



HOWARD COUNTY HEALTH DEPARTMENT

69558

DATE 6/10/21

P5

Received From

J + A Construction

PHONE #

For

Septic permit 14532
Annapolis way.

CASH

CHECK

NO.

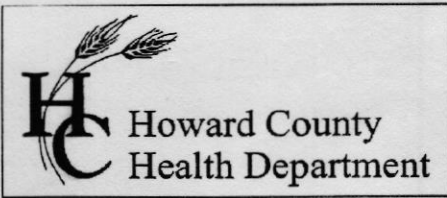
22939

Three hundred ninety six Dollars

\$ 396.00

Received By

J Kemp



Bureau of Environmental Health
 8930 Stanford Boulevard, Columbia, MD 21045
 Main: 410-313-2640 | Fax: 410-313-2648
 TDD 410-313-2323 | Toll Free 1-866-313-6300
www.hchealth.org
 Facebook: www.facebook.com/hocohealth

Maura J. Rossman, M.D., Health Officer

RECEIPT DATE: 6-10-21 **ONSITE SEWAGE DISPOSAL SYSTEM** P 29558

APPROVAL DATE: 6/25/2021 **PERMIT: CONSTRUCTION** A _____

PROPERTY ADDRESS: 14532 Ambreen Way

SUBDIVISION: Ambreen Woods LOT: 1 TAX ID: 04-600905

CONTRACTOR: J & A Construction EMAIL: _____

CONTRACTOR ADDRESS: 7991 Bennett Branch Road, Mt. Airy, MD 21771 PHONE: (301) 607-8480

PROPERTY OWNER: _____ EMAIL: _____

OWNER ADDRESS: _____ PHONE: _____

SEPTIC TANK SIZE (GALLONS): 2000 TANK MANUFACTURER: Mayer Brothers

PUMP MODEL: N/A PUMP SIZE N/A PUMP TANK CAPACITY: N/A

DISTRIBUTION SYSTEM: GRAVITY PRESSURE DOSED BEDROOMS: 5 APPLICATION RATE: 1.2

TRENCHES:	LINEAR FEET REQUIRED: <u>208.3</u>	INLET DEPTH: <u>4</u>
	TRENCH WIDTH: <u>3</u>	MAXIMUM BOTTOM DEPTH: <u>8</u>
	MINIMUM SPACE BETWEEN TRENCHES: <u>10</u>	EFFECTIVE AREA BEGINNING DEPTH: <u>4</u>
LOCATION:	PER APPROVED SITE PLAN. SEWAGE DISPOSAL AREA AND TANK LOCATIONS MUST BE STAKED BY LICENSED SURVEYOR PRIOR TO PRE-CONSTRUCTION INSPECTION.	
NOTES:		

ISSUED BY: DANA BERNARD ISSUE DATE: 6-14-21 EXPIRATION DATE: 6-10-22

- NOTE: CONTRACTOR MUST SCHEDULE A PRE-CONSTRUCTION INSPECTION PRIOR TO BEGINNING ANY INSTALLATION
- NOTE: CONTRACTOR MUST SCHEDULE AN INSPECTION AND GAIN APPROVAL OF ALL COMPONENTS PRIOR TO COVERING
- NOTE: STONE MUST BE APPROVED BY HEALTH DEPARTMENT AND GRAVEL TICKET MUST BE AVAILABLE FOR REVIEW.
- NOTE: WATERTIGHT TANKS REQUIRED
- NOTE: ALL PARTS OF SEPTIC SYSTEM SHALL BE AT LEAST 100 FEET DOWNGRADIENT FROM ANY WATER WELL
- NOTE: MANHOLE RISERS REQUIRED ON ALL SEPTIC TANKS AND PUMP CHAMBERS
- NOTE: AN ELECTRICAL PERMIT IS REQUIRED FOR INSTALLATION OF ANY ELECTRICAL COMPONENTS OF THE SYSTEM
 ELECTRICAL PERMIT ISSUED E _____
- NOTE: MDE RECOMMENDS SEPTIC TANKS, BAT, AND OTHER PRETREATMENT UNITS BE PUMPED AT A FREQUENCY ADEQUATE TO ENSURE THAT SOLIDS ARE NOT DISCHARGED TO THE DISPOSAL AREA

NEITHER THE HOWARD COUNTY COUNCIL NOR THE HEALTH DEPARTMENT IS RESPONSIBLE FOR THE SUCCESSFUL OPERATION OF ANY SYSTEM.

PERMITTEE RESPONSIBLE FOR OBTAINING FINAL APPROVAL ON THIS PERMIT.

CALL 410-313-1771 TO SCHEDULE INSPECTIONS.

NOT TO SCALE

* see attached

ROAD NAME

TRENCH/DRAINFIELD DATA

WIDTH	INLET	BOTTOM
3'	4'	8'
NUMBER OF TRENCHES		3'
TOTAL LENGTH		132'
ABSORPTION AREA		396 sq ft sidewall
DISTRIBUTION BOX LEVEL		SPED
DISTRIBUTION BOX BAFFLE		Cove
DISTRIBUTION BOX PORT		YES

SEPTIC TANK DATA

SEPTIC TANK 1 LEVEL

MANUFACTURER Babylon

CAPACITY 2000 GAL

SEAM LOC top

TANK LID DEPTH 3'

BAFFLES inlet + outlet

BAFFLE FILTER -

MANHOLE LOC inlet outlet

6" PORT LOC -

WATERTIGHT TEST -

SLOTTED yes

DATE ON LID 4-23-21

PUMP/SEPTIC TANK LEVEL

MANUFACTURER _____

CAPACITY _____ GAL

SEAM LOC _____

TANK LID DEPTH _____

BAFFLES _____

BAFFLE FILTER _____

MANHOLE LOC _____

6" PORT LOC _____

WATERTIGHT TEST _____

SLOTTED _____

DATE ON LID _____

PRE-CONSTRUCTION:

6/22/21 Three trenches staked out according to plan. Trench A restaked to match contour, may be difficult to angle. Contractor will attempt to have septic tank 3' deep. (SD)

INSTALLATION:

6/24/21 SHC and SL constructed. Steep fall from SHC to SL to ensure SL is deep enough for future grading. Tank set, ground will be shaved down for a 3' cover. Three trenches constructed - trenches were laid out according to OSDS but we did not realize they were only 32' long. Due to lack of space, contractor made first trench 32' and second two trenches 50'. I informed contractor that trenches should be of equal length and in the future to call for another layout in such a case. Reinspect d-box and tank depth (SD) 06/25/2021 ~~to be~~ leveled w/ SPED levels ok to FINAL.

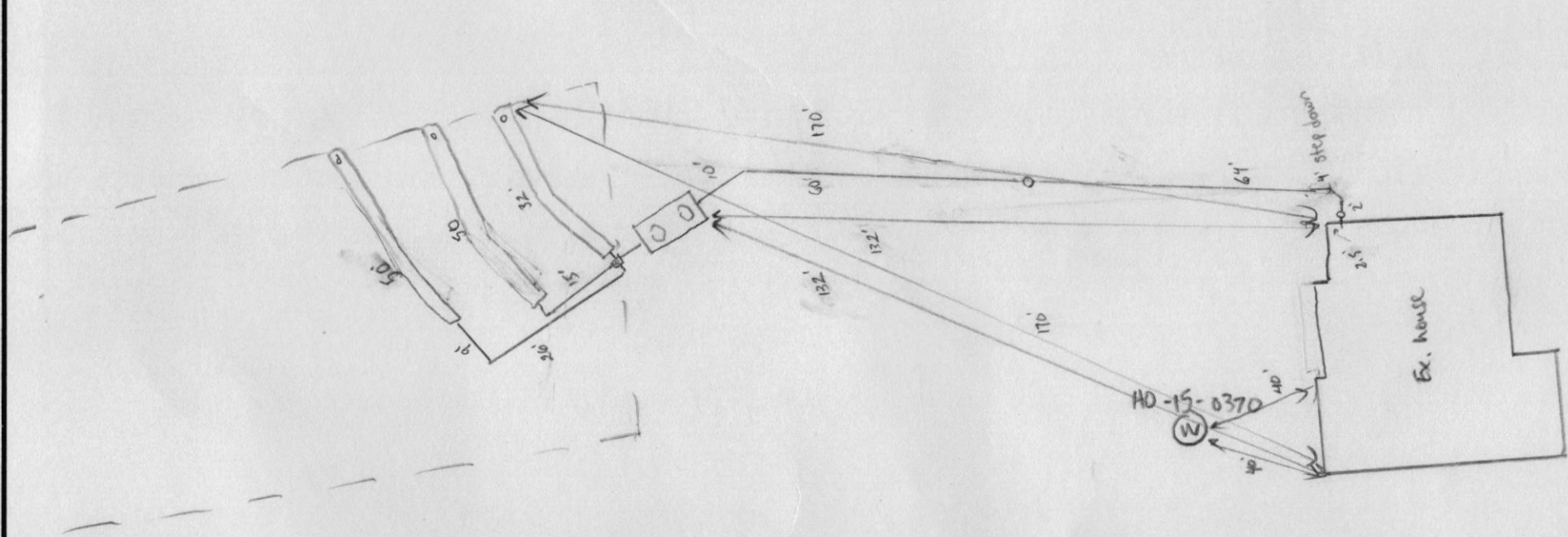
FINAL INSPECTOR

DATE OF APPROVAL

06/25/2021

14532 Ambreen Way

NOT TO SCALE 1" ≈ 30'

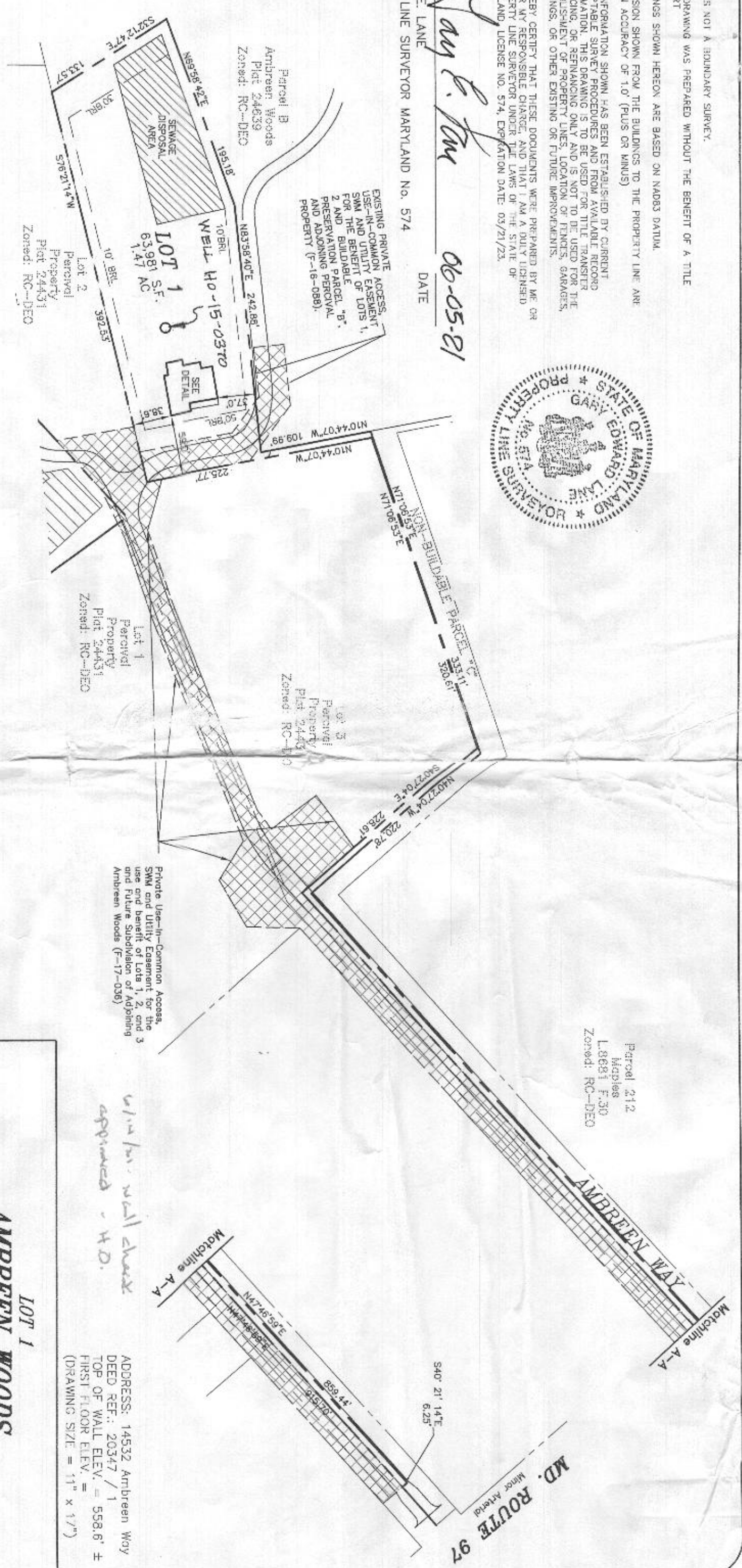


Ambreen Way



1. THIS IS NOT A BOUNDARY SURVEY.
2. THIS DRAWING WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT.
3. BEARINGS SHOWN HEREON ARE BASED ON NAD83 DATA.
4. DIMENSION SHOWN FROM THE BUILDINGS TO THE PROPERTY LINE ARE AT AN ACCURACY OF 1.0' (PLUS OR MINUS).
5. THE INFORMATION SHOWN HAS BEEN ESTABLISHED BY CURRENT ACCEPTABLE SURVEY PROCEDURES AND FROM AVAILABLE RECORD INFORMATION. THIS DRAWING IS TO BE USED FOR TITLE TRANSFER, FINANCING, OR REFINANCING ONLY AND IS NOT TO BE USED FOR THE ESTABLISHMENT OF PROPERTY LINES, LOCATION OF FENCES, GARAGES, BUILDINGS, OR OTHER EXISTING OR FUTURE IMPROVEMENTS.
6. I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROPERTY LINE SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND LICENSE NO. 574, EXPIRATION DATE: 03/21/23.

Gary E. Lane
 GARY E. LANE DATE: 06-05-21
 PROP. LINE SURVEYOR MARYLAND NO. 574



win/lin well check approved - HD.

ADDRESS: 14532 Ambreen Way
 DEED REF.: 20347 / 1
 TOP OF WALL ELEV. = 558.6' ±
 FIRST FLOOR ELEV. =
 (DRAWING SIZE = 11" x 17")

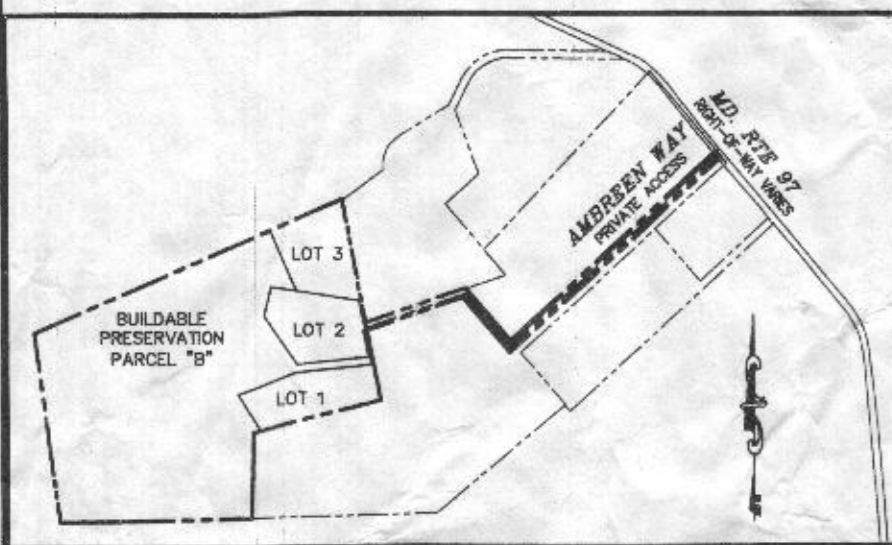
LOT 1
AMBREEN WOODS
 PLAT No. 24639
 FOURTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

MILDENBERG BOENDER, & ASSOC., INC.
 Planners
 7350-B Grace Drive, Columbia, MD 21044 (410) 997-0296 FAX: (410) 997-0298 FAX.

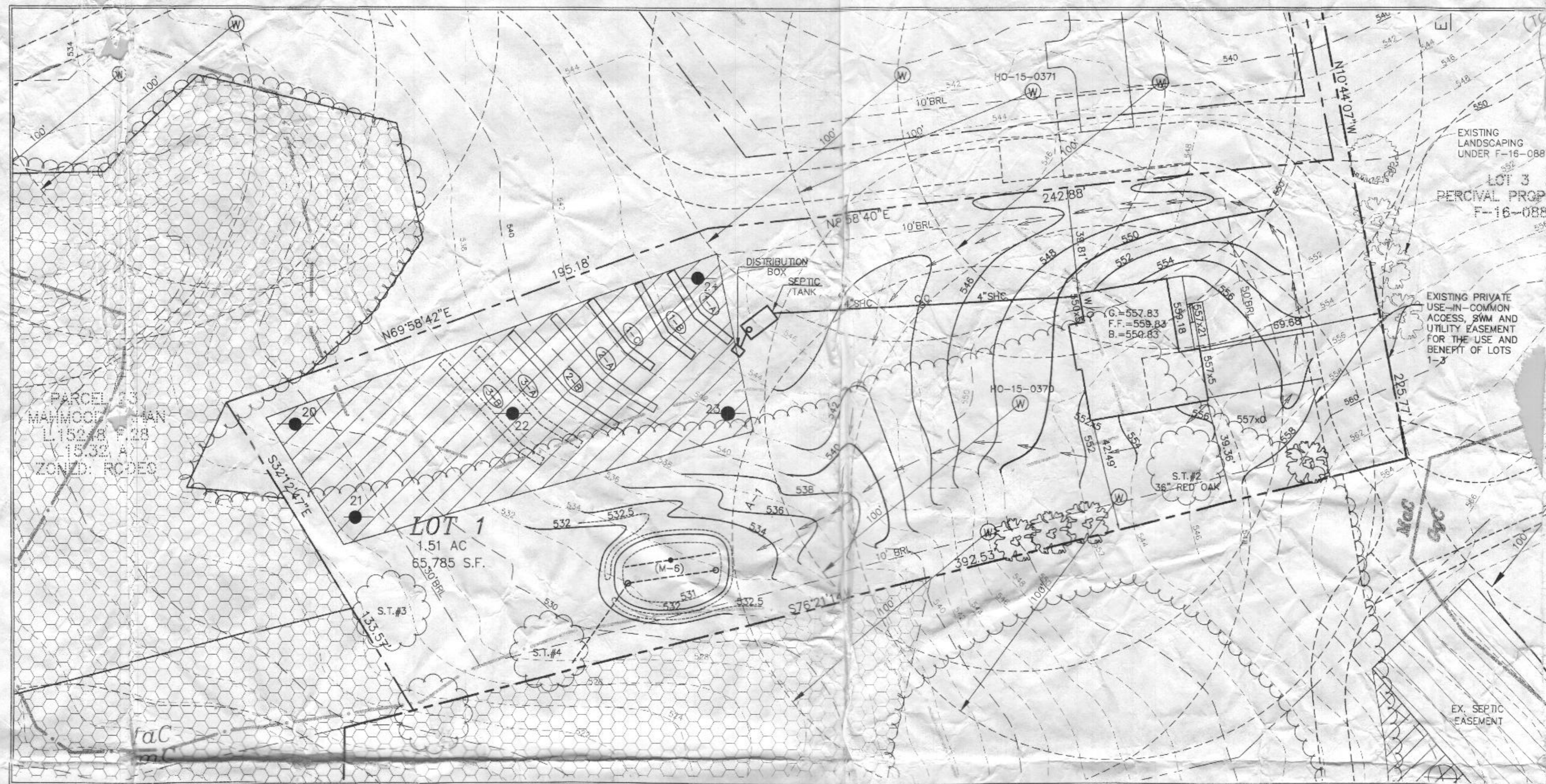
FOUNDATION	DATE: 05/30/21	FINAL LOCATION	DATE: N/A
DRAWN BY: GEL	CHECKED BY: GEL	SCALE: 1" = 100'	
PROJECT NO.: 18-010		LOCATION DRAWING	

SOILS TABLE (WITHIN LOD)

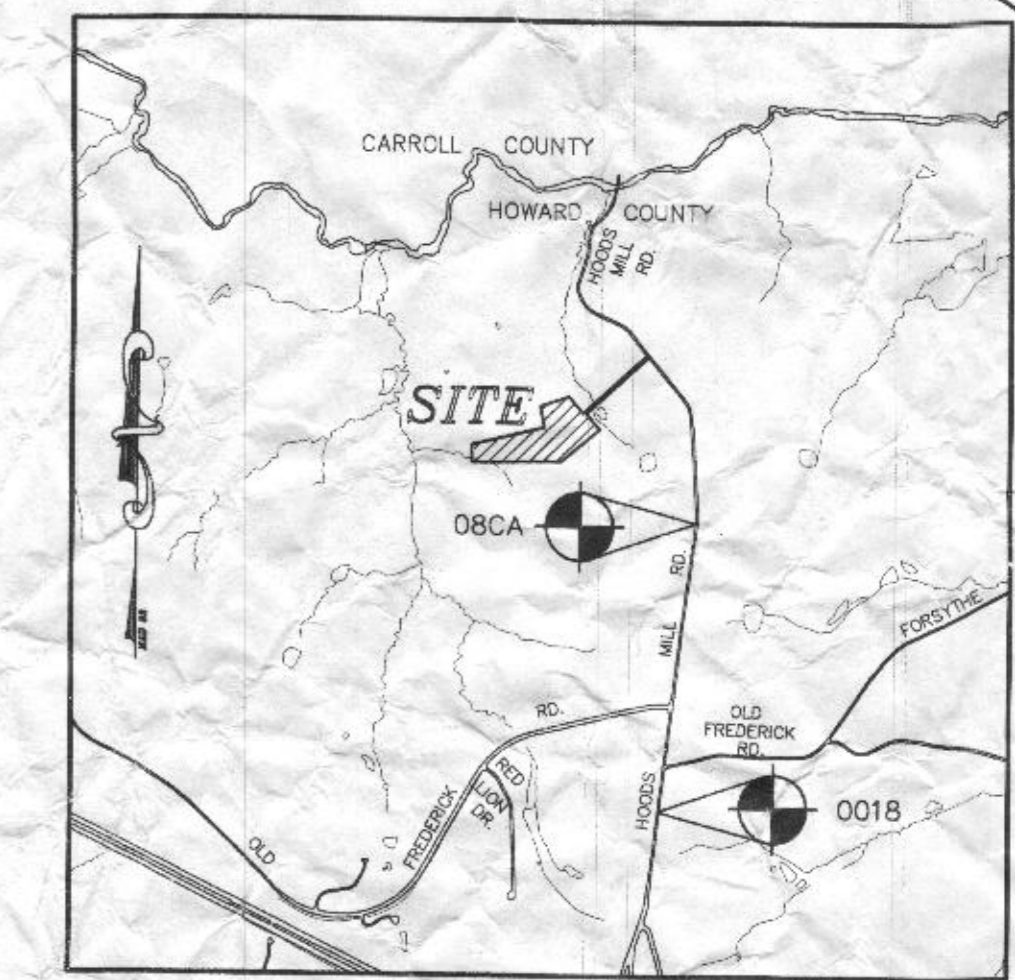
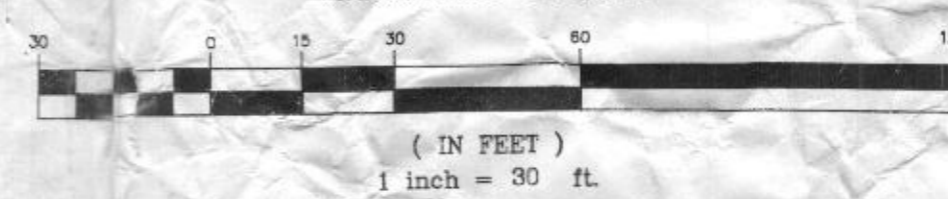
SYMBOL	RATING	NAME	K FACTOR	MAP #
MoB	(B)	MANOR LOAM, 3-8% SLOPES	.24	3
MoC	(B)	MANOR LOAM, 8-15% SLOPES	.24	3
MoD	(B)	MANOR LOAM, 15-25% SLOPES	.24	3



LOCATION PLAN
SCALE: 1"=600'



GRAPHIC SCALE



VICINITY MAP

SCALE: 1"=2000'
ADC MAP: 10 GRID: B-4

GENERAL NOTES:

- THE SUBJECT PROPERTY IS ZONED RC-DEO PER THE OCTOBER 6, 2013 COMPREHENSIVE ZONING PLAN.
- PARCEL BACKGROUND:**
TAX MAP: 5
PARCEL: 243
DEED REFERENCE: 15248/128
ELECTION DISTRICT: FOURTH
ZONING: RR-DEO
AREA: 1.51 AC
DPZ FILES: ECP-16-054, F-17-036
ADDRESS: 14532 AMBREEN WAY, COOKSVILLE, MD 21723
- TOPOGRAPHY FOR THE DEVELOPED AREAS IS BASED ON FIELD RUN SURVEY PERFORMED BY MILDENBERG, BOENDER & ASSOC., INC. ON OR ABOUT DECEMBER 2014.
- PRIVATE WELL AND SEPTIC WILL BE UTILIZED.
- THIS AREA DESIGNATES A PRIVATE SEWERAGE EASEMENT OF AT LEAST 10,000 SQ. FT. AS REQUIRED BY THE MARYLAND STATE DEPARTMENT OF ENVIRONMENT FOR INDIVIDUAL SEWERAGE DISPOSAL IMPROVEMENTS OF ANY NATURE IN THIS AREA ARE RESTRICTED UNTIL PUBLIC SEWERAGE IS AVAILABLE. THIS EASEMENT SHALL BECOME NULL AND VOID UPON CONNECTION TO A PUBLIC SEWERAGE SYSTEM. THE COUNTY HEALTH OFFICER SHALL HAVE THE AUTHORITY TO GRANT ADJUSTMENTS TO THE PRIVATE SEWERAGE EASEMENT. RECORDED OF A MODIFIED EASEMENT SHALL NOT BE NECESSARY.
- ANY CHANGES TO THE LOCATION OR DEPTHS TO ANY COMPONENTS MUST BE APPROVED BY THE ENGINEER AND THE HOWARD COUNTY HEALTH DEPARTMENT PRIOR TO INSTALLATION. A REVISED PLAN MAY BE REQUIRED.
- THE MAXIMUM EARTH COVER OVER THE TANK IS THREE (3) FEET. GREATER EARTH COVER WILL REQUIRE A HEAVY LOAD BEARING TANK.
- THE WELL TAG # HO-15-0370 HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.
- ANY WELLS OR SEPTIC SYSTEMS LOCATED WITHIN 100' OF THE PROPERTY BOUNDARIES AND 200' DOWN GRADIENT OF ANY WELL AND/OR SEPTIC SYSTEMS HAVE BEEN SHOWN.
- INDICATES PASSED TEST PIT.

ON-SITE SEWAGE DISPOSAL SYSTEM:

RESIDENTIAL SYSTEM DESIGN:
5 BEDROOM HOUSE (LIVING AREA=2,330 SQ.FT.)
150 BATHROOMS X # OF BEDROOMS = VOLUME OF WASTEWATER /DAY
150 X 5 = 750 GPD
PERC RATE = 2-5 MINUTES/INCH
APPLICATION RATE = 1.2 GPD/SQ.FT.
DESIGN FLOW x APPLICATION RATE = SQ.FT. OF TRENCH REQUIRED
750 x 1.2 = 900 SQ.FT.
SQ.FT. REQUIRED x WIDTH OF TRENCH = LENGTH OF TRENCH
900 x 3.0' = 2700 FT
USE 36" OF GRAVEL BELOW DRAIN PIPE
208.3 X 0.5 = 104.15

PRIMARY SYSTEM:
USE THREE (3) REQUIRED LENGTH OF TRENCHES (44'), A MINIMUM OF 10' BETWEEN TRENCHES UTILIZING SIDEWALL REDUCTION CREDIT.

SECONDARY & TERTIARY SYSTEMS:
USE TWO (2) REQUIRED LENGTH OF TRENCHES (52'), A MINIMUM OF 10' BETWEEN TRENCHES UTILIZING SIDEWALL REDUCTION CREDIT.

MINIMUM TANK CAPACITY = 2,000 GALLONS
USE MAYER BROS. PRODUCT OR EQUIVALENT.

SEPTIC TRENCH SIZING

SYSTEM	APPLICATION RATE (GPD / SF)	MAXIMUM FLOW RATE (GPD)	AREA OF REQUIRED TRENCH (SF)	TRENCH WIDTH (FT)	LENGTH OF TRENCH (LF)	EFFECTIVE DEPTH (FT)	TRENCH BOTTOM DEPTH (FT)	ADJUSTED LENGTH OF TRENCH (LF)	MINIMUM SPACING (FT)	NUMBER OF TRENCHES	PROVIDED TRENCH LENGTH (FT)
PRIMARY	1.2	750	625	3	208.3	4.0	8.0	104.2	10.0'	3	43.7
SECONDARY	1.2	750	625	3	208.3	4.0	8.0	104.2	10.0'	2	52.1
TERTIARY	1.2	750	625	3	208.3	4.0	8.0	104.2	10.0'	2	52.1

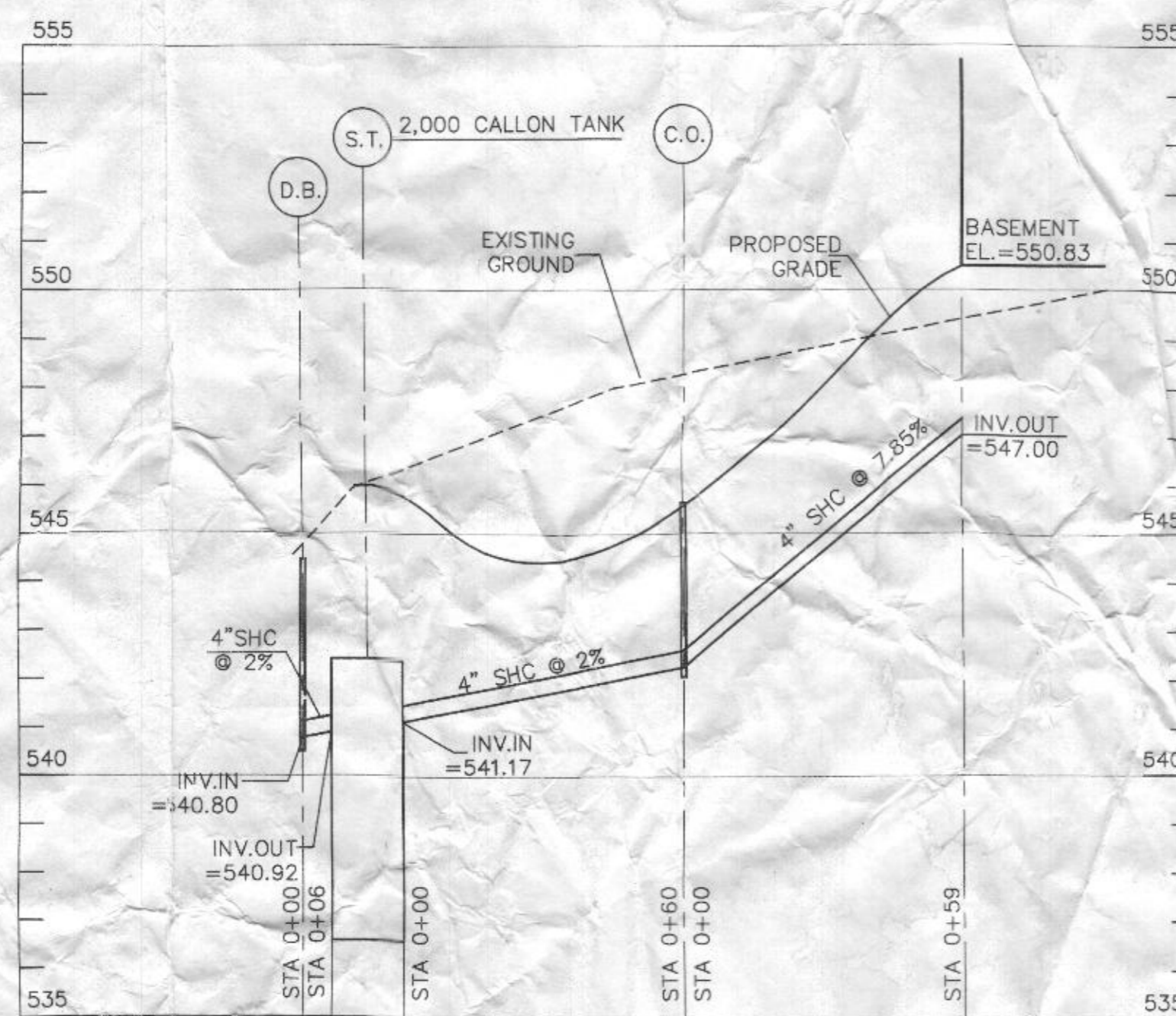
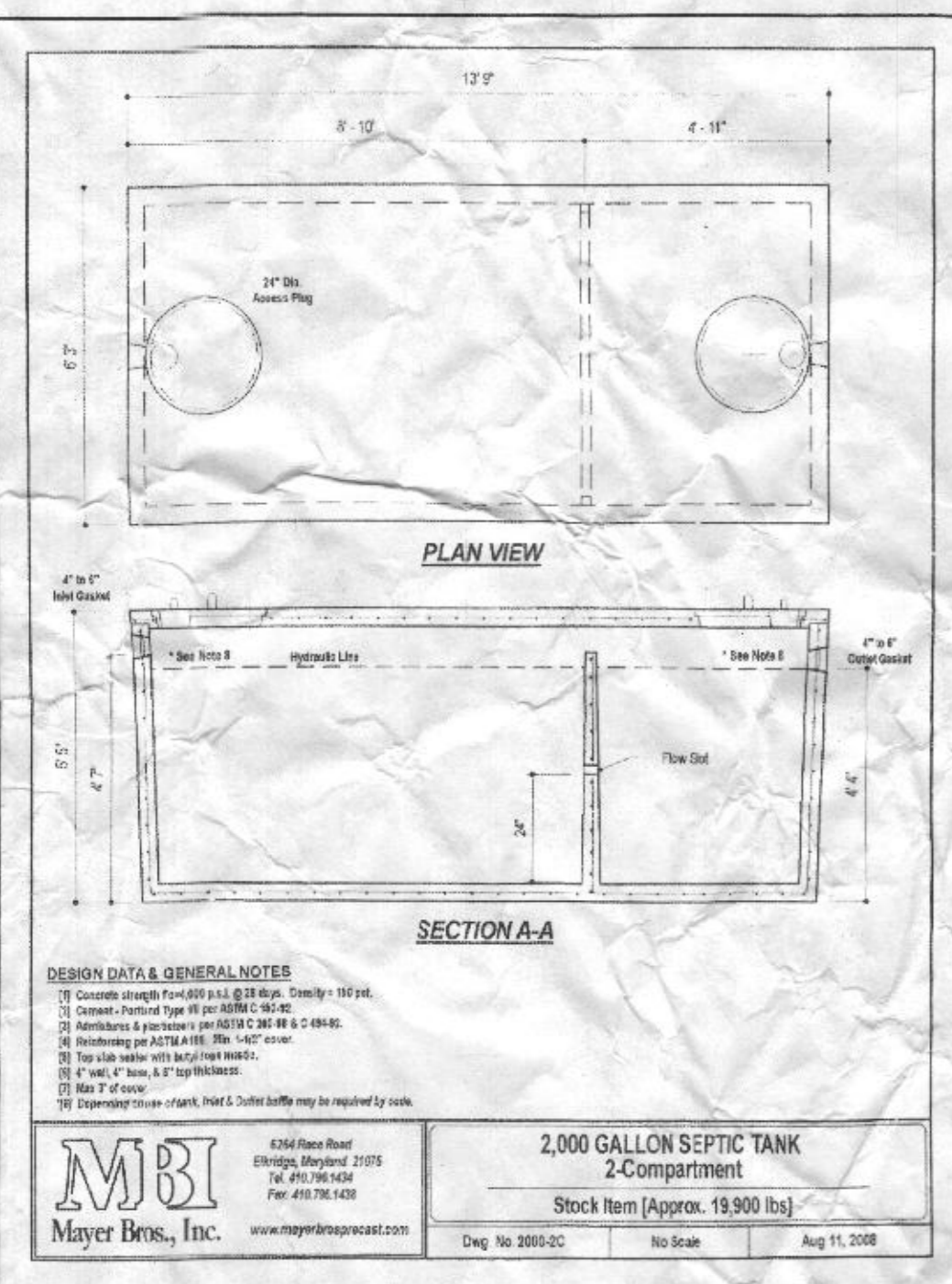
SEPTIC TRENCH ELEVATIONS

TRENCH	EX. GROUND ELEVATION	INVERT ELEVATION	BOTTOM OF TRENCH EL.
PRIMARY A	544.8	540.8	537.8
PRIMARY B	543.6	539.6	536.6
PRIMARY C	542.2	538.2	535.2
SECONDARY A	541.0	537.0	534.0
SECONDARY B	539.0	535.0	532.0
TERTIARY A	537.0	533.0	530.0
TERTIARY B	535.2	531.2	528.2

WELL CERTIFICATION:

THE EXISTING WELL, TAG NO. HO-15-0370, HAS BEEN FIELD LOCATED AND IS ACCURATELY SHOWN.

Approved Septic System Plan
Howard County Health Department
Drumel 10-24-19
Signature Date



PROFILE - PRIVATE SEWER

SCALE: 1"=30' HOR
1"=3' VER

SEWER SYSTEM ELEVATIONS

DESCRIPTION	ELEVATION
BASEMENT ELEVATION	550.83
INVERT OUT OF THE HOUSE	547.00
INVERT INTO SEPTIC TANK	541.17
INVERT OUT OF SEPTIC TANK	540.92
FINISHED GRADE AT SEPTIC TANK	544.20
TOP OF THE W.K.	542.42
INVERT INTO DISTRIBUTION BOX	540.80

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 17942, EXP. DATE 09/03/20.



OWNER/DEVELOPER

BURHARD HOMES, LLC
5850 WATERLOO ROAD, SUITE 150
COLUMBIA, MD 21045
(410)375-1052

10/24/19
DATE

Project	date	description	revisions
18-010	OCT. 2019	engineering	MM
		illustration	MM
		scale	1"=30'
		approval	SAA

no.	date	description	revisions
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AMBREEN WOODS, LOT 1
14532 AMBREEN WAY COOKSVILLE, MD 21723
TAX MAP 08, GRID 05, PARCEL 243, ZONED: RC-DEO
FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
ON-SITE SEPTIC DISPOSAL PLAN

MILDENBERG, BOENDER & ASSOC., INC.
Engineers Planners Surveyors
7350-B Grace Drive Columbia, MD 21044
(410) 997-0296 Tel. (410) 997-0298 Fax.