.386.0564 (Fax)  
DDC@DDCinc.us  
www.DDCinc.us



GENERAL NOTES:

- OWNER: CATONSVILLE HOMES, LLC  
DEED REFERENCE: LIBER 17357 FOLIO 33  
DATE: DECEMBER 30, 2016  
GRANTOR: QUARTZ HILL III, LLC
- TAX MAP: 8 GRID: 11 PARCEL: 407
- NEAREST POTABLE WATER SUPPLY: SYKESVILLE DISTANCE: 3.0 MILES ±
- THE SUBJECT PROPERTY IS LOCATED IN ZONE C (AREA OF MINIMAL FLOODING) AS PLOTTED BY SCALE ON NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 240044 0008B, DATED 12/4/86.
- TOPOGRAPHY & PLANIMETRIC FEATURES SHOWN HEREON TAKEN FROM COPYRIGHTED GIS DATA FROM HOWARD COUNTY, SUPPLEMENTED WITH FIELD LOCATIONS BY VANMAR ASSOCIATES, INC. CONTOUR INTERVAL IS 2 FEET. VERTICAL DATUM IS NAVD83.
- THE BASIS OF BEARINGS FOR THIS PLAN IS THE MARYLAND COORDINATE SYSTEM (NAD83/91) PER HOWARD COUNTY SURVEY CONTROL STATIONS 08PB & 08CA.
- THERE ARE NO WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THE PROPERTY BOUNDARY UNLESS OTHERWISE SHOWN HEREON.
- THE EXISTING WELLS SHOWN ON THIS PLAN HAVE BEEN FIELD LOCATED BY VANMAR ASSOCIATES AND ACCURATELY SHOWN.
- SOIL TYPES: BAILE (BaA), CODORUS & HATBORO (Co), GLENELG (GgB, GgC), GLENVILLE (GmB), GLENVILLE-BAILE (GmB), MANOR (MaB, MaC, MaD), MANOR-BRINKLOW (MkF), HOWARD COUNTY SOILS MAP GRID NO. 270 & 271.
- ZONING DISTRICT: RCD02
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREAS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
- ANY CHANGES TO A PRIVATE SEWAGE AREA WILL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.

THIS AREA DESIGNATES A PRIVATE SEWAGE AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY MARYLAND STATE DEPARTMENT OF ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL. IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.

(PASSED) PERCOLATION TEST SITE:

(FAILED) PERCOLATION TEST SITE:

PROPOSED WELL:

PROPOSED HOUSE SITE:

THE PURPOSE OF THIS REVISED PERCOLATION CERTIFICATION PLAN IS TO REVISE THE 10,000 S.F. SEPTIC AREA ON LOT 5

APPROVED:  
FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS,  
HOWARD COUNTY HEALTH DEPARTMENT

*Howard County Health Officer*  
HOWARD COUNTY HEALTH OFFICER DATE: 6/2/2020

OWNER / DEVELOPER:  
CATONSVILLE HOMES  
11175 STRATFIELD CT.  
MARRIOTTSVILLE, MD. 21104  
410-442-2211

PROFESSIONAL CERTIFICATION  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 18417, Expiration Date: 9-18-21.

DATE	REVISIONS
05/18/20	PER HD COMMENTS

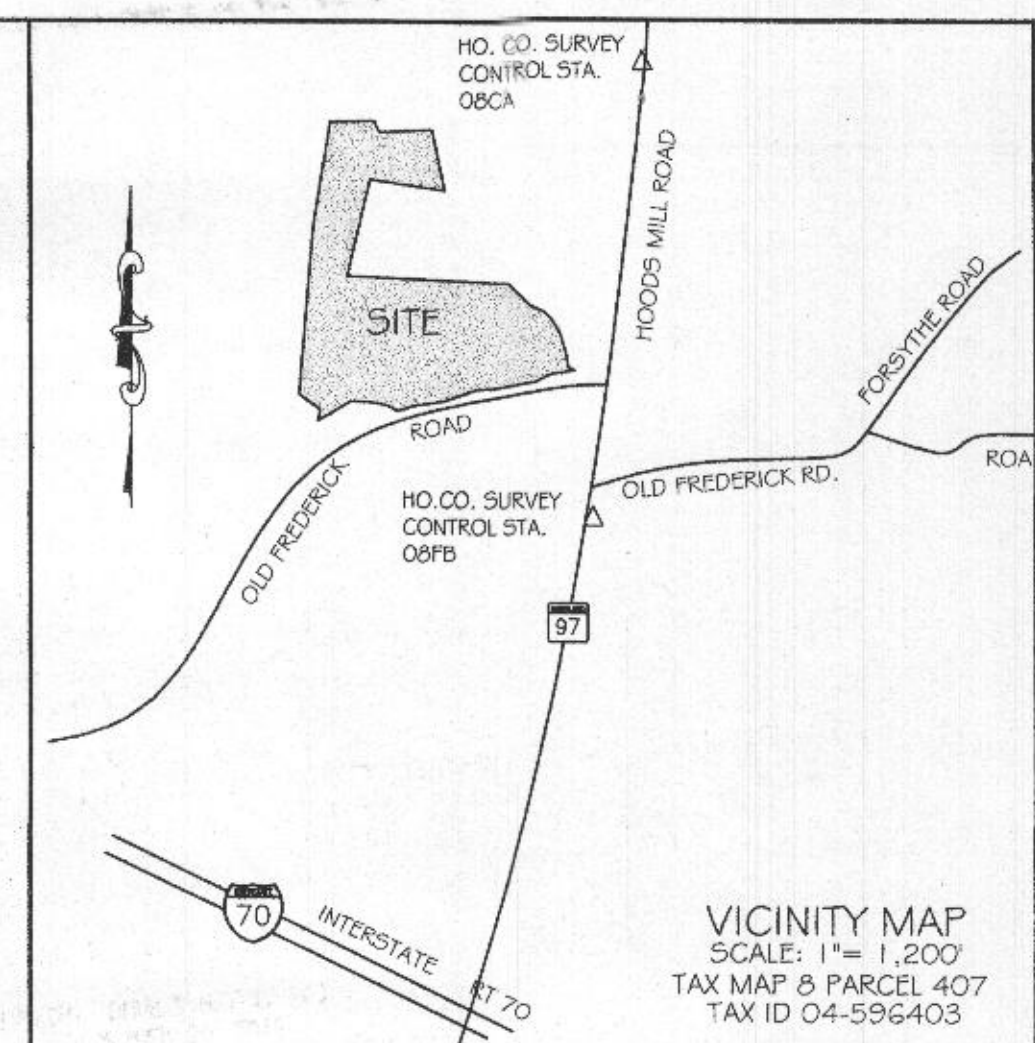
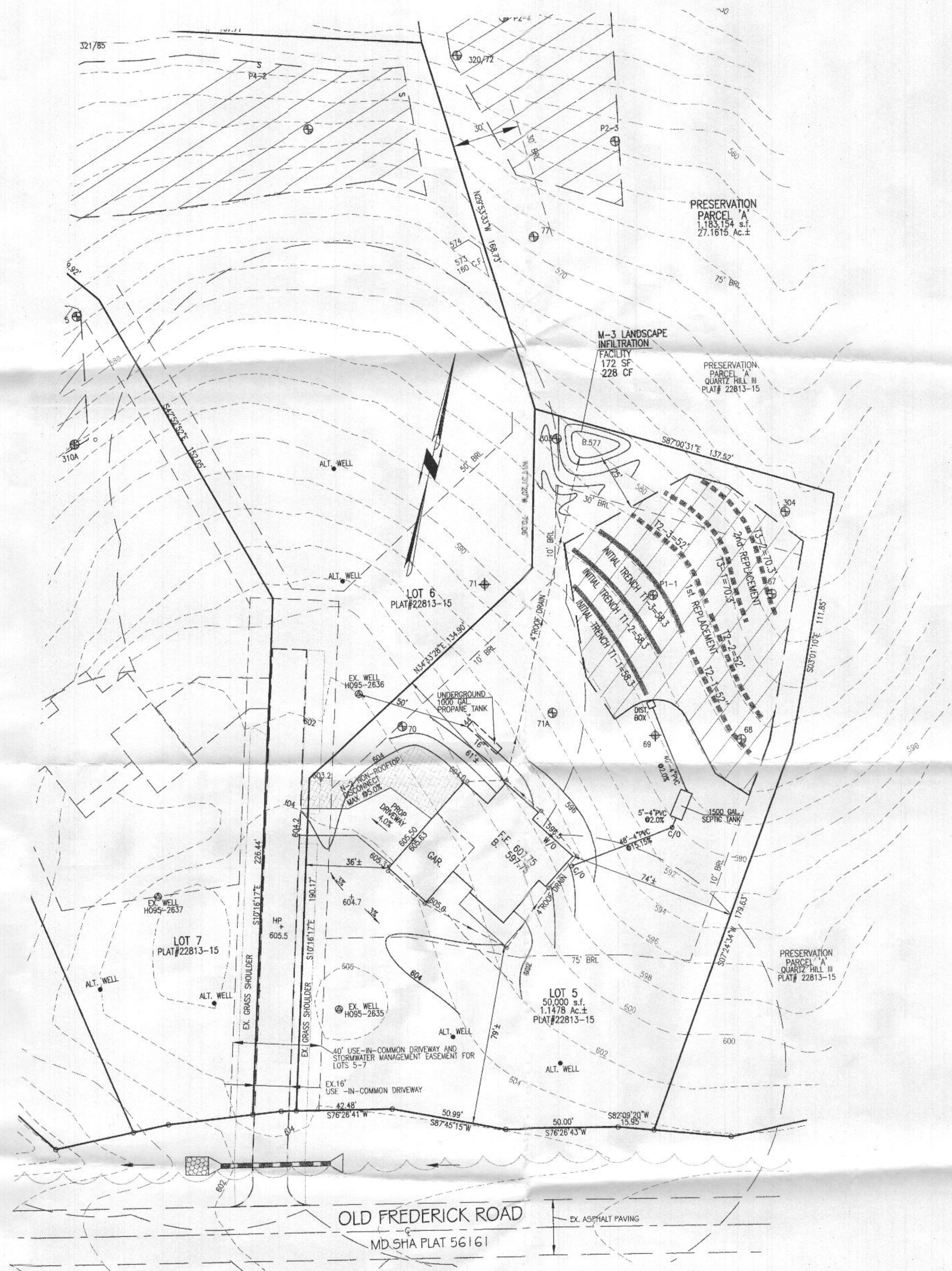


REVISED PERCOLATION CERTIFICATION PLAN  
14550 OLD FREDERICK ROAD  
LOT 5  
QUARTZ HILL III  
PLAT No. 22813-22815

14550 OLD FREDERICK ROAD  
FOURTH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
SCALE: 1" = 30' APRIL, 2020

VANMAR ASSOCIATES, INC.  
Engineers Surveyors Planners  
310 South Main Street Mount Airy, Maryland 21771  
(301) 829-2890 (301) 831-5015 (410) 549-2751  
Fax (301) 831-5603 ©Copyright, Latest Date Shown





GENERAL NOTES:

- OWNER: CATONVILLE HOMES, LLC  
DEED REFERENCE: LIBER 17357 FOLIO 33  
DATE: DECEMBER 30, 2016  
GRANTOR: QUARTZ HILL III, LLC
- TAX MAP: 8 GRID: 11 PARCEL: 407
- NEAREST POTABLE WATER SUPPLY: SYKESVILLE DISTANCE: 3.0 MILES ±
- THE SUBJECT PROPERTY IS LOCATED IN ZONE C (AREA OF MINIMAL FLOODING) AS PLOTTED BY SCALE ON NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 240044 0008B, DATED 12/4/86.
- TOPOGRAPHY & PLANIMETRIC FEATURES SHOWN HEREON TAKEN FROM COPYRIGHTED GIS DATA FROM HOWARD COUNTY, SUPPLEMENTED WITH FIELD LOCATIONS BY VANMAR ASSOCIATES, INC. CONTOUR INTERVAL IS 2 FEET. VERTICAL DATUM IS NAVD88.
- THE BASIS OF BEARINGS FOR THIS PLAN IS THE MARYLAND COORDINATE SYSTEM (NAD83/91) PER HOWARD COUNTY SURVEY CONTROL STATIONS 08FB & 08CA.
- THERE ARE NO WELLS OR SEPTIC SYSTEMS WITHIN 100' OF THE PROPERTY BOUNDARY UNLESS OTHERWISE SHOWN HEREON.
- THE EXISTING WELLS SHOWN ON THIS PLAN HAVE BEEN FIELD LOCATED BY VANMAR ASSOCIATES AND ACCURATELY SHOWN.
- SOIL TYPES: BAILE (BaA), CODORUS & HATBORO (Co), GLENELG (GgB, GgC), GLENVILLE (GmB), GLENVILLE-BAILE (GmB), MANOR (MoB, MoC, MoD), MANOR-BRINKLOW (MkF), HOWARD COUNTY SOILS MAP GRID NO. 270 & 271.
- ZONING DISTRICT: RCDED
- THE LOTS SHOWN HEREON COMPLY WITH THE MINIMUM OWNERSHIP WIDTH AND LOT AREAS REQUIRED BY THE MARYLAND DEPARTMENT OF THE ENVIRONMENT.
- ANY CHANGES TO A PRIVATE SEWAGE AREA WILL REQUIRE A REVISED PERCOLATION CERTIFICATION PLAN.

THIS AREA DESIGNATES A PRIVATE SEWAGE AREA OF AT LEAST 10,000 SQUARE FEET AS REQUIRED BY MARYLAND STATE DEPARTMENT OF ENVIRONMENT FOR INDIVIDUAL SEWAGE DISPOSAL.

IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWAGE IS AVAILABLE. THESE AREAS SHALL BECOME NULL AND VOID UPON CONNECTION TO PUBLIC SEWAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS. RECORDATION OF A MODIFIED SEWAGE AREA SHALL NOT BE NECESSARY.

(PASSED) PERCOLATION TEST SITE:

(FAILED) PERCOLATION TEST SITE:

PROPOSED WELL:

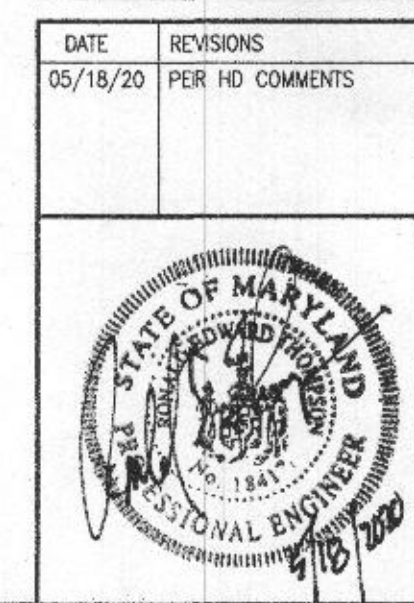
PROPOSED HOUSE SITE:

THE PURPOSE OF THIS REVISED PERCOLATION CERTIFICATION PLAN IS TO REVISE THE 10,000 S.F. SEPTIC AREA ON LOT 5

APPROVED:  
FOR PRIVATE WATER AND PRIVATE SEWAGE SYSTEMS.  
HOWARD COUNTY HEALTH DEPARTMENT

*Matthew M. Ross*  
HOWARD COUNTY HEALTH OFFICER

PROFESSIONAL CERTIFICATION  
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 18417, Expiration Date: 9-18-21.



OWNER / DEVELOPER:  
CATONVILLE HOMES  
11175 STRATHFIELD CT.  
MARRIOTTVILLE, MD 21104  
410-442-2211

REVISED PERCOLATION CERTIFICATION PLAN  
14550 OLD FREDERICK ROAD  
LOT 5  
QUARTZ HILL III  
PLAT No. 22813-22815

14550 OLD FREDERICK ROAD  
FOURTH ELECTION DISTRICT  
HOWARD COUNTY, MARYLAND  
SCALE: 1" = 30' APRIL, 2020

**VANMAR ASSOCIATES, INC.**  
Engineers Surveyors Planners  
310 South Main Street Mount Airy, Maryland 21771  
(301) 829-2890 (301) 831-5015 (410) 549-2751  
Fax (301) 831-5603 ©Copyright, Latest Date Shown

Menu Save Reset Cancel Help

Record Detail \* (This section is required)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Tanks	B21000116	01/15/2021
Description of Work		
SFD/ INSTALL (1) 1000GAL UNDERGROUND PROPANE TANK		

check spelling

Approved 1/20/21  
KZ

Address \* (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
12229	MAYAPPLE	DR	
Unit Type	Unit #	X Coordinate	Y Coordinate
-Select-		-76.93687	39.34056
City	State	Zip Code	Primary
MARRIOTTSVILLE	MD	21104	Yes

Parcel \* (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
11059559	66	0	0	0	0	RURAL
Legal Description						

check spelling

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	29	603000	5				
Plan Area	State Tax Id	Subdivision Name					
		Walker Meadows					
Section	Area	Tax Map					
		9					
Grid	Zoning District	ADC Map					
9-12	RR-DEO	4694-A6					
SDP No.	Final Plan No.	WP File No.					
	ECP-15-078						
Record Plat No.	WS Contract No.	FDP No.	Primary				
24974-2497			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	3-01	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

**Owner** \* (This section is required.)

Search      Reset      Clear

**Name \***  
 ESC WALKER MEADOWS

**Address Line 1**  
 1355 BEVERLY RD #240

**Address Line 2**  
 \_\_\_\_\_

**Address Line 3**  
 \_\_\_\_\_

<b>Mail City</b>	<b>Mail State</b>	<b>Mail Zip Code</b>
MCLEAN	VA	22101

**Phone**      **Primary**  
 4435454393      No

**E-mail**  
 \_\_\_\_\_

**Cell Number**      **Fax Number**  
 \_\_\_\_\_

**Professionals** (This section is not required.)

Search      Reset      Clear

<b>License # *</b>	<b>Business Name</b>		
20100081215	J E FEAGA AND SON EXCAVATING INC		
<b>License Type *</b>	<b>First Name</b>	<b>Middle Name</b>	<b>Last Name</b>
Propane Gs <input checked="" type="checkbox"/>	DENNIS		FEAGA
<b>Primary</b>	<b>Address Line 1</b>		
Yes <input checked="" type="checkbox"/>	1560 A-D CATON CENTER DR		
	<b>Address Line 2</b>		
	1625 HENRYTON RD		
	<b>City</b>	<b>State</b>	<b>ZIP Code</b>
	BALTIMORE	MD	21227
	<b>Phone 1</b>	<b>Phone 2</b>	<b>Fax</b>
	4104425623		4104425623
	<b>E-mail</b>		
	_____		

**Applicant** (This section is not required.)

Search      As Owner      As Lic. Prof      As Contact

<b>Type *</b>	<b>First Name</b>	<b>MI</b>	<b>Last Name</b>
Applicant <input checked="" type="checkbox"/>	MICHELLE		CLANCY
<b>Relationship</b>	<b>Full Name</b>		
Applicant <input checked="" type="checkbox"/>	MICHELLE CLANCY		
<b>Primary</b>	<b>Organization Name</b>		
Yes <input checked="" type="checkbox"/>	APPLIED & APPROVED PERMITS LLC		
	<b>Street Address</b>		
	P.O. BOX 310		
	<b>Address Line 2</b>		
	_____		
	<b>City</b>	<b>State</b>	<b>Zip Code</b>
	PERRY HALL	MD	21128
	<b>Phone</b>	<b>Cell</b>	<b>Fax</b>
	443-340-1229		
	<b>E-mail *</b>		
	MICHELLE@APPLIEDANDAPPROVED.COM		

Addl Info

Est Construction Cost *	Housing Units *	Number of Buildings *	Public Owned
3000	0	0	No
Construction Type			
--Select--			

TANK INFORMATION

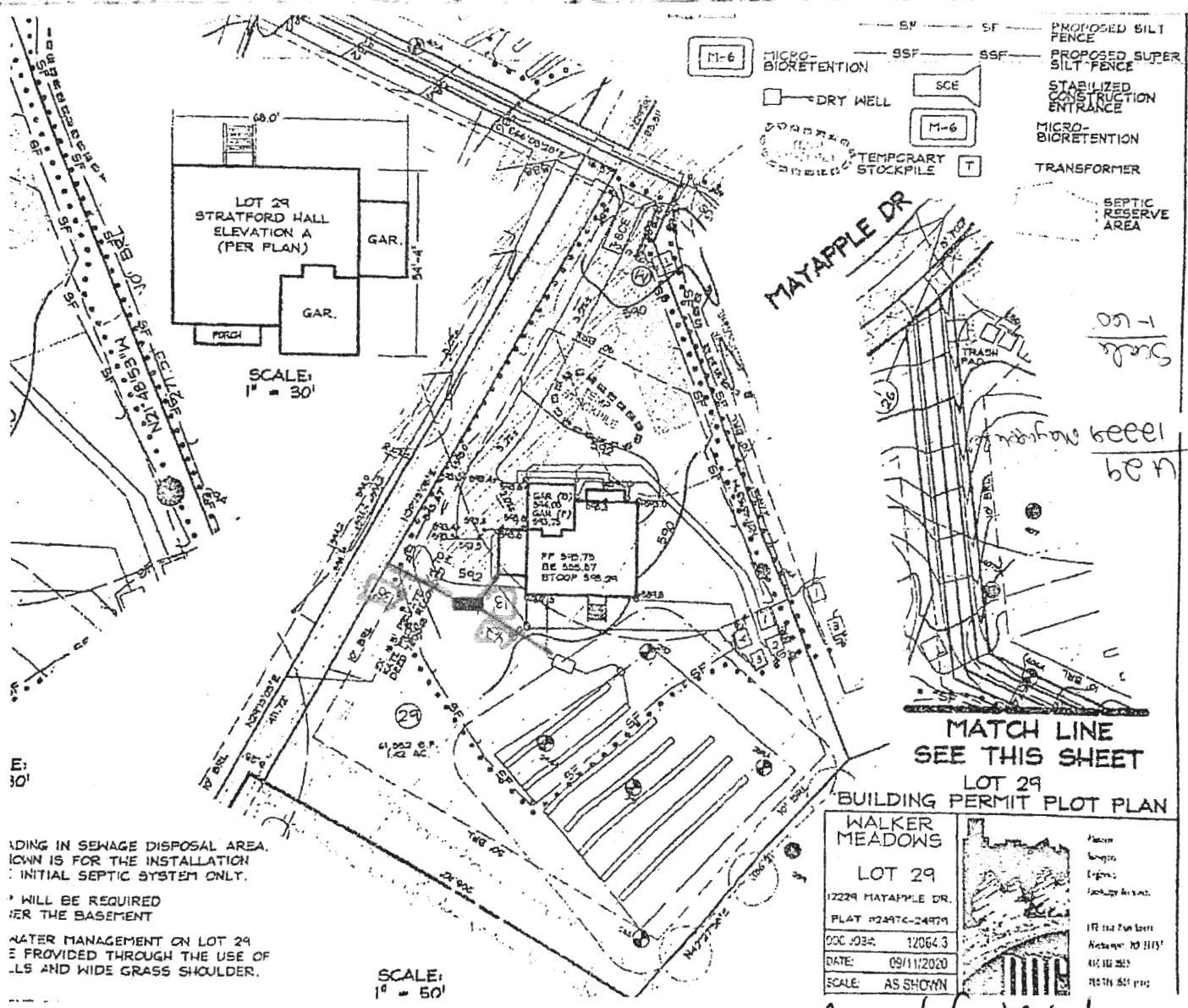
RESIDENTIAL TANK INFORMATION

Capital Project-No Fee *	Capital Project Number	Fee Exempt *	Roadside Tree Project Permit *	Roadside Tree Permit #
<input type="radio"/> Yes <input checked="" type="radio"/> No		<input type="radio"/> Yes <input checked="" type="radio"/> No	<input type="radio"/> Yes <input checked="" type="radio"/> No	
Existing Use	Number of Tanks Installed *	Number of Tanks Removed *		
SFD	1	0		
Water Supply	Sewage Disposal	Expiration Date	Relocate Existing Tank *	
Private	Private	7/15/2021	0	

PAYMENT INFORMATION

Check 1	Payee 1	Check 2	Payee 2	SAP Doc No	SAP Entered

Submit Cancel



LOADING IN SEWAGE DISPOSAL AREA.  
 ICWN IS FOR THE INSTALLATION  
 INITIAL SEPTIC SYSTEM ONLY.

WILL BE REQUIRED  
 FOR THE BASEMENT

WATER MANAGEMENT ON LOT 29  
 BE PROVIDED THROUGH THE USE OF  
 CURBS AND WIDE GRASS SHOULDER.

SCALE:  
 1" = 50'

WALKER MEADOWS  
 LOT 29  
 12229 MAYAPPLE DR.  
 PLAT #2497C-2497D  
 DOC #932 120643  
 DATE: 09/11/2020  
 SCALE: AS SHOWN

11/20/21

Approved for LP tank  
 B21000116 RL 1/20/21