

Record Detail * (This section is required.)

Permit Type	Permit Number	Opened Date
Building/Residential/Misc/Pool Spa	B21002473	07/07/2021

Description of Work
 SFD / INSTALL 20' X 36' X 14 IN-GROUND CONCRETE SWIMMING POOL, DEPTH 3'-8.5', WITH FENCE TO CODE

[check spelling](#)

'OK' approved 10/21/21
 RB

Address * (This section is required.)

Search Reset Clear Get Parcel & Owner

Street #	Street Name	Street Type	
18305	CHELSEA KNOLLS	DR	
Unit Type	Unit #	X Coordinate	Y Coordinate
--Select--		-77.15676	39.31801
City	State	Zip Code	Primary
MOUNT AIRY	MD	21771	Yes

Parcel * (This section is required.)

Search Reset Clear Get Address & Owner

GIS ID *	Parcel	Parcel Area	Land Value	Improved Value	Exemption Value	Plan Area
1104908	78	46245	200100	714500	514400	RURAL

Legal Description
 IMPSLOT 15 46,245 SF []18305 CHELSEA KNOLLS DR []CHELSEA KNOLLS

[check spelling](#)

Block	Lot	Census Tract	Council Dist	Inspection Dist	Supervisor Dist	Map #	DAP Zone
	15	604001	5				
Plan Area	State Tax Id	Subdivision Name					
	1404594315	Chelsea Knolls					
Section	Area	Tax Map					
		6					
Grid	Zoning District	ADC Map					
6-22	RC-DEO	4690-E10					
SDP No.	Final Plan No.	WP File No.					
SDP-89-065	F-07-072						
Record Plat No.	WS Contract No.	FDP No.	Primary				
23471-2347			Yes				
Owner Occupied	Year Built	Historic District					
<input type="radio"/> Yes <input type="radio"/> No	2015	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Historic District Registry No.	Stat Area	Flood Plain					
	4-04	<input type="radio"/> Yes <input checked="" type="radio"/> No					
Building No							

Owner * (This section is required.)

Search Reset Clear

Name *

BRIAN & DAVA STEWART

Address Line 1

18305 CHELSEA KNOLLS DR

Address Line 2

Address Line 3

Mail City

MOUNT AIRY

Mail State

MD

Mail Zip Code

21771

Phone Primary
 919-995-5650 Yes

E-mail
 BRIAN.STEWART.42@GMAIL.COM

Cell Number **Fax Number**

Professionals (This section is not required.)

License # * 08010001377 **Business Name** BROWNING CONSTRUCTION COMPANY INC
License Type * MHIC Ind **First Name** CHARLES **Middle Name** **Last Name** BROWNING
Primary Yes **Address Line 1** 23731 RIDGE ROAD **Address Line 2**
City GERMANTOWN **State** MD **ZIP Code** 20876-0000
Phone 1 8007230200 **Phone 2** **Fax** 3015409646
E-mail CHARLES@BROWNINGPOOLS.COM

Applicant (This section is not required.)

Type * Applicant **First Name** CHARLES **MI** **Last Name** BROWNING
Relationship --Select-- **Full Name**
Primary Yes **Organization Name** BROWNING CONSTRUCTION COMPANY INC
Street Address 23731 RIDGE ROAD **Address Line 2**
City GERMANTOWN **State** MD **Zip Code** 20876 000
Phone 2406444704 **Cell** **Fax** 3015409646
E-mail * LETICIAR@BROWNINGPOOLS.COM

Addtl Info

Est Construction Cost * 180000 **Housing Units *** 0 **Number of Buildings *** 0 **Public Owned** No

Construction Type --Select--

POOL INFORMATION

MISCELLANEOUS POOL INFORMATION

Capital Project-No Fee * Yes No **Capital Project Number** **Fee Exempt *** Yes No **Water Supply *** Public **Sewage Disposal *** Private

Existing Use SFD **Type of Pool or Spa *** In Ground Pool **Electrical Permit Number** **Expiration Date** 1/24/2022

PAYMENT INFORMATION

Check 1 **Payee 1** **SAP Doc No** **SAP Entered**

Phone 919-995-5650 **Primary** Yes
E-mail BRIAN.STEWART.42@GMAIL.COM
Cell Number **Fax Number**

Professionals (This section is not required.)

Search Reset Clear

License # * 08010001377 **Business Name** BROWNING CONSTRUCTION COMPANY INC
License Type * MHIC Ind **First Name** CHARLES **Middle Name** **Last Name** BROWNING
Primary Yes **Address Line 1** 23731 RIDGE ROAD
Address Line 2
City GERMANTOWN **State** MD **ZIP Code** 20876-0000
Phone 1 8007230200 **Phone 2** **Fax** 3015409646
E-mail CHARLES@BROWNINGPOOLS.COM

Applicant (This section is not required.)

Search As Owner As Lic. Prof As Contact

Type * Applicant **First Name** CHARLES **MI** **Last Name** BROWNING
Relationship Full Name
Primary Yes **Organization Name** BROWNING CONSTRUCTION COMPANY INC
Street Address 23731 RIDGE ROAD
Address Line 2
City GERMANTOWN **State** MD **Zip Code** 20876 000
Phone 2406444704 **Cell** **Fax** 3015409646
E-mail * LETICIAR@BROWNINGPOOLS.COM

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Check 1 **Payee 1** **SAP Doc No** **SAP Entered**

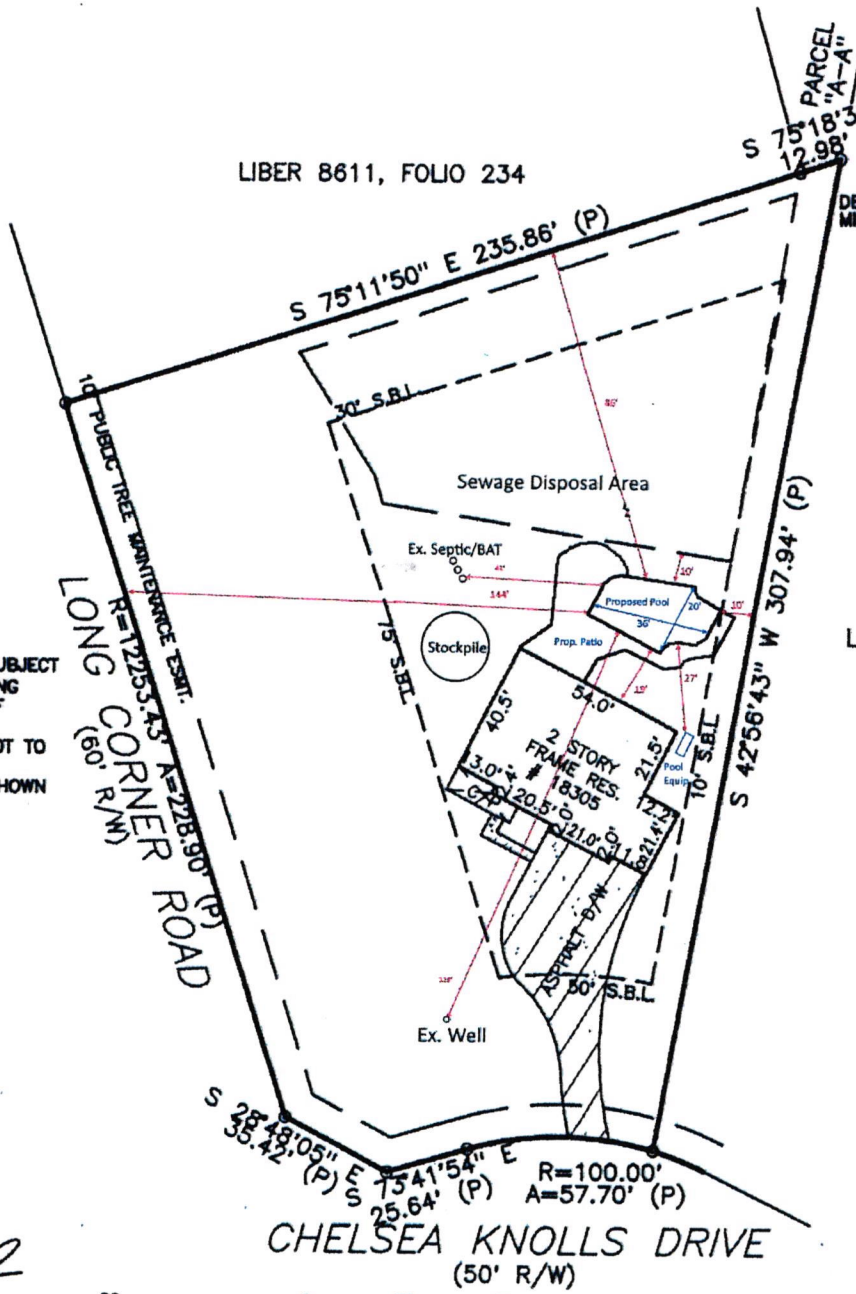
Submit Cancel

MD1601.1453
 LOCATION DRAWING
 LOT 15
 CHELSEA KNOLLS,
 HOWARD COUNTY, MARYLAND
 01-18-2016 SCALE 1"=60'

LIBER 8611, FOLIO 234

PARCEL "A-A"
 S 75°18'36" E
 12.98' (P)

DESCRIPTION HAS A
 MISCLOSURE OF 1.49'



LOT 16

BASED ON A FIELD INSPECTION OF THE SUBJECT PROPERTY, A LACK OF AND/OR CONFLICTING MONUMENTATION WAS FOUND. LOCATION OF IMPROVEMENTS AS SHOWN ARE BASED ON APPARENT OCCUPATION LINES AND ARE NOT TO BE RELIED UPON. TO DETERMINE THE EXACT LOCATION OF SHOWN IMPROVEMENTS A BOUNDARY SURVEY IS REQUIRED.

PLEASE NOTE
 This House Location Drawing is for informational purposes only. Per Maryland State Code it may not be relied upon to determine property boundaries and may not be used for building permits or construction.

Approved Septic
 Howard County Health Department
 20' x 36' x 14' inground
 concrete pool
 Signature
 10/21/21
 B21002473

William D. Kelly
 EXPIRES 1-15-2017



GRAPHIC SCALE (In Feet)

1 inch = 60' ft.

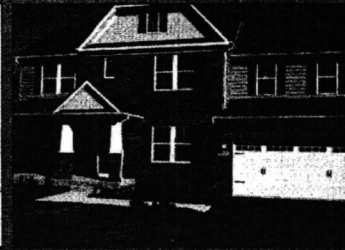
ACCURACY=3±

CHELSEA KNOLLS DRIVE
 (50' R/W)

ORDERED BY:



2015 EMMORTON ROAD, SUITE 102
BEL AIR, MARYLAND 21015
P:443-512-8450 F:443-512-8451



PROPERTY ADDRESS: 18305 CHELSEA KNOLLS DRIVE MOUNT AIRY, MARYLAND 21771

SURVEY NUMBER: MD1601.1453

FIELD WORK DATE: 1/18/2016

REVISION HISTORY: (REV.2 2/2/2016) (REV.1 1/18/2016)

MD1601.1453
LOCATION DRAWING
LOT 15
CHELSEA KNOLLS,
HOWARD COUNTY, MARYLAND
01-18-2016 SCALE 1"=60'

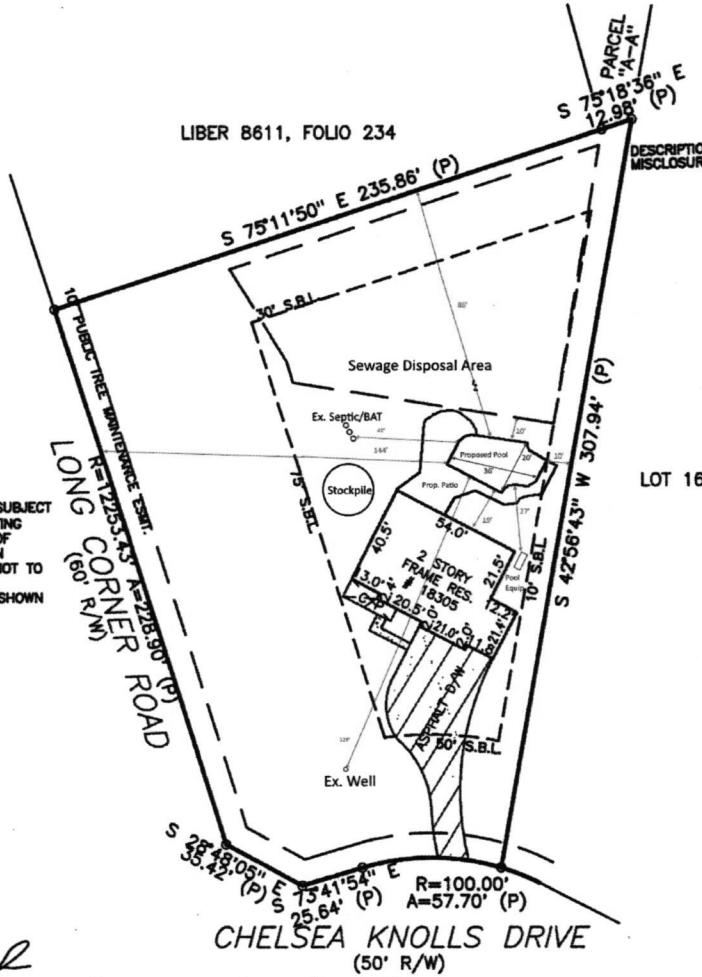
LIBER 8611, FOLIO 234



BASED ON A FIELD INSPECTION OF THE SUBJECT PROPERTY, A LACK OF AND/OR CONFLICTING MONUMENTATION WAS FOUND. LOCATION OF IMPROVEMENTS AS SHOWN ARE BASED ON APPARENT OCCUPATION LINES AND ARE NOT TO BE RELIED UPON. TO DETERMINE THE EXACT LOCATION OF SHOWN IMPROVEMENTS A BOUNDARY SURVEY IS REQUIRED.

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DESCRIPTION HAS A MISCLASURE OF 1.49'.

LOT 16



GRAPHIC SCALE (In Feet)
1 inch = 60' ft.

ACCURACY=3±

POINTS OF INTEREST:
NONE VISIBLE

CLIENT NUMBER: 16PEN-0027

DATE: 1/18/2016

BUYER: D. STEPHEN & NANCY P. NOSE

SELLER: NVR, INC T/A RYAN HOMES

CERTIFIED TO:
D. STEPHEN & NANCY P. NOSE; PENFED TITLE, LLC

Lisa Winslow



c: 410.271.2908
o: 443.627.2900
lisa@bobandronna.com



RESERVE
HATHAWAY
Professional

A LICENSEE EITHER PERSONALLY PREPARED THIS DRAWING OR WAS IN RESPONSIBLE CHARGE OVER ITS PREPARATION AND THE SURVEYING WORK REFLECTED IN IT, ALL IN COMPLIANCE WITH REQUIREMENTS SET FORTH IN REGULATION. 12 OF CHAPTER 09.13.06 OF THE CODE OF MARYLAND ANNOTATED REGULATIONS.

EXACTA
MARYLAND SURVEYORS

LB# 21535
www.exactaMD.com

P 443.692.6523 • F 443.692.6524 • 16800 Bald Eagle School Rd. • Brandywine, MD 20613

THIS IS A TWO PAGE DOCUMENT. THE ADVICE FOUND ON THE AFFIXED PAGE (PAGE 2 OF 2) IS AN INTEGRAL PART OF THE PLAT.

Plot Plan

revision

submitted Sept 1

at DILP.

DILP did not send
copy to us

No notice until
today when contractor
called REB 9/27/21

SITE INSPECTION SHEET

OWNER: Brian & Dava Stewart PHONE #: 919-995-5650

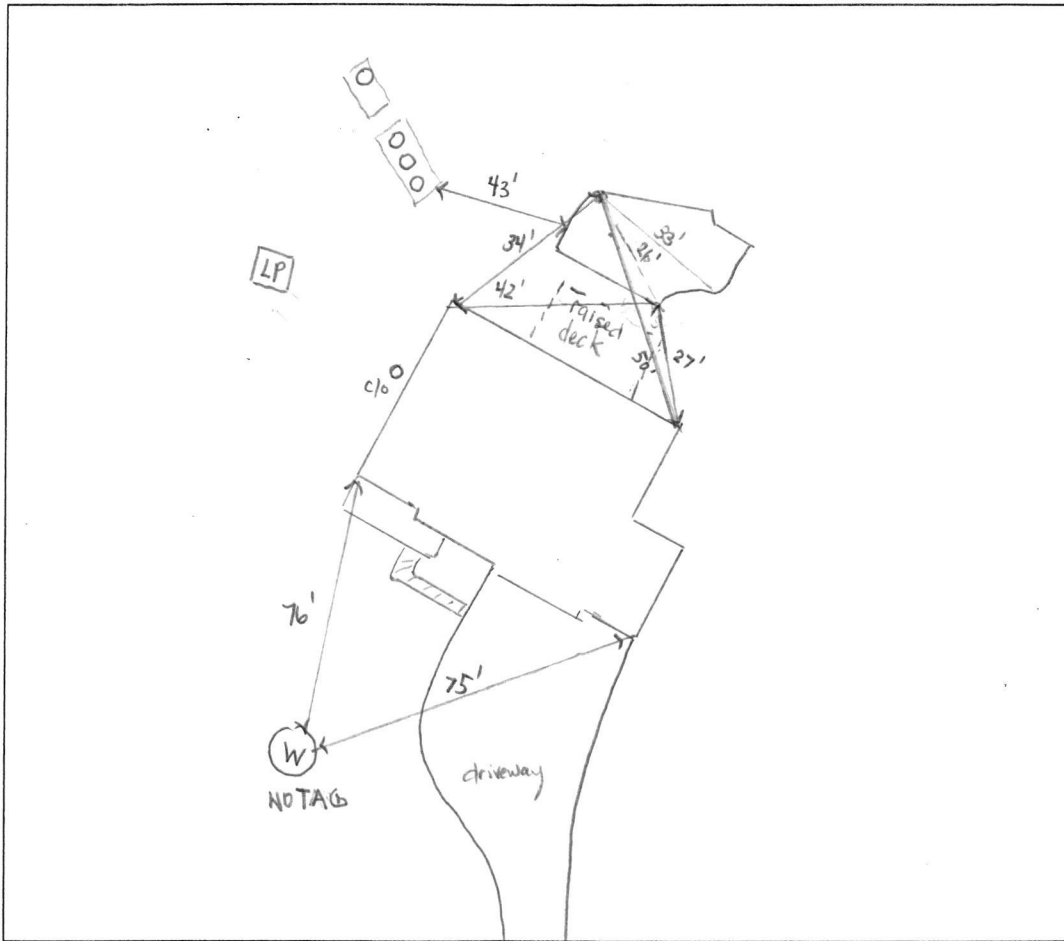
ADDRESS: 18305 Chelsea Knolls Drive CONTRACTOR: Browning Construction Co. Inc.

Mt. Airy, MD 21771 WELL TAG #: NO TAG ON THE WELL

SUBDIVISION: Chelsea Knolls LOT: 15 COUNTY #: 04-594315

PROPOSAL: Install 20'x36'x14' in-ground pool (concrete) w/ fence.

LOCATION DIAGRAM



COMMENTS: Site inspection completed on 10/4/21 proposed pool has been staked
and painted w/ marking paint, the well, lp tank's all septic tanks have been
surrounded and protected by snow fencing. The well has no tag #.

DATE: 10/4/21 INSPECTOR: R. Rappaport

18305 CHELSEA KNOLLS DR
MOUNT AIRY MD 21771



Bricker, Robert

From: Taylor, Aleetta
Sent: Thursday, July 29, 2021 10:07 AM
To: Bricker, Robert
Subject: Re: 18305 Chelsea Knolls Drive_BAT service

Good morning Robert,

They are in good standing until November 2021.

From: Bricker, Robert <RBricker@howardcountymd.gov>
Sent: Thursday, July 29, 2021 10:04 AM
To: Taylor, Aleetta <ataylor@howardcountymd.gov>
Subject: 18305 Chelsea Knolls Drive_BAT service

Good morning Aleetta,
I need to know the service status for the BAT unit at 18305 Chelsea Knolls Drive.

ROBERT BRICKER, REHS/RS, L.E.H.S.
ENVIRONMENTAL SANTARIAN II
BUREAU OF ENVIRONMENTAL HEALTH, WELL AND SEPTIC PROGRAM
8930 STANFORD BLVD., COLUMBIA, MD 21045

Phone: (410)313-2691
rbricker@howardcountymd.gov



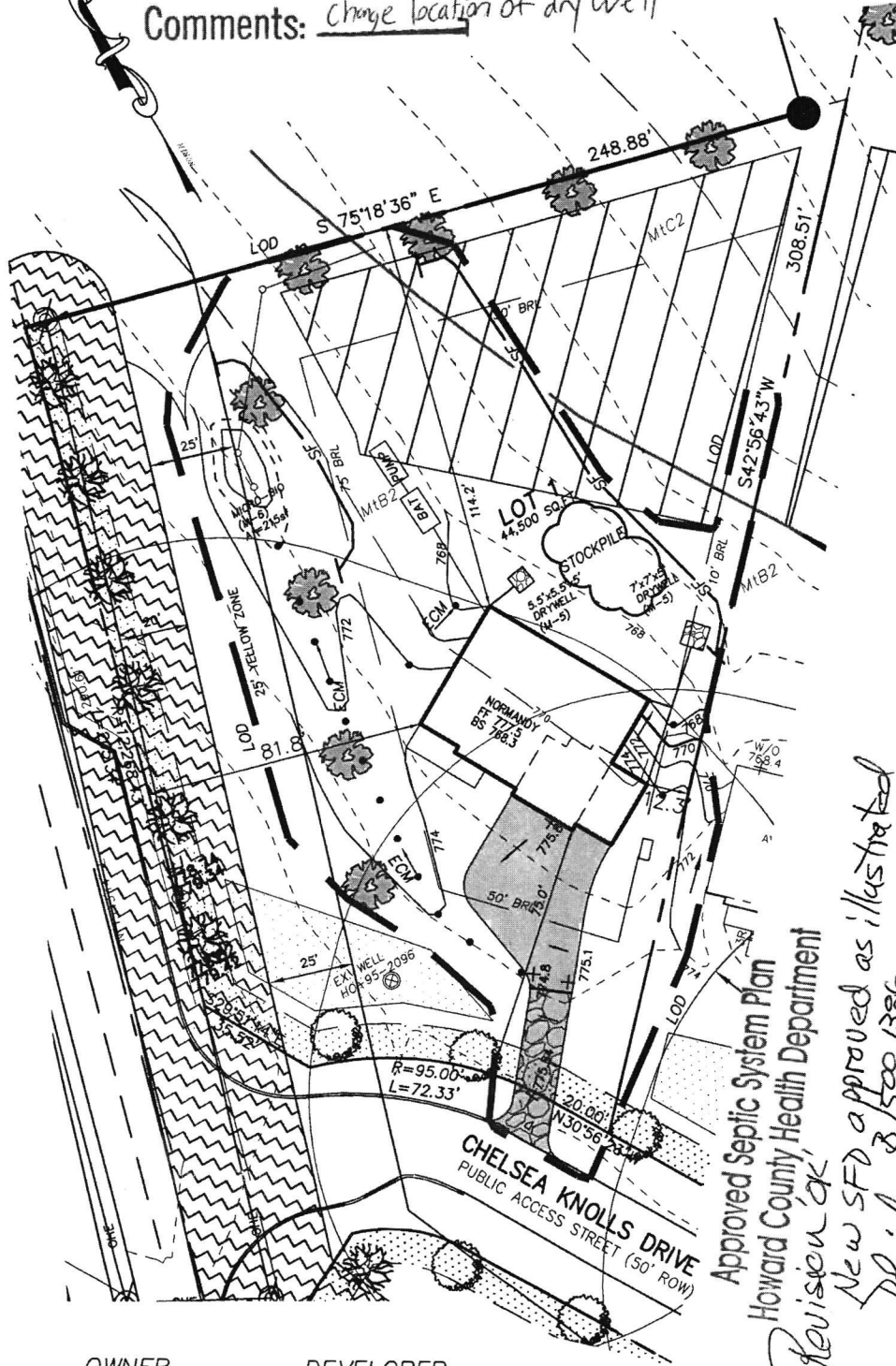
CONFIDENTIALITY NOTICE

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REVISED

Date: 6-5-15

Comments: change location of dry well



Approved Septic System Plan
 Howard County Health Department
 Revision 'ok'
 New SFD approved as illustrated
 B. Brubaker 8/500 1386
 Signature
 6/10/2015
 Date

OWNER

CHELSEA KNOLLS, LC
 1355 BEVERLY RD. SUITE 240
 McLEAN, VIRGINIA 22101
 (703) 734-9730
 (301) 720-3021

DEVELOPER

RYAN HOMES, INC.
 ATTN: KEVIN BOWSER
 9720 PATUXENT WOODS DRIVE
 COLUMBIA, MARYLAND 21046
 410-796-0980

PERMIT PLAN
CHELSEA KNOLLS

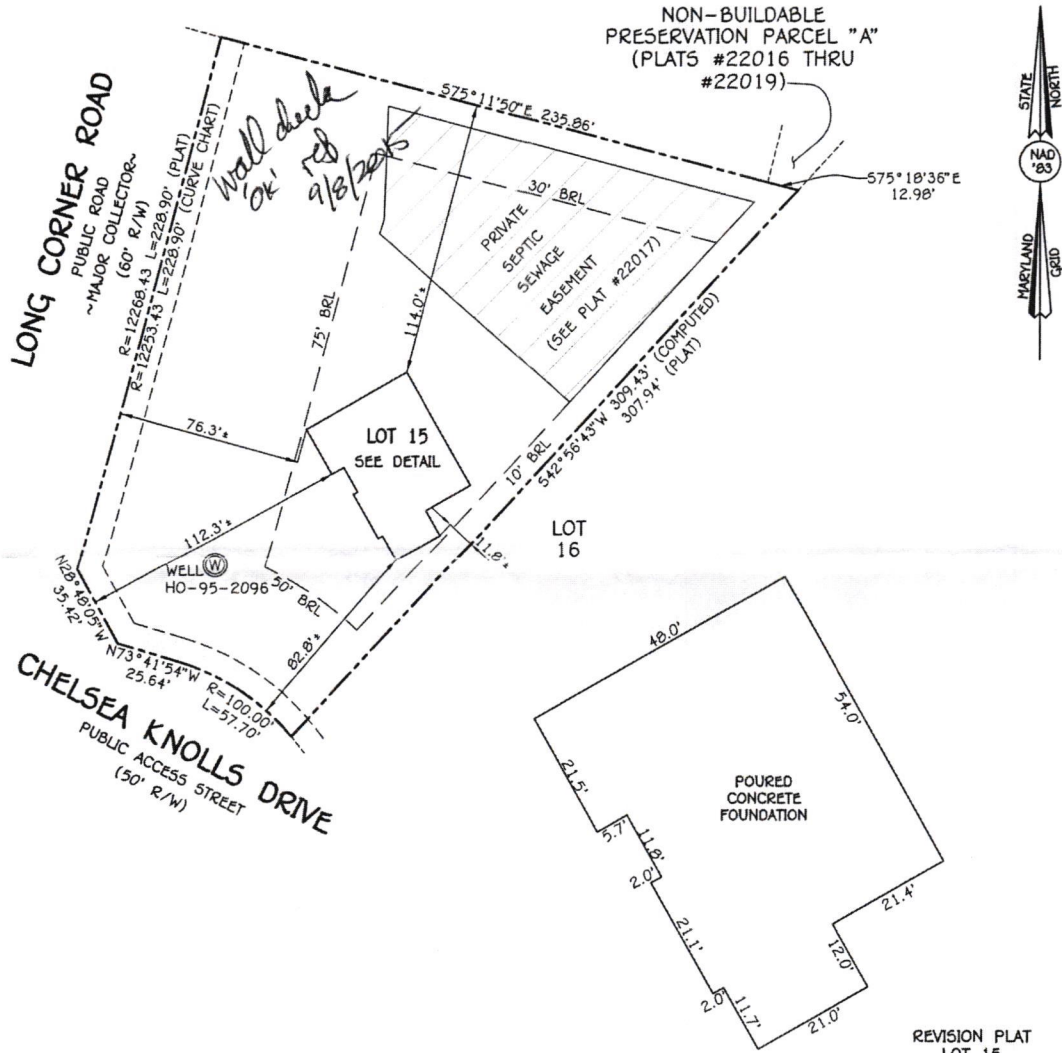
LOT 1
 18305 CHELSEA KNOLLS DRIVE

ZONING: RC-DEO
 TAX MAP No. 12 GRID No. 5 PARCEL No. 78
 FOURTH ELECTION DISTRICT HOWARD COUNTY, MARYLAND
 SCALE: 1" = 40'
 DATE: APRIL, 2015

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELICOTT CITY, MARYLAND 21042
 (410) 481-2855

GENERAL NOTES:

- 1) THIS LOCATION DRAWING IS PREPARED FOR THE BENEFIT OF THE CLIENT SIGNING THE HOUSE LOCATION SURVEY APPROVAL FORM INsofar AS IT IS REQUIRED BY A LENDER OR TITLE INSURANCE COMPANY OR ITS AGENTS IN CONNECTION WITH THE CONTEMPLATED TRANSFER, FINANCING OR REFINANCING OF THE PROPERTY SHOWN HEREON. UNLESS INDICATED AS BEING A BOUNDARY SURVEY, THIS LOCATION DRAWING IS NOT INTENDED FOR USE IN THE ESTABLISHMENT OF PROPERTY LINES AND IS NOT TO BE RELIED UPON FOR THE ESTABLISHMENT OR LOCATIONS OF FENCES, GARAGES, BUILDINGS OR OTHER EXISTING OR FUTURE IMPROVEMENTS. AS A RESULT, THIS LOCATION DRAWING DOES NOT PROVIDE FOR ACCURATE IDENTIFICATION OF PROPERTY LINES, BUT SUCH IDENTIFICATION MAY NOT BE REQUIRED FOR THE TRANSFER OF TITLE OR SECURING FINANCING FOR RE-FINANCING.
- 2) SUBJECT PROPERTY IS SHOWN IN ZONE X ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP OF HOWARD COUNTY, MARYLAND, COMMUNITY PANEL No. 24027C00100 EFFECTIVE 11/06/2013
- 3) THE OFFSETS FROM BUILDING LINE TO PROPERTY LINE AS SHOWN ON THE PLAT HEREON ARE TO AN ACCURACY OF PLUS OR MINUS 1.0.'
- 4) NO TITLE REPORT FURNISHED. SUBJECT TO ALL EASEMENTS, RIGHTS OF WAY AND CONDITIONS OF RECORD.
- 5) THE EXISTING WELL(S) SHOWN ON THIS PLAN (IDENTIFIED WITH THE ATTACHED WELL TAG NUMBER HO-95-2096 HAS BEEN FIELD LOCATED BY FISHER, COLLINS AND CARTER, INC. PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.
- 6) PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, AND THAT I AM A DULY LICENSED PROPERTY LINE SURVEYOR UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 339, EXPIRATION DATE 10/04/2016.
- 7) BUILDING PERMIT #B-15001306



#18305 CHELSEA KNOLLS DRIVE
 B.R.L. = BUILDING RESTRICTION LINE
 TOP OF FOUNDATION ELEVATION = 776.1'±

REVISION PLAT
 LOT 15
 CHELSEA KNOLLS
 LOTS 15 AND 16,
 NON-BUILDABLE PRESERVATION
 PARCELS 'A-1' & PUBLIC ROAD
 RIGHT OF WAY
 PLAT NOS. 23471 THRU 23473
 FOURTH ELECTION DISTRICT
 HOWARD COUNTY, MARYLAND

FISHER, COLLINS & CARTER, INC.
 CIVIL ENGINEERING CONSULTANTS & LAND SURVEYORS
 CENTENNIAL SQUARE OFFICE PARK - 10272 BALTIMORE NATIONAL PIKE
 ELLICOTT CITY, MARYLAND 21042
 (410) 461 - 2955

Drawing Name:



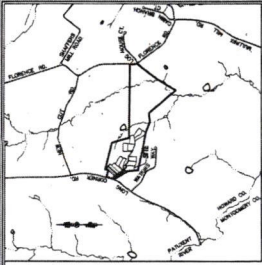
Mark D. Hill 9/1/15
 PROPERTY LINE SURVEYOR DATE
 REG. #339

**HOUSE LOCATION
 DRAWING**

FOUNDATION LOCATION: 2/31/15
 FINAL LOCATION:
 BOUNDARY SURVEY:

SCALE: 1"=50'
 DATE: 9/1/15
 DRAWN BY: GAD
 CHECKED BY: MLR
 PROJECT No.: 13038-3001

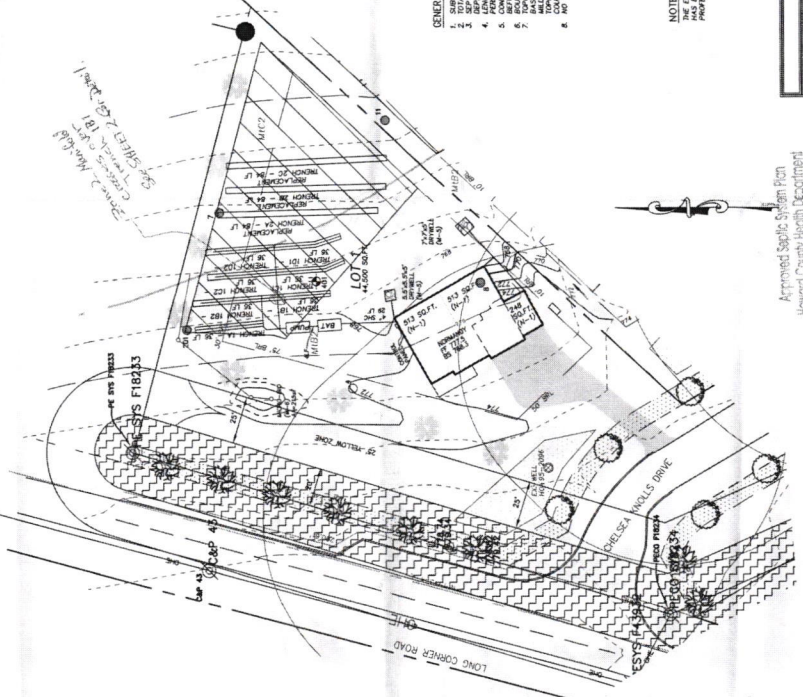
from scanned file



NEIGHBORHOOD MAP
 100' SCALE
 NB. CO. RD. MAP 1, 1989 DR
 BENCH MARKS
 STA. 00+00 (117.78) 47.0
 STA. 00+10 (117.78) 47.0
 STA. 00+20 (117.78) 47.0
 STA. 00+30 (117.78) 47.0
 STA. 00+40 (117.78) 47.0

LEGEND

SYMBOL	DESCRIPTION
(Symbol)	EXISTING CONCRETE / METAL
(Symbol)	PROPOSED CONCRETE / METAL
(Symbol)	EXISTING PAVEMENT
(Symbol)	PROPOSED PAVEMENT
(Symbol)	EXISTING STREET LIGHTS FROM 1-12-97
(Symbol)	PROPOSED STREET LIGHTS FROM 1-12-97
(Symbol)	EXISTING UTILITY LINES
(Symbol)	PROPOSED UTILITY LINES
(Symbol)	EXISTING FENCED AREAS
(Symbol)	PROPOSED FENCED AREAS



SOILS LEGEND

SOIL	NAME	CLASS
(Symbol)	M. S. Very silty clay	3
(Symbol)	M. S. Silty clay	3
(Symbol)	M. S. Clay	3
(Symbol)	M. S. Very silty clay	3
(Symbol)	M. S. Silty clay	3
(Symbol)	M. S. Clay	3

PLAN KEY
 SCALE 1"=30'

GENERAL NOTES

1. SUBJECT PROPERTY ZONED: R-200
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE.
3. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE.
4. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE.
5. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE.
6. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE.
7. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE.
8. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE ZONING ORDINANCE.

NOTE
 THIS PLAN IS BASED ON THE FIELD SURVEY CONDUCTED BY FISHER, COLLINS & CARTER, INC. PROFESSIONAL LAND SURVEYORS AND IS ACCURATELY SHOWN.

GENERAL NOTES:

1. SINGLEHOLE AERATOR, AS TESTED AND APPROVED BY NSF, OPERATING AT 1500 GPM, SHALL BE USED FOR THE ENTIRE SYSTEM.
2. ALL TRENCHES SHALL BE 18" DEEP FROM INLET INVERT TO OUTLET INVERT. TRENCHES SHALL BE 18" WIDE AND 18" DEEP.
3. PRECAST FRAMES MUST BE USED TO CASTING AND BIO-INMETRIC SYSTEM.
4. ALL TANKS SHALL BE CONCRETE ON REBARS.
5. REBAR IN EXCESS OF 5/8" DIA. SHALL BE CASTING AND BIO-INMETRIC SYSTEM.
6. CONTRACTOR SHALL PROVIDE UNAUTHORIZED ACCESS.
7. CONTRACTOR SHALL PROVIDE ELECTRICAL REQUIREMENTS.

PROJECT ENGINEER'S APPROVAL:
 I HAVE REVIEWED THIS PLAN AND THE ASSOCIATED DOCUMENTS AND I AM SURE THAT THE PROJECT WILL BE COMPLETED IN ACCORDANCE WITH THE ZONING ORDINANCE.

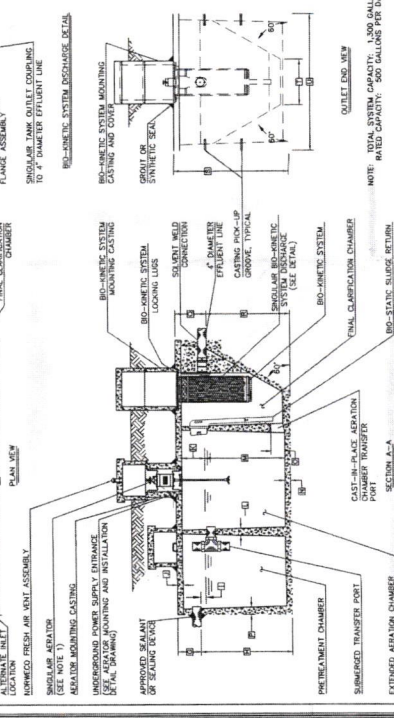
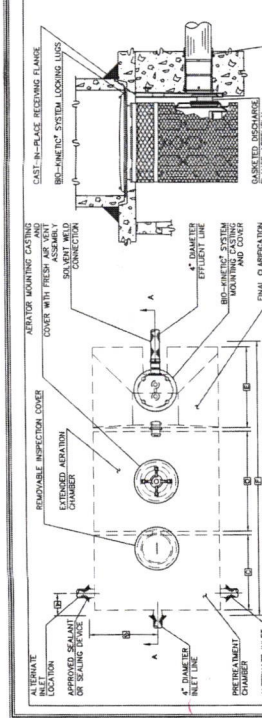
DATE: _____

NAME: _____

CERTIFICATION: _____

ITEMS TO BE INSTALLED

ITEM	QUANTITY	UNIT	PRICE	TOTAL
1. SINGLEHOLE AERATOR	1	EA	1500.00	1500.00
2. PRECAST FRAME	1	EA	1000.00	1000.00
3. TRENCH	1	LF	100.00	100.00
4. PIPING	1	LF	100.00	100.00
5. VALVES	1	EA	100.00	100.00
6. ELECTRICAL	1	EA	100.00	100.00
7. CONCRETE	1	EA	100.00	100.00
8. REBARS	1	EA	100.00	100.00
9. FENCING	1	EA	100.00	100.00
10. SIGNAGE	1	EA	100.00	100.00



SECTION A-A

SECTION B-B

SECTION C-C

SECTION D-D

SECTION E-E

SECTION F-F

SECTION G-G

SECTION H-H

SECTION I-I

SECTION J-J

SECTION K-K

SECTION L-L

SECTION M-M

SECTION N-N

SECTION O-O

SECTION P-P

SECTION Q-Q

SECTION R-R

SECTION S-S

SECTION T-T

SECTION U-U

SECTION V-V

SECTION W-W

SECTION X-X

SECTION Y-Y

SECTION Z-Z

LOW PRESSURE DOSING SYSTEM - INITIAL INSTALLATION

TRENCH	DEPTH (FT)	WIDTH (FT)	LENGTH (FT)	VOLUME (CU YD)	PRICE (USD)
1	1.5	1.5	10	0.31	31.00
2	1.5	1.5	10	0.31	31.00
3	1.5	1.5	10	0.31	31.00
4	1.5	1.5	10	0.31	31.00
5	1.5	1.5	10	0.31	31.00
6	1.5	1.5	10	0.31	31.00
7	1.5	1.5	10	0.31	31.00
8	1.5	1.5	10	0.31	31.00
9	1.5	1.5	10	0.31	31.00
10	1.5	1.5	10	0.31	31.00
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12	1.5	1.5	10	0.31	31.00
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58	1.5	1.5	10	0.31	31.00
59	1.5	1.5	10	0.31	31.00
60	1.5	1.5	10	0.31	31.00
61	1.5	1.5	10	0.31	31.00
62	1.5	1.5	10	0.31	31.00
63	1.5	1.5	10	0.31	31.00
64	1.5	1.5	10	0.31	31.00
65	1.5	1.5	10	0.31	31.00
66	1.5	1.5	10	0.31	31.00
67	1.5	1.5	10	0.31	31.00
68	1.5	1.5	10	0.31	31.00
69	1.5	1.5	10	0.31	31.00
70	1.5	1.5	10	0.31	31.00
71	1.5	1.5	10	0.31	31.00
72	1.5	1.5	10	0.31	31.00
73	1.5	1.5	10	0.31	31.00
74	1.5	1.5	10	0.31	31.00
75	1.5	1.5	10	0.31	31.00
76	1.5	1.5	10	0.31	31.00
77	1.5	1.5	10	0.31	31.00
78	1.5	1.5	10	0.31	31.00
79	1.5	1.5	10	0.31	31.00
80	1.5	1.5	10	0.31	31.00
81	1.5	1.5	10	0.31	31.00
82	1.5	1.5	10	0.31	31.00
83	1.5	1.5	10	0.31	31.00
84	1.5	1.5	10	0.31	31.00
85	1.5	1.5	10	0.31	31.00
86	1.5	1.5	10	0.31	31.00
87	1.5	1.5	10	0.31	31.00
88	1.5	1.5	10	0.31	31.00
89	1.5	1.5	10	0.31	31.00
90	1.5	1.5	10	0.31	31.00
91	1.5	1.5	10	0.31	31.00
92	1.5	1.5	10	0.31	31.00
93	1.5	1.5	10	0.31	31.00
94	1.5	1.5	10	0.31	31.00
95	1.5	1.5	10	0.31	31.00
96	1.5	1.5	10	0.31	31.00
97	1.5	1.5	10	0.31	31.00
98	1.5	1.5	10	0.31	31.00
99	1.5	1.5	10	0.31	31.00
100	1.5	1.5	10	0.31	31.00

TRENCH DESIGN

TRENCH	DEPTH (FT)	WIDTH (FT)	LENGTH (FT)	VOLUME (CU YD)	PRICE (USD)
1	1.5	1.5	10	0.31	31.00
2	1.5	1.5	10	0.31	31.00
3	1.5	1.5	10	0.31	31.00
4	1.5	1.5	10	0.31	31.00
5	1.5	1.5	10	0.31	31.00
6	1.5	1.5	10	0.31	31.00
7	1.5	1.5	10	0.31	31.00
8	1.5	1.5	10	0.31	31.00
9	1.5	1.5	10	0.31	31.00
10	1.5	1.5	10	0.31	31.00
11	1.5	1.5	10	0.31	31.00
12	1.5	1.5	10	0.31	31.00
13	1.5	1.5	10	0.31	31.00
14	1.5	1.5	10	0.31	31.00
15	1.5	1.5	10	0.31	31.00
16	1.5	1.5	10	0.31	31.00
17	1.5	1.5	10	0.31	31.00
18	1.5	1.5	10	0.31	31.00
19	1.5	1.5	10	0.31	31.00
20	1.5	1.5	10	0.31	31.00
21	1.5	1.5	10	0.31	31.00
22	1.5	1.5	10	0.31	31.00
23	1.5	1.5	10	0.31	31.00
24	1.5	1.5	10	0.31	31.00
25	1.5	1.5	10	0.31	31.00
26	1.5	1.5	10	0.31	31.00
27	1.5	1.5	10	0.31	31.00
28	1.5	1.5	10	0.31	31.00
29	1.5	1.5	10	0.31	31.00
30	1.5	1.5	10	0.31	31.00
31	1.5	1.5	10	0.31	31.00
32	1.5	1.5	10	0.31	31.00
33	1.5	1.5	10	0.31	31.00
34	1.5	1.5	10	0.31	31.00
35	1.5	1.5	10	0.31	31.00
36	1.5	1.5	10	0.31	31.00
37	1.5	1.5	10	0.31	31.00
38	1.5	1.5	10	0.31	31.00
39	1.5	1.5	10	0.31	31.00
40	1.5	1.5	10	0.31	31.00
41	1.5	1.5	10	0.31	31.00
42	1.5	1.5	10	0.31	31.00
43	1.5	1.5	10	0.31	31.00
44	1.5	1.5	10	0.31	31.00
45	1.5	1.5	10	0.31	31.00
46	1.5	1.5	10	0.31	31.00
47	1.5	1.5	10	0.31	31.00
48	1.5	1.5	10	0.31	31.00
49	1.5	1.5	10	0.31	31.00
50	1.5				

Bricker, Robert

From: Bricker, Robert
Sent: Monday, August 9, 2021 3:34 PM
To: Leticia Rivas
Cc: Brian.Stewart.42@gmail.com
Subject: RE: 18305 Chelsea Knolls Drive_B21002473

Good day Leticia,

The labels for the OSDS tanks and for the Well are illegible, the font is so small. The label "Private Sewer Easement" should be deleted and replaced with 'Sewage Disposal Area or 'SDA'. The soil stockpile is also difficult to see because of its lightness.

After editing the labels you may submit the revised Plot Plan to the Department of Inspections, Licenses, and Permits.
Robert Bricker, REHS/RS, L.E.H.S.

From: Leticia Rivas <leticia@browningpools.com>
Sent: Monday, August 9, 2021 1:28 PM
To: Bricker, Robert <RBricker@howardcountymd.gov>
Cc: Brian.Stewart.42@gmail.com
Subject: Re: 18305 Chelsea Knolls Drive_B21002473

[Note: This email originated from outside of the organization. Please only click on links or attachments if you know the sender.]

Hello Mr. Bricker,

I have revised the plot plans. Please let me know if this will suffice the health department.

Best,
Leticia R.

From: Bricker, Robert <RBricker@howardcountymd.gov>
Sent: Friday, July 30, 2021 10:34 AM
To: Leticia Rivas <leticia@browningpools.com>
Cc: Brian.Stewart.42@gmail.com <Brian.Stewart.42@gmail.com>
Subject: RE: 18305 Chelsea Knolls Drive_B21002473

Understood. The waiver request will not be submitted to the reviewer until there is an approvable revision of the Plot Plan submitted to DILP. You may send me a PDF of the Plot Plan revision before submitting it to DILP.

We'll work at this step-by-step.

Robert Bricker, REHS/RS, L.E.H.S.

From: Leticia Rivas <leticia@browningpools.com>
Sent: Friday, July 30, 2021 10:07 AM
To: Bricker, Robert <RBricker@howardcountymd.gov>
Cc: Brian.Stewart.42@gmail.com
Subject: Re: 18305 Chelsea Knolls Drive_B21002473

Bricker, Robert

18305 Chelsea Knolls

To: leticiar@browningpools.com
Cc: Brian.Stewart.42@gmail.com
Subject: 18305 Chelsea Knolls Drive_B21002473

Dear Mr Browning,

The proposal (B21002475) for construction of an inground pool at 13805 Chelsea Knolls Drive is 'On Hold' by the Howard County Health Department. The following issues must be resolved:

1. The locations of the well, the BAT unit, and the Pump Tank must each be illustrated on the Plot Plan. You will find that the proposed location for the 'soil stockpile' must be moved as it cannot be placed over the tanks. Submit the Plot Plan revision to the Department of Inspections, Licenses, and Permits (DILP).
2. The owner must request in writing a waiver to reduce the regulated setback space between the pool basin and the sewage disposal area from 20 feet to 10 feet. The request may be sent to me by email. When I receive the revised Plot Plan from DILP, I will forward the request and Plot Plan to the Approving Authority in the Bureau of Environmental Health.
3. The well, the BAT unit, and the Pump Tank each must be protected by a barrier to vehicles. Orange, netted construction fence supported by sturdy metal posts is preferred. Notify me when the barriers are in place so that I may inspect and release the construction permits, or have the barriers in place when I conduct a site inspection associated with the waiver request.

ROBERT BRICKER, REHS/RS, L.E.H.S.
ENVIRONMENTAL SANTARIAN II
BUREAU OF ENVIRONMENTAL HEALTH, WELL AND SEPTIC PROGRAM
8930 STANFORD BLVD., COLUMBIA, MD 21045

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