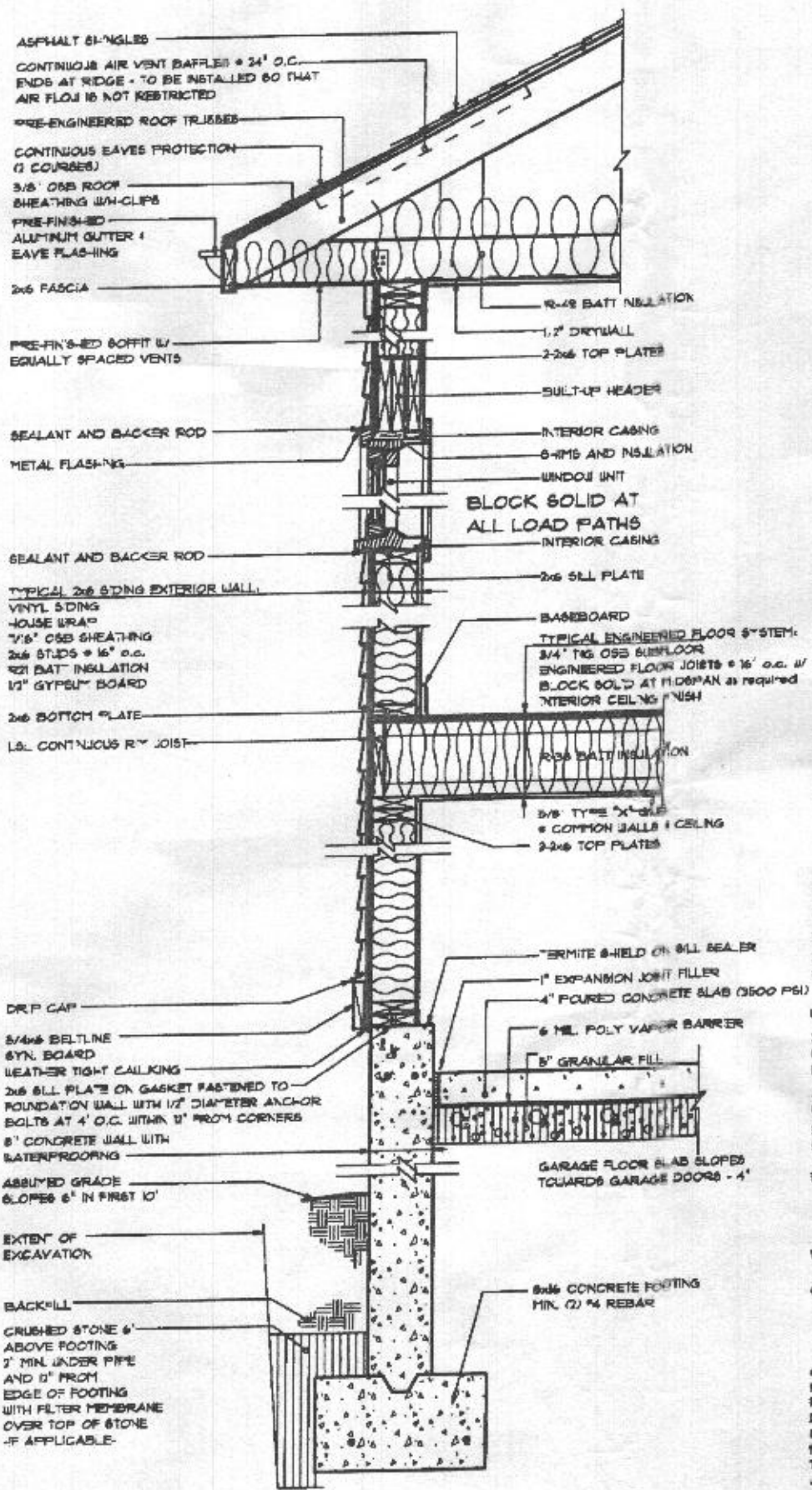
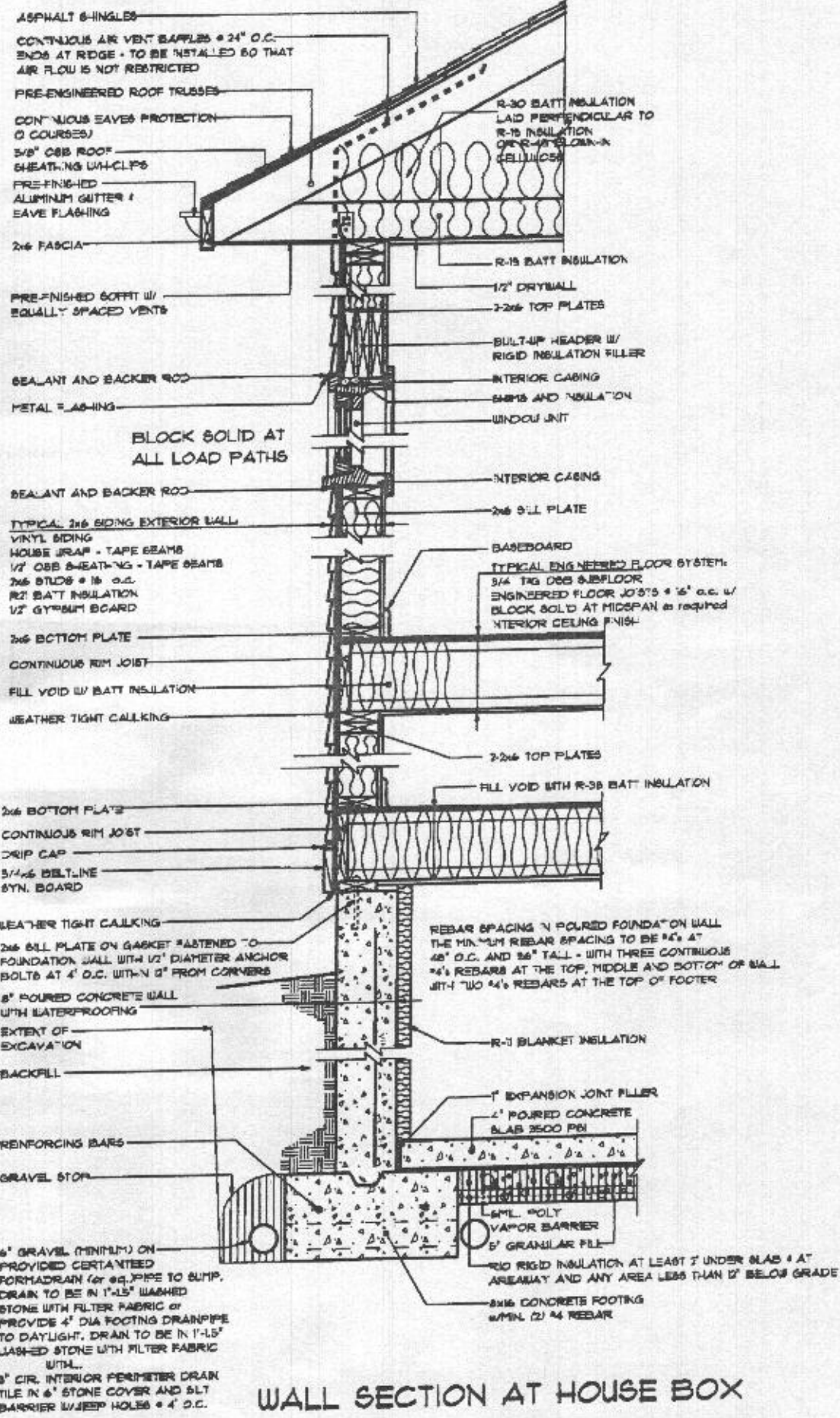


I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland, License Number 244678, Expiration Date: 1/30/2011.

Jonathan Morris  
License Number #14678



WALL SECTION AT GARAGE



WALL SECTION AT HOUSE BOX

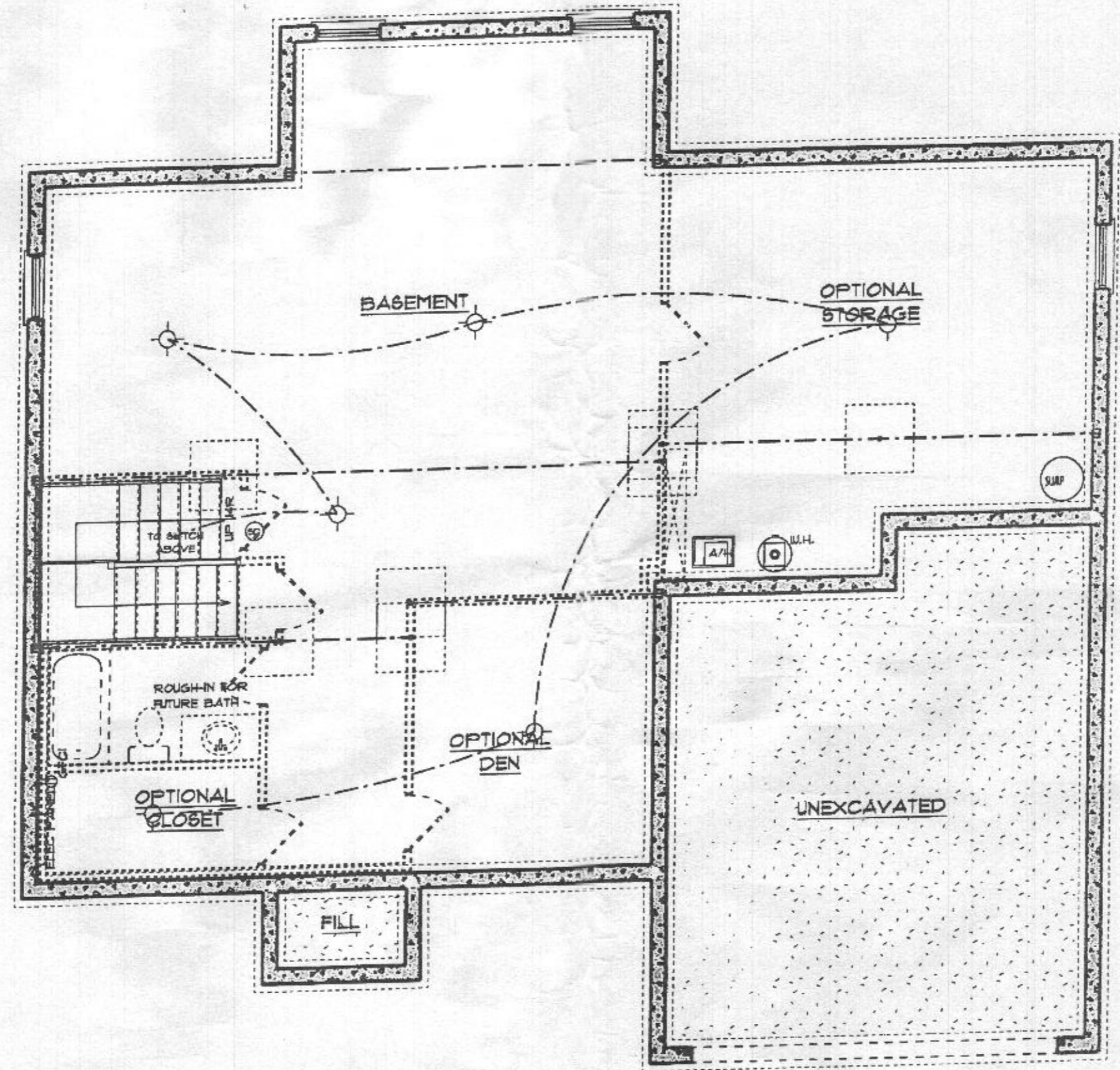
**BURKARD HOMES, LLC**  
5300 DORSEY HALL DRIVE - SUITE 102  
ELLCOTT CITY, MARYLAND 21042  
240-375-1052

**Seneca Base Plan**  
SCALE: 3/16" = 1'-0" PRINT: Monday, April 01, 2013  
REVISED BASEP.SKT  
84-38-18

WALL  
SECTIONS  
**5.10**

I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland. License Number: 414678 Expiration Date: 6/30/2018.

Jonathan Evers License Number: 414678



**ELECTRICAL NOTES**

- 1) SEE FLOOR PLANS FOR TYP. NOTES AND DIMENSIONS
- 2) BASEMENT WINDOW AND DOOR LOCATIONS AND SIZES TO BE DETERMINED AT PRECON.
- 3) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, H/W/H, A/H AND OTHER FEATURES ARE SUBJECT TO BUILDER'S DISCRETION ON SITE
- 4) PROVIDE SMOKE DETECTORS AS REQ'D BY LOCAL CODE, WIRED TO A NEARBY CIRCUIT (WITH BATTERY BACK-UP) AND INTERCONNECTED FOR SIMULTANEOUS ACTIVATION.
- 5) THESE DRAWINGS ARE SCHEMATIC ONLY. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL ELECTRICAL SYSTEMS. ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND ALL APPLICABLE CODES. FIXTURES AND APPARATUS ARE SELECTED BY THE BUILDER AND SHALL BE UL APPROVED.

ALL BEDROOMS PROTECTED BY ARC FAULT BREAKER - PANEL

**ELECTRICAL LEGEND**

⊙	DUPLEX RECEPT.	⊙	CEILING MOUNT LIGHT FIXTURE
⊕	GROUND FAULT CIRCUIT INTERRUPTER	⊕	CEILING LIGHT PULL CHAIN
⊙	DUPLEX OUTLET HALF SWITCHED	⊙	RECESSED LIGHT FIXTURE
⊙	120 VOLT DUPLEX OUTLET	⊙	WALL MOUNTED LIGHT FIXTURE
⊙	DUPLEX OUTLET 4" A.F.P.	⊕	FLUORESCENT LIGHT FIXTURE
S	SINGLE POLE SWITCH	⊕	CEILING FAN
↔	3-WAY SWITCH	⊕	TELEPHONE
↔	4-WAY SWITCH	⊕	TELEVISION
⊕	DIMMER SWITCH	⊕	THERMOSTAT
⊕	SMOKE DETECTOR	⊕	DOOR CHIME
⊕	BATH FAN 50 CFM		

**BURKARD HOMES, LLC**  
 5300 DORSEY HALL DRIVE - SUITE 102  
 ELLICOTT CITY, MARYLAND 21042  
 240-375-1052

**Seneca Base Plan**  
 SCALE: 3/16" = 1'-0" PRINT: Monday, April 01, 2015  
 14-30-13 REVISED BASE SET  
**FOUNDATION ELECTRICAL**  
**E2.01**

I certify that these documents were prepared or approved by me, and that I am a duly licensed electrical architect under the laws of the State of Maryland, License Number #14676, Expiration Date: 4/30/2018.

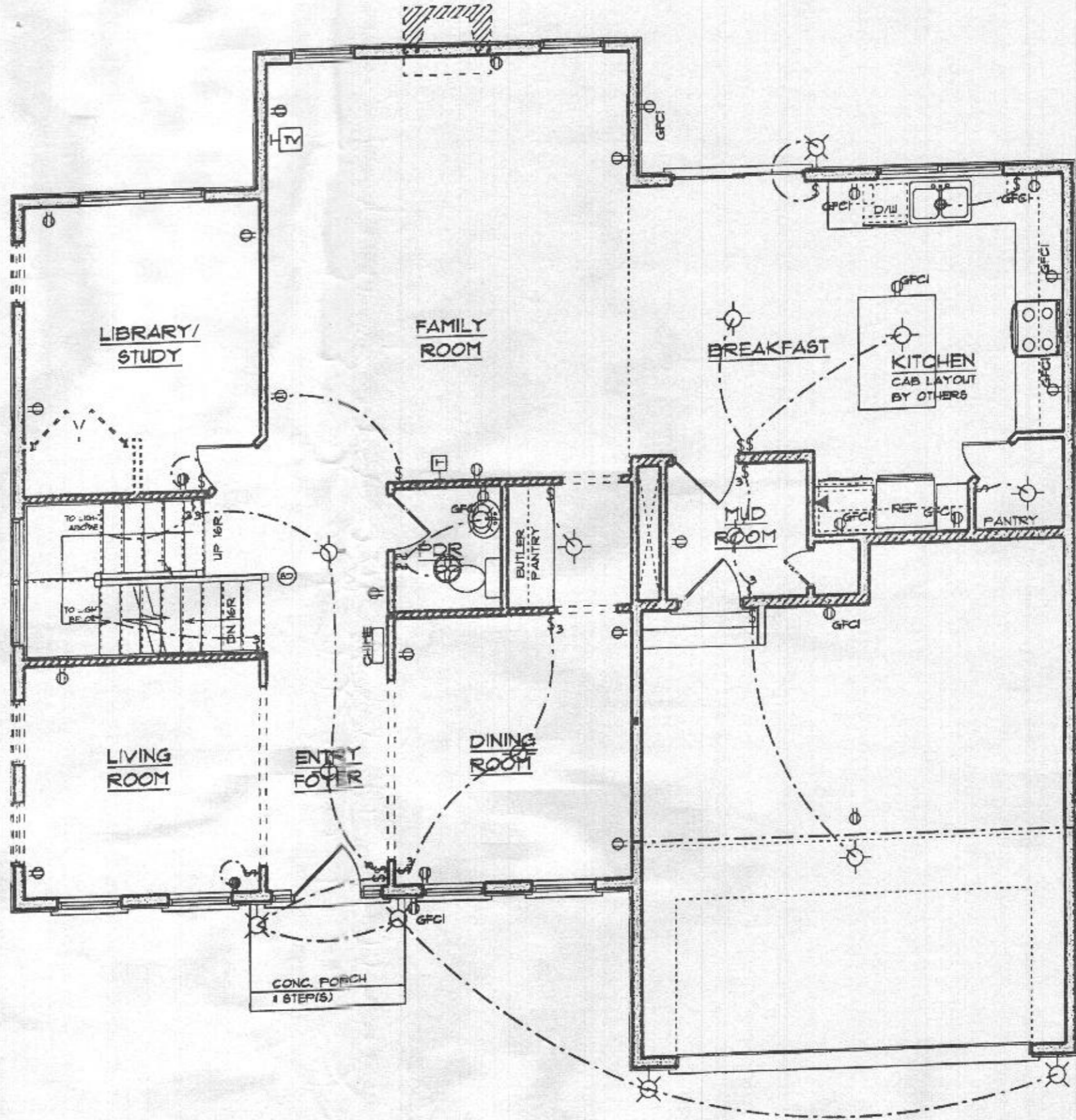
Jonathan Stern  
License Number P14676

**ELECTRICAL NOTES**

- 1) SEE FLOOR PLANS FOR TYP. NOTES AND DIMENSIONS
- 2) BASEMENT WINDOW AND DOOR LOCATIONS AND SIZES TO BE DETERMINED AT PRECON.
- 3) ALL LOCATIONS FOR HVAC, SUMP PUMPS, ROUGH-INS, HAVH, AVH AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE
- 4) PROVIDE SMOKE DETECTORS AS REQ'D BY LOCAL CODE, WIRED TO A NEARBY CIRCUIT (WITH BATTERY BACK-UP) AND INTERCONNECTED FOR SIMULTANEOUS ACTIVATION.
- 5) THESE DRAWINGS ARE SCHEMATIC ONLY. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL ELECTRICAL SYSTEMS. ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND ALL APPLICABLE CODES. FIXTURES AND APPARATUS ARE SELECTED BY THE BUILDER AND SHALL BE UL APPROVED.

ALL BEDROOMS PROTECTED BY ARC FAULT BREAKER - PANEL

ELECTRICAL LEGEND			
⊕	DUPLEX RECEPT.	⊙	CEILING MOUNT LIGHT FIXTURE
⊕	GFCI GROUND FAULT CIRCUIT INTERRUPTER	⊙	CEILING LIGHT PULL CHAIN
⊕	DUPLEX OUTLET HALF SWITCHED	⊙	RECESSED LIGHT FIXTURE
⊕	200 VOLT DUPLEX OUTLET	⊙	WALL MOUNTED LIGHT FIXTURE
⊕	DUPLEX OUTLET 40' A.F.P.	⊙	FLUORESCENT LIGHT FIXTURE
⊕	SINGLE POLE SWITCH	⊙	CEILING FAN
⊕	3-WAY SWITCH	⊙	TELEPHONE
⊕	4-WAY SWITCH	⊙	TELEVISION
⊕	DIMMER SWITCH	⊙	THERMOSTAT
⊕	SMOKE DETECTOR	⊙	DOOR CHIME
⊕	BATH FAN 30 CFM		



**BURKARD HOMES, LLC**  
5300 DORSEY HALL DRIVE - SUITE 102  
ELLICOTT CITY, MARYLAND 21042  
240-375-1052

**Seneca Base Plan**  
SCALE: 3/16" = 1'-0"  
04-30-18  
REVISED BASE SET  
PRINT: Monday, April 01 2019  
1ST FLOOR ELECTRICAL  
**E3.01**

I certify that these documents were prepared or approved by me, and that I am a duly licensed professional architect under the laws of the State of Maryland. License Number #14476 Expiration Date: 4/30/2018.

Jonathan Altem License Number #14476

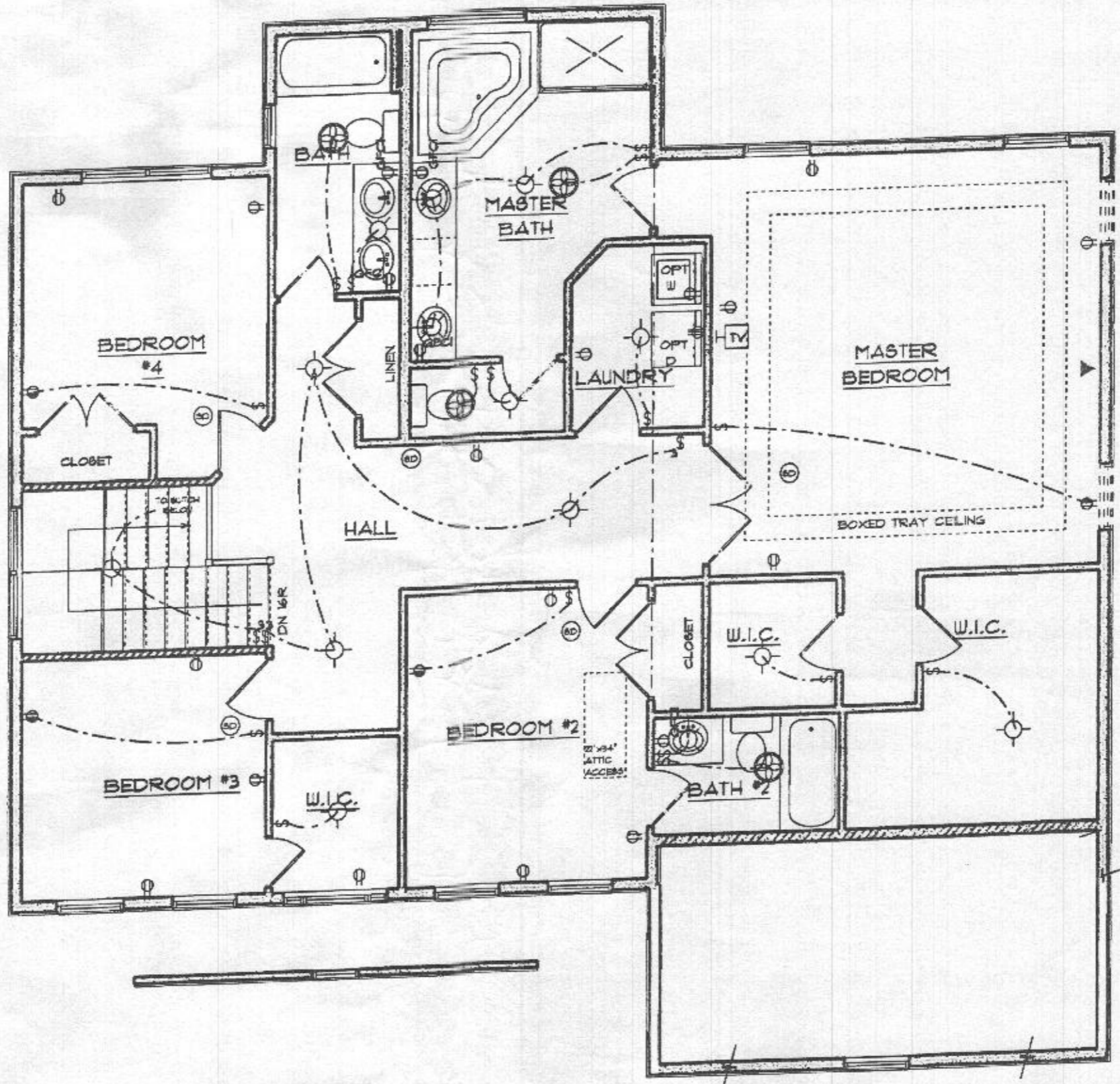
**ELECTRICAL NOTES**

- 1) SEE FLOOR PLANS FOR TYP. NOTES AND DIMENSIONS
- 2) BASEMENT WINDOW AND DOOR LOCATIONS AND SIZES TO BE DETERMINED AT PRECON.
- 3) ALL LOCATIONS FOR HVAC, BUMP PUMPS, ROUGH-INS, H/W/H, A/H AND OTHER FEATURES ARE SUBJECT TO BUILDER DISCRETION ON SITE
- 4) PROVIDE SMOKE DETECTORS AS REQ'D BY LOCAL CODE. WIRED TO A NEARBY CIRCUIT (WITH BATTERY BACK-UP) AND INTERCONNECTED FOR SIMULTANEOUS ACTIVATION.
- 5) THESE DRAWINGS ARE SCHEMATIC ONLY. THE ELECTRICAL CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND INSTALLATION OF ALL ELECTRICAL SYSTEMS. ALL ELECTRICAL WORK SHALL MEET THE REQUIREMENTS OF THE NATIONAL ELECTRICAL CODE, THE LOCAL POWER COMPANY AND ALL APPLICABLE CODES. FIXTURES AND APPARATUS ARE SELECTED BY THE BUILDER AND SHALL BE UL APPROVED.

ALL BEDROOMS PROTECTED BY ARC FAULT BREAKER @ PANEL

**ELECTRICAL LEGEND**

⊕	DUPLEX RECEPT.	⊙	CILING MOUNT LIGHT FIXTURE
GFC	GROUND FAULT CIRCUIT INTERRUPTER	⊙	CILING LIGHT PULL CHAIN
⊕	DUPLEX OUTLET HALF SWITCHED	⊙	RECESSED LIGHT FIXTURE
⊕	220 VOLT DUPLEX OUTLET	⊙	WALL MOUNTED LIGHT FIXTURE
⊕	DUPLEX OUTLET @ 4" A.P.F.	⊙	FLUORESCENT LIGHT FIXTURE
⊕	SINGLE POLE SWITCH	⊙	CILING FAN
⊕	3-WAY SWITCH	⊙	TELEPHONE
⊕	4-WAY SWITCH	⊙	TELEVISION
⊕	20A DIMMER SWITCH	⊙	THERMOSTAT
⊕	SMOKE DETECTOR	⊙	DOOR CHIME
⊕	BATH FAN @ 60 CFM		



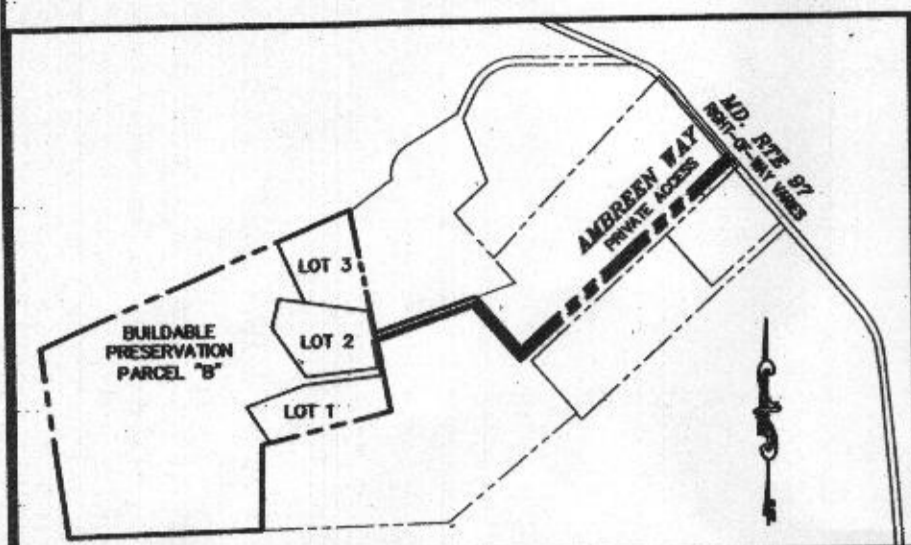
**BURKARD HOMES, LLC**  
 5300 DORSEY HALL DRIVE - SUITE 102  
 ELLICOTT CITY, MARYLAND 21042  
 240-375-1052

**Seneca Base Plan**  
 SCALE: 3/16" = 1'-0" PRINT: Monday, April 01, 2018  
 04-30-18 REVISED BASE SET  
**2ND FLOOR ELECTRICAL**  
**E4.01**

**SOILS TABLE (WITHIN LOD)**

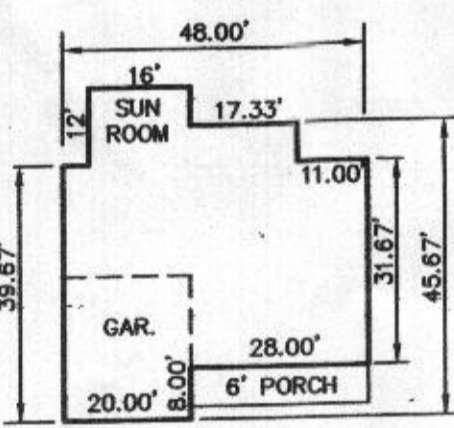
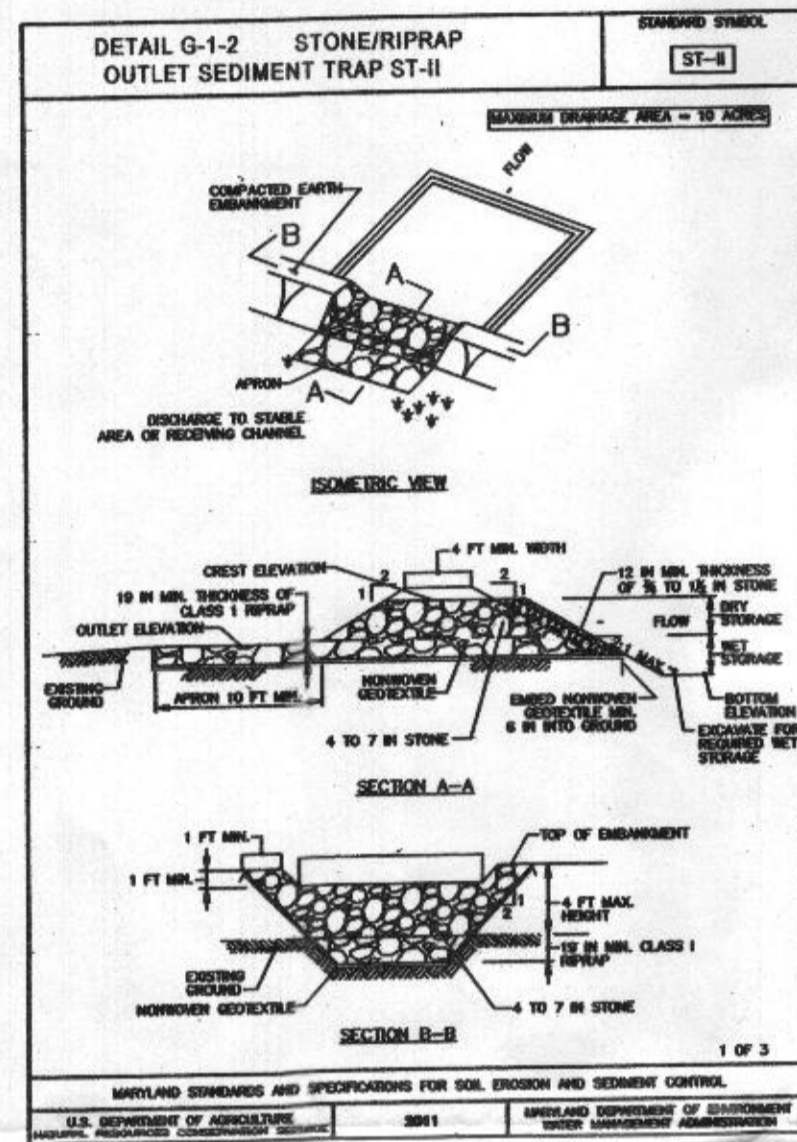
SYMBOL	RATING	NAME	K FACTOR	MAP #
MgB	(B)	MANOR LOAM, 3-8% SLOPES	.24	3
MgC	(B)	MANOR LOAM, 8-15% SLOPES	.24	3
GmC	(C)	GLENVILLE SILT LOAM, 8-15% SLOPE	.24	3

SWM FOR THIS LOT IS PROVIDED BY MICRO-BIORETENTION FACILITY, IT WAS APPROVED UNDER F-17-036



**LOCATION PLAN**

SCALE: 1"=600'



**SENECA I**

SCALE: 1"=30'

**ENGINEER'S CERTIFICATE**  
I CERTIFY THAT THIS PLAN FOR EROSION AND SEDIMENT CONTROL REPRESENTS A PRACTICAL AND WORKABLE PLAN BASED ON MY PERSONAL KNOWLEDGE OF THE SITE CONDITIONS AND THAT IT WAS PREPARED IN ACCORDANCE WITH THE REQUIREMENTS OF THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF ENGINEER: SAMER A. ALOMER, P.E.  
DATE: 04/14/2021

**DEVELOPER'S CERTIFICATE**  
I CERTIFY THAT ALL DEVELOPMENT AND CONSTRUCTION WILL BE DONE ACCORDING TO THIS PLAN, AND THAT ANY RESPONSIBLE PERSONNEL INVOLVED IN THE CONSTRUCTION PROJECT WILL HAVE A CERTIFICATE OF ATTENDANCE AT A DEPARTMENT OF THE ENVIRONMENT APPROVED TRAINING PROGRAM FOR THE CONTROL OF SEDIMENT AND EROSION BEFORE BEGINNING THE PROJECT. HOWARD SOIL CONSERVATION DISTRICT IS AUTHORIZED TO CONDUCT PERIODIC ON-SITE INSPECTION.

SIGNATURE OF DEVELOPER: TM BURKARD  
DATE: 04/15/21

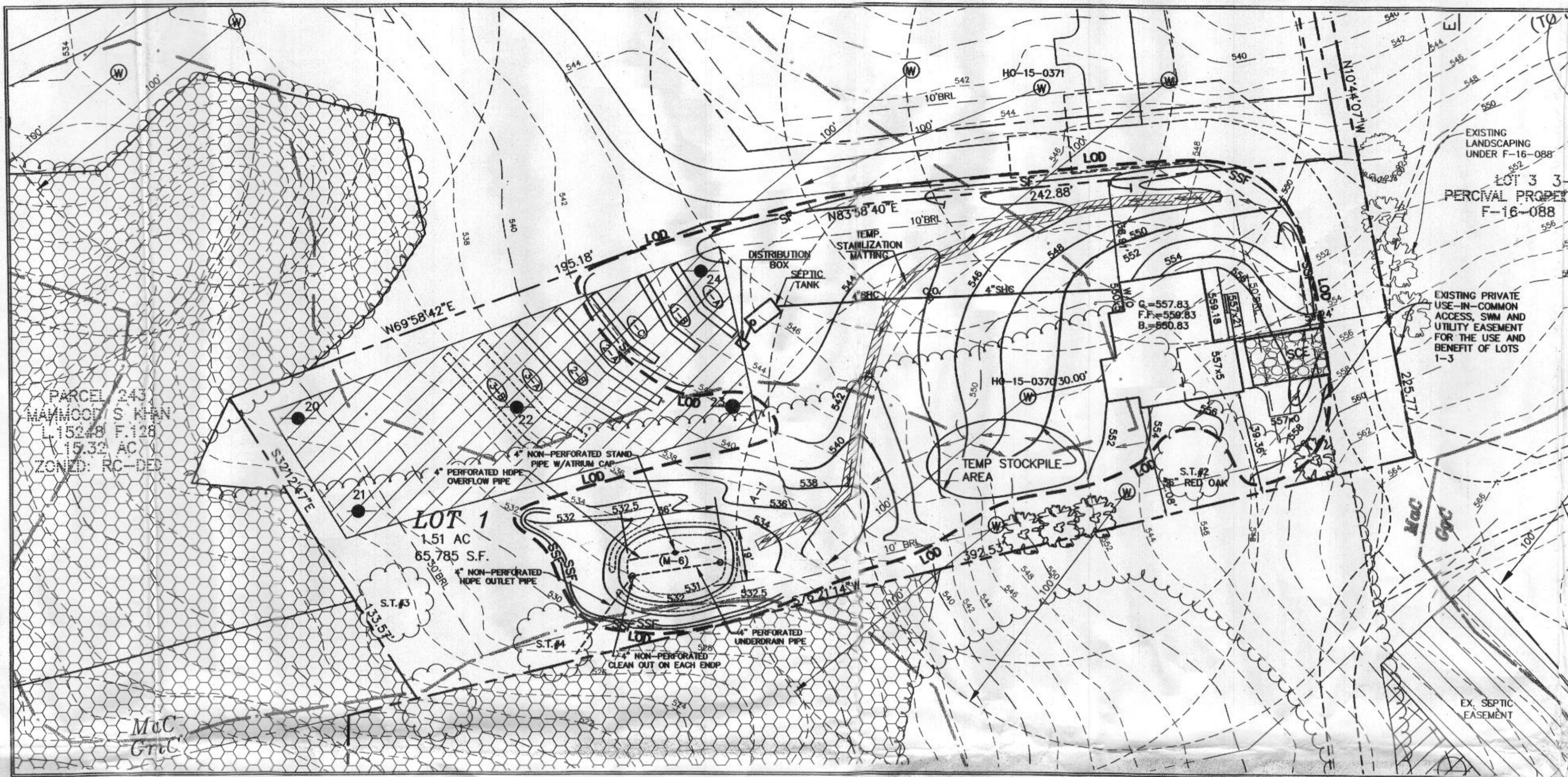
THIS DEVELOPMENT PLAN IS APPROVED FOR SOIL EROSION AND SEDIMENT CONTROL BY THE HOWARD SOIL CONSERVATION DISTRICT.

SIGNATURE OF HOWARD SOIL CONSERVATION DISTRICT: Alexander Bratecki  
DATE: 04/15/21

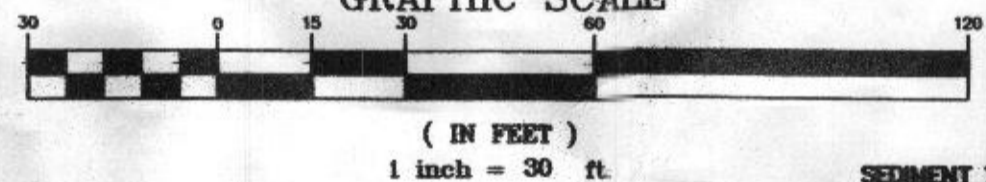
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 28859, EXP. DATE 08/30/21.



**OWNER/DEVELOPER**  
BURKARD HOMES, LLC  
5850 WATERLOO ROAD, SUITE 150  
COLUMBIA, MD 21045  
(410)375-1052

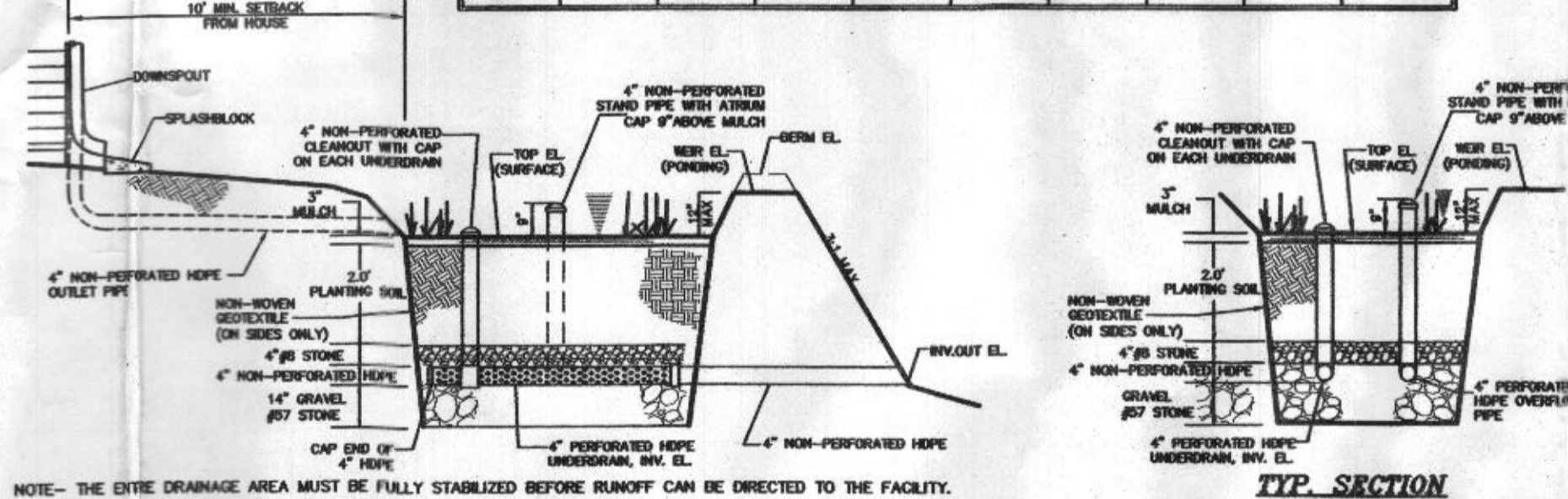


**GRAPHIC SCALE**

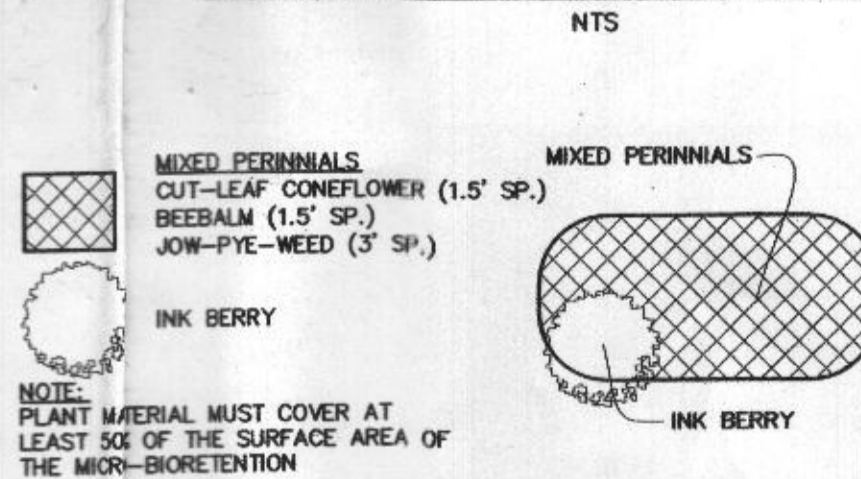


**MICRO-BIORETENTION SCHEDULE**

FACILITY	TOP EL. (SURFACE)	WER EL. (PONDING)	BERM EL.	INV. IN.	INV. OUT.	SURFACE AREA	PONDING AREA	PONDING DEPTH	GRAVEL DEPTH BELOW UNDERDRAN
MB-6	531.00	532.00	532.50	528.08	527.50	700 S.F.	930 S.F.	12"	14"



**TYP. MICRO-BIORETENTION (M-6) DETAIL**



**OPERATION AND MAINTENANCE SCHEDULE FOR MICRO-BIORETENTION (M-6)**

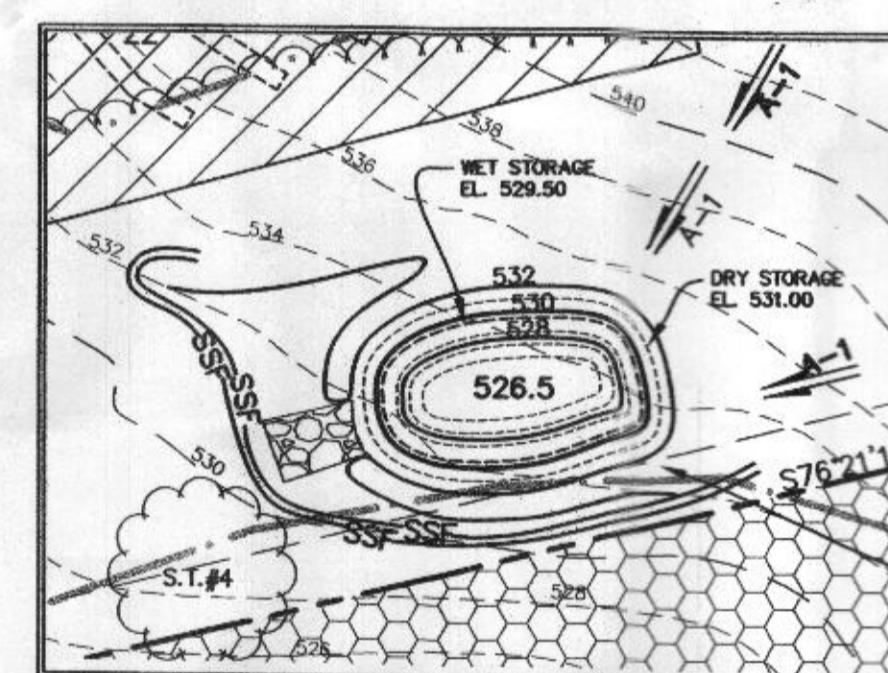
- THE OWNER SHALL MAINTAIN THE PLANT MATERIAL, MULCH LAYER AND SOIL LAYER ANNUALLY. MAINTENANCE OF MULCH AND SOIL IS LIMITED TO CORRECTING AREAS OF EROSION OR WASH OUT. ANY MULCH REPLACEMENT SHALL BE DONE IN THE SPRING. PLANT MATERIAL SHALL BE CHECKED FOR DISEASE AND INSECT INFESTATION AND MAINTENANCE WILL ADDRESS DEAD MATERIAL AND PRUNING. ACCEPTABLE REPLACEMENT PLANT MATERIAL IS LIMITED TO THE FOLLOWING: 2000 MARYLAND STORMWATER DESIGN MANUAL, VOLUME II, TABLE A.4.1 AND 2.
- THE OWNER SHALL PERFORM A PLANT INSPECTION IN THE SPRING AND IN THE FALL OF EACH YEAR. DURING THE INSPECTION, THE OWNER SHALL REMOVE DEAD AND DISEASED VEGETATION CONSIDERED BEYOND TREATMENT. REPLACE DEAD PLANT MATERIAL WITH ACCEPTABLE REPLACEMENT PLANT MATERIAL. TREAT DISEASED TREES AND SHRUBS, AND REPLACE ALL DEFICIENT STAKES AND WIRES.
- THE OWNER SHALL INSPECT THE MULCH EACH SPRING. THE MULCH SHALL BE REPLACED EVERY TWO TO THREE YEARS. THE PREVIOUS MULCH LAYER SHALL BE REMOVED BEFORE THE NEW LAYER IS APPLIED.
- THE OWNER SHALL CORRECT SOIL EROSION ON AN AS NEEDED BASIS, WITH A MINIMUM OF ONCE PER MONTH AND AFTER EACH HEAVY STORM.

**LEGEND**

- PROPOSED CONTOURS
- PROPOSED SPOT ELEVATION
- LOD LIMIT OF DISTURBANCE (LOD)
- SF SILT FENCE
- SSF SUPER SILT FENCE
- SCB STABILIZED CONSTRUCTION ENTRANCE
- RL ROOF LEADER
- WELL
- PRIMARY SEPTIC TRENCH
- SECONDARY SEPTIC TRENCH
- TERTIARY SEPTIC TRENCH
- TEMP. STABILIZATION MATTING
- DRAINAGE AREA
- PASSED TEST PIT

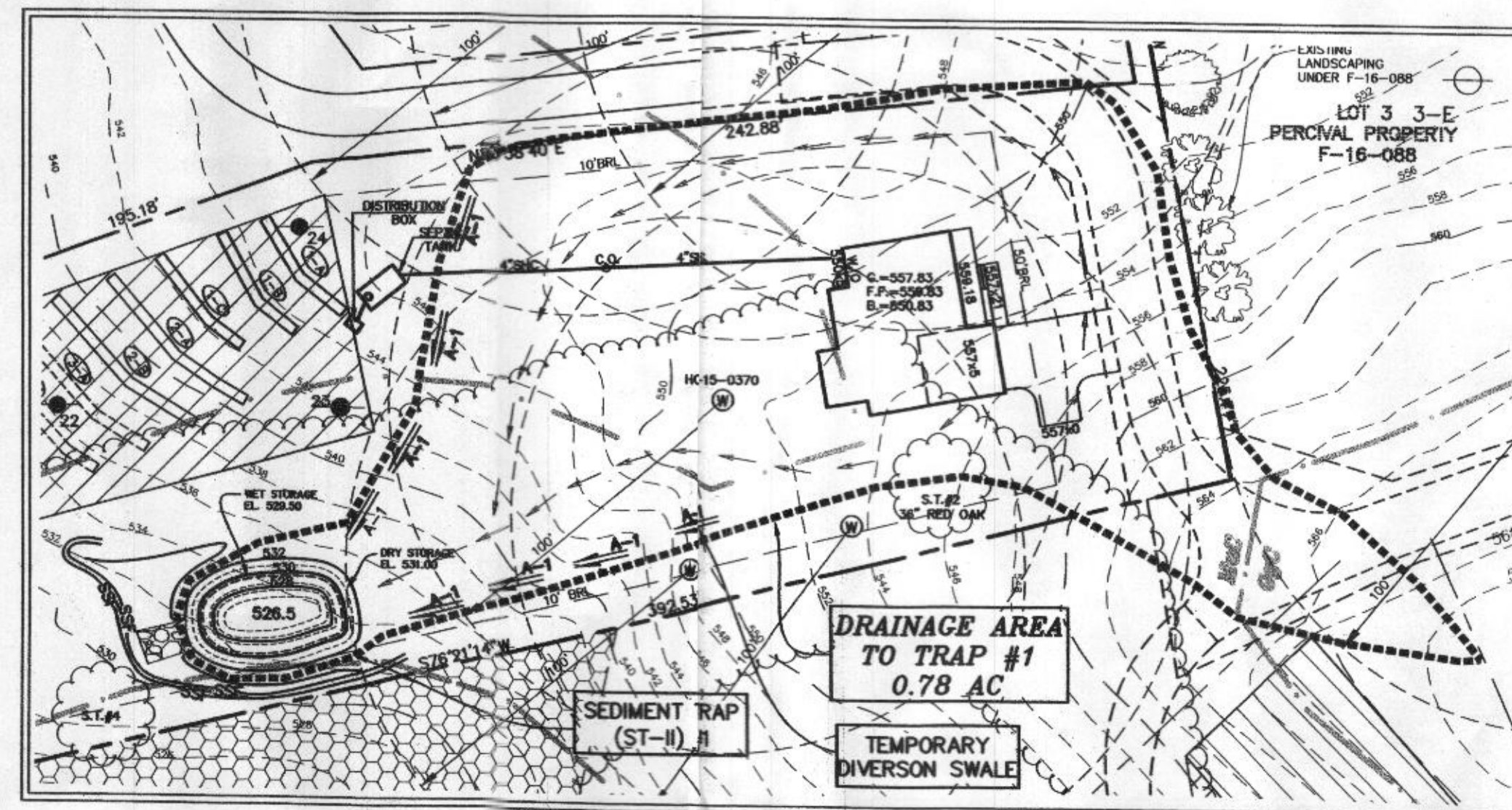
**SEDIMENT TRAP # (ST-I)**

DRAINAGE AREA: 0.73 AC  
TOTAL STORAGE REQUIRED: 2,880 C.F.  
TOTAL STORAGE PROVIDED: 2,880 C.F.  
WET STORAGE REQUIRED: 1,314 C.F.  
WET STORAGE PROVIDED: 1,360 C.F.  
DRY STORAGE REQUIRED: 1,314 C.F.  
DRY STORAGE PROVIDED: 1,360 C.F.  
EX. GROUND ELEV. @ OUTLET: 531.0  
BOTTOM ELEVATION: 526.5  
TOP OF EMBANKMENT ELEV.: 532.0  
WET STORAGE ELEV.: 529.5  
TOP OF EMBANKMENT WIDTH: 4'  
SIDE SLOPE: 2:1  
OUTLET PROTECTION LENGTH: 10'  
OUTLET PROTECTION DEPTH: 9'



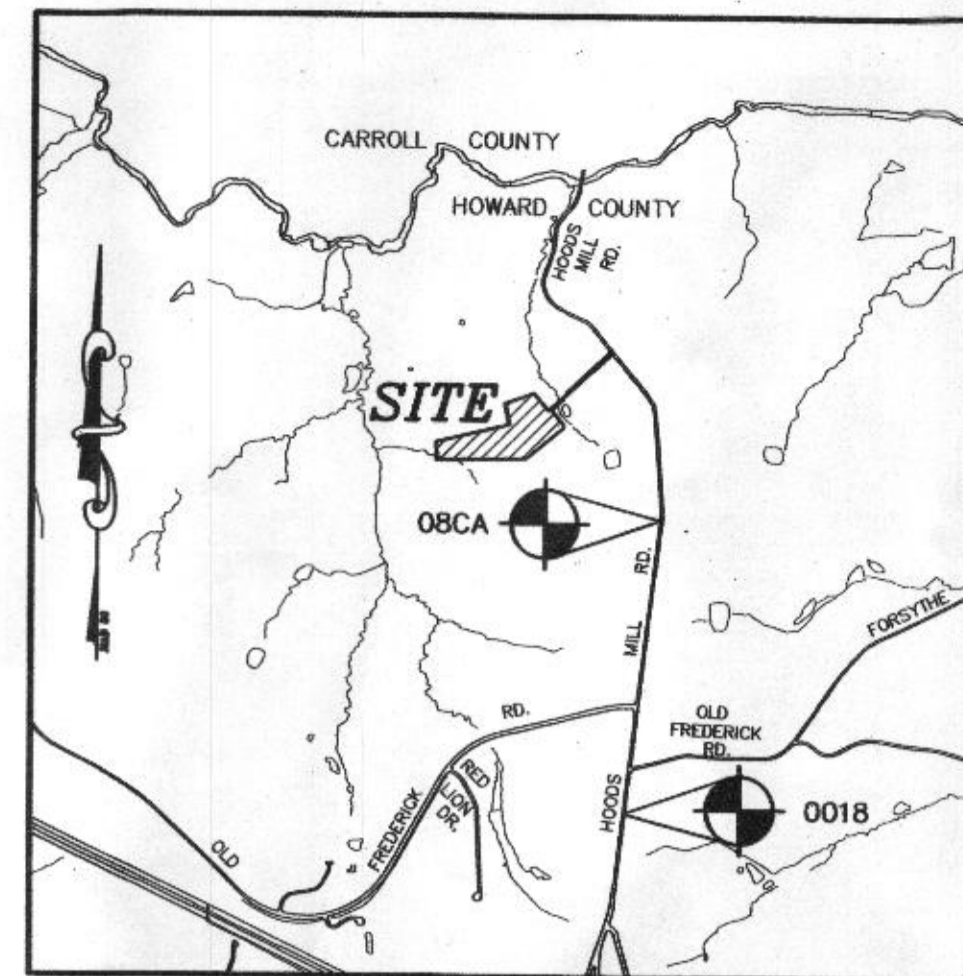
**SEDIMENT TRAP PLAN**

SCALE: 1"=30'



**SEDIMENT DRAINAGE AREA MAP**

SCALE: 1"=40'



**VICINITY MAP**

SCALE: 1"=2000'  
ADD MAP: 10 GRID: B-4

**GENERAL NOTES:**

- THE SUBJECT PROPERTY IS ZONED RC-DEO PER THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN.
- PARCEL BACKGROUND:**  
TAX MAP: 8  
PARCEL: 243  
LOT: 1  
DEED REFERENCE: 15246/128  
ELECTION DISTRICT: FOURTH  
ZONING: RR-DEO  
AREA: 1.51 AC±  
DPZ FILES: EC2-16-054, F-17-036  
ADDRESS: 14532 AMBREEN WOODS, COOKSVILLE, MD 21723
- TOPOGRAPHY FOR THE DEVELOPED AREAS IS BASED ON FIELD RUN SURVEY PERFORMED BY MILDENBERG, BOENDER & ASSOC., INC. ON OR ABOUT DECEMBER 2014.
- PRIVATE WELL AND SEPTIC WILL BE UTILIZED.
- THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF AT LEAST 10,000 SQ. FT. AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE EASEMENT. RECORDATION OF A MODIFIED EASEMENT SHALL NOT BE NECESSARY.
- ANY CHANGES TO THE LOCATION OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED PLAN MAY BE REQUIRED.
- THE MAXIMUM EARTH COVER OVER THE TANK IS THREE (3) FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
- THE WELL TAG # HO-15-0372 HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.
- ANY WELLS OR SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELL AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.
- COORDINATES BASED ON NAD '83 (HORIZONTAL) AND NAD '88 (VERTICAL) MARYLAND COORDINATE SYSTEM AS PROJECTED BY HOWARD COUNTY GEODETIC CONTROL STATIONS  
STA. No. 08CA N 610521.247 E 1308742.138 ELEV. 625.025  
STA. No. 0018 N 607697.318 E 1308424.256 ELEV. 626.856
- THIS PLAN IS SUBJECT TO THE AMENDED FIFTH EDITION OF THE SUBDIVISION AND LAND DEVELOPMENT REGULATIONS (COUNCIL BILL 45-2003). DEVELOPMENT OR CONSTRUCTION OF THESE LOTS MUST COMPLY WITH SETBACK AND BUFFER REGULATIONS IN EFFECT AT THE TIME OF SUBMISSION OF THE SITE DEVELOPMENT PLAN, WAIVER PETITION OR BUILDING/GRADING PERMIT.
- THERE ARE NO EXISTING STRUCTURES ON SITE.
- FOREST STAND DELINEATION AND ENVIRONMENTAL STUDIES HAVE BEEN PROVIDED UNDER F-17-036.

REVISED  
Date: 4/30/21 B20004124  
Comments: related well

Project	18-010	NOV. 2019	engineering	DAM	approval
Illustration				DAM	approval
Scale				1"=60'	SAA

date					
description					
revisions					

AMBREEN WOODS, LOT 1  
14532 AMBREEN WOODS, COOKSVILLE, MD 21723  
TAX MAP 08, GRID 06, PARCEL 243, ZONED: RC-DEO  
FOURTH ELECTION DISTRICT  
PLOT PLAN/GRADING PLAN

**MILDENBERG & ASSOC., INC.**  
Engineers Planners Surveyors  
7850-B Grace Drive, Columbia, MD 21044  
(410) 997-0286 Tel. (410) 997-0288 Fax.

Laura.

This 30' from well to  
house had to be re-  
plotted bc the Health  
Dept scaled it and it  
wasn't quite 30' !! ☹

Thanks

