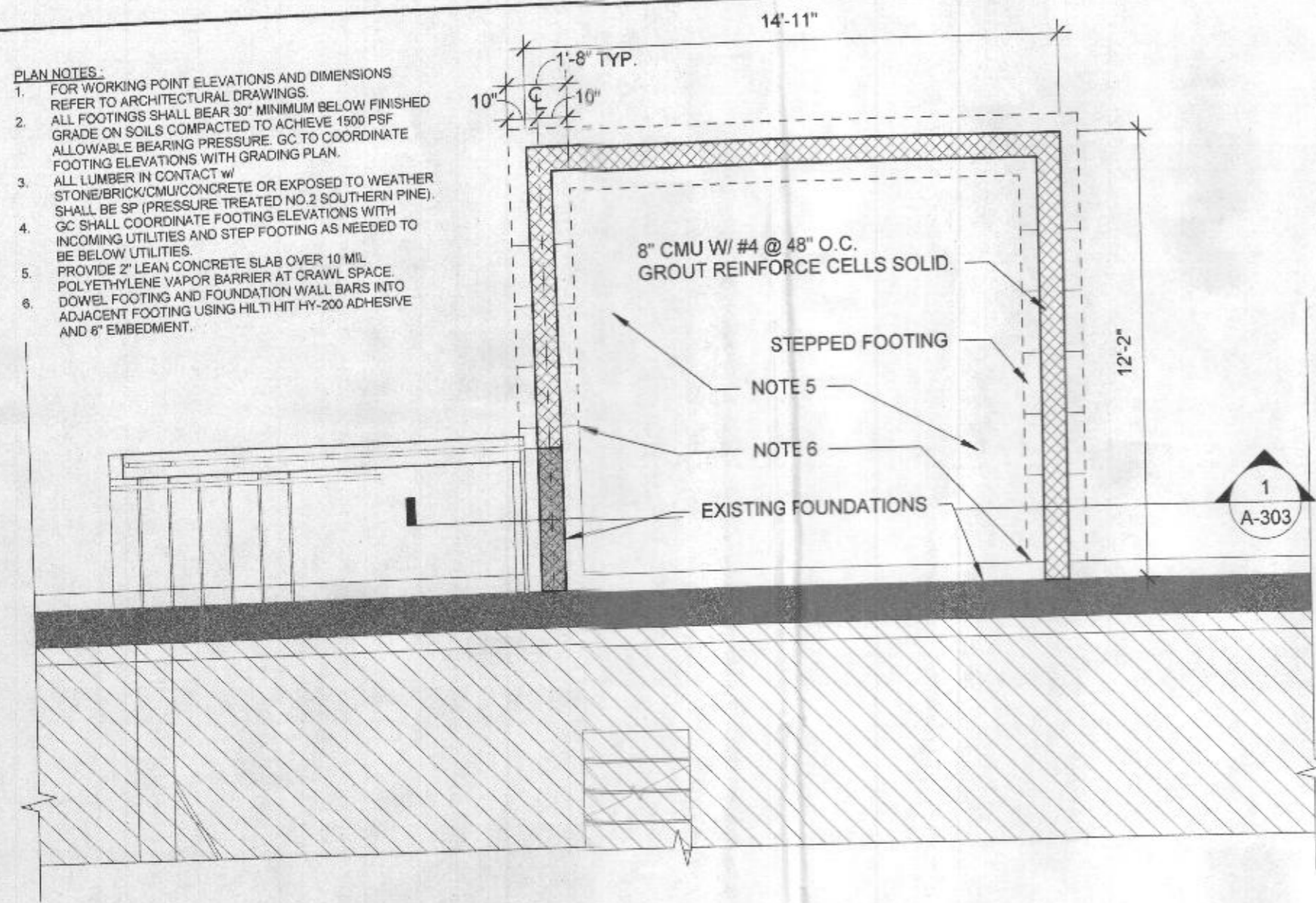


**PLAN NOTES:**

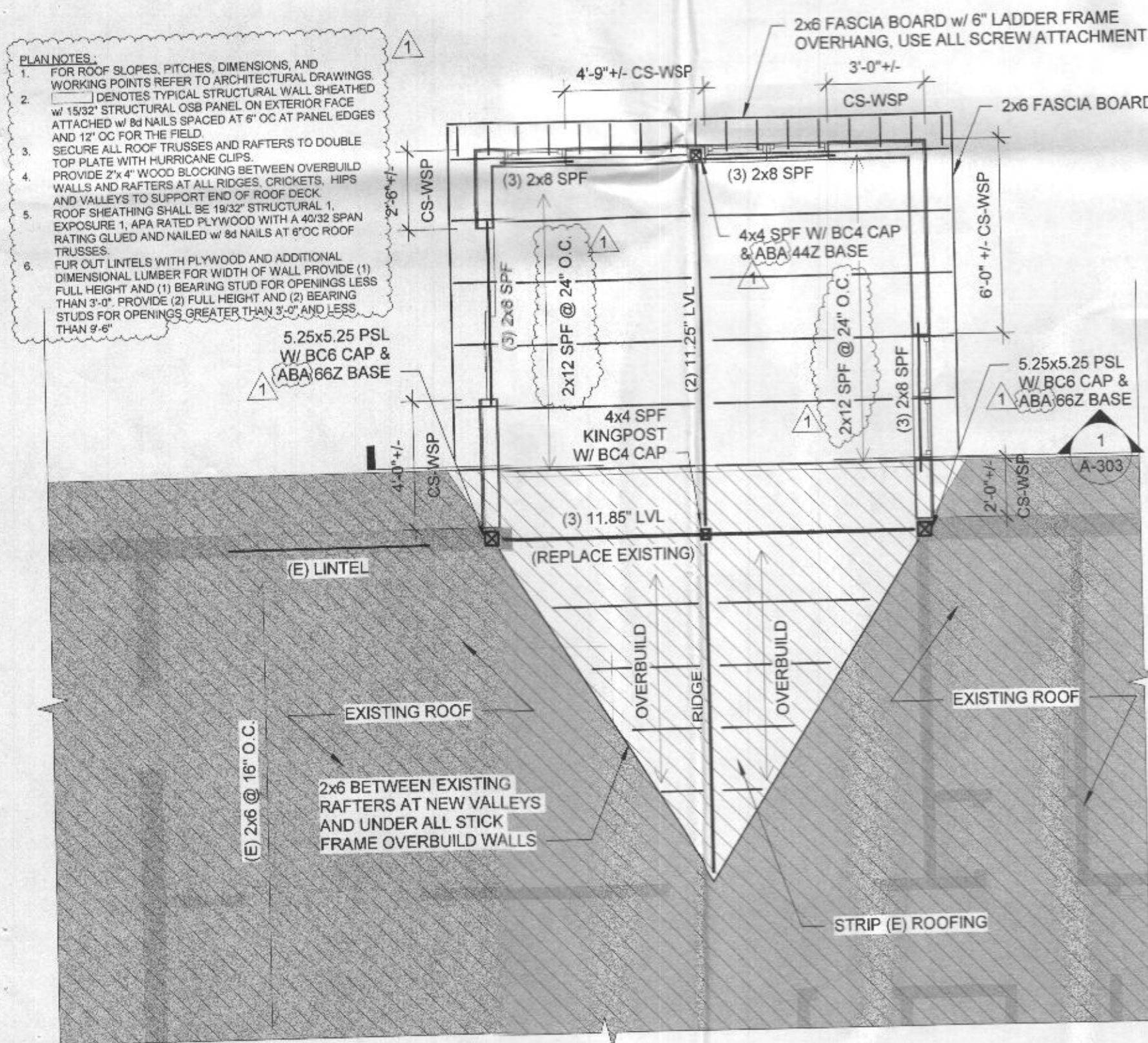
- FOR WORKING POINT ELEVATIONS AND DIMENSIONS REFER TO ARCHITECTURAL DRAWINGS.
- ALL FOOTINGS SHALL BEAR 30" MINIMUM BELOW FINISHED GRADE ON SOILS COMPACTED TO ACHIEVE 1500 PSF ALLOWABLE BEARING PRESSURE. GC TO COORDINATE FOOTING ELEVATIONS WITH GRADING PLAN.
- ALL LUMBER IN CONTACT W/ STONE/BRICK/CMU/CONCRETE OR EXPOSED TO WEATHER SHALL BE SP (PRESSURE TREATED NO 2 SOUTHERN PINE). GC SHALL COORDINATE FOOTING ELEVATIONS WITH INCOMING UTILITIES AND STEP FOOTING AS NEEDED TO BE BELOW UTILITIES.
- PROVIDE 2" LEAN CONCRETE SLAB OVER 10 MIL POLYETHYLENE VAPOR BARRIER AT CRAWL SPACE. DOWEL FOOTING AND FOUNDATION WALL BARS INTO ADJACENT FOOTING USING HILTI HIT HY-200 ADHESIVE AND 6" EMBEDMENT.



**1 Foundation Plan**  
1/4" = 1'-0"

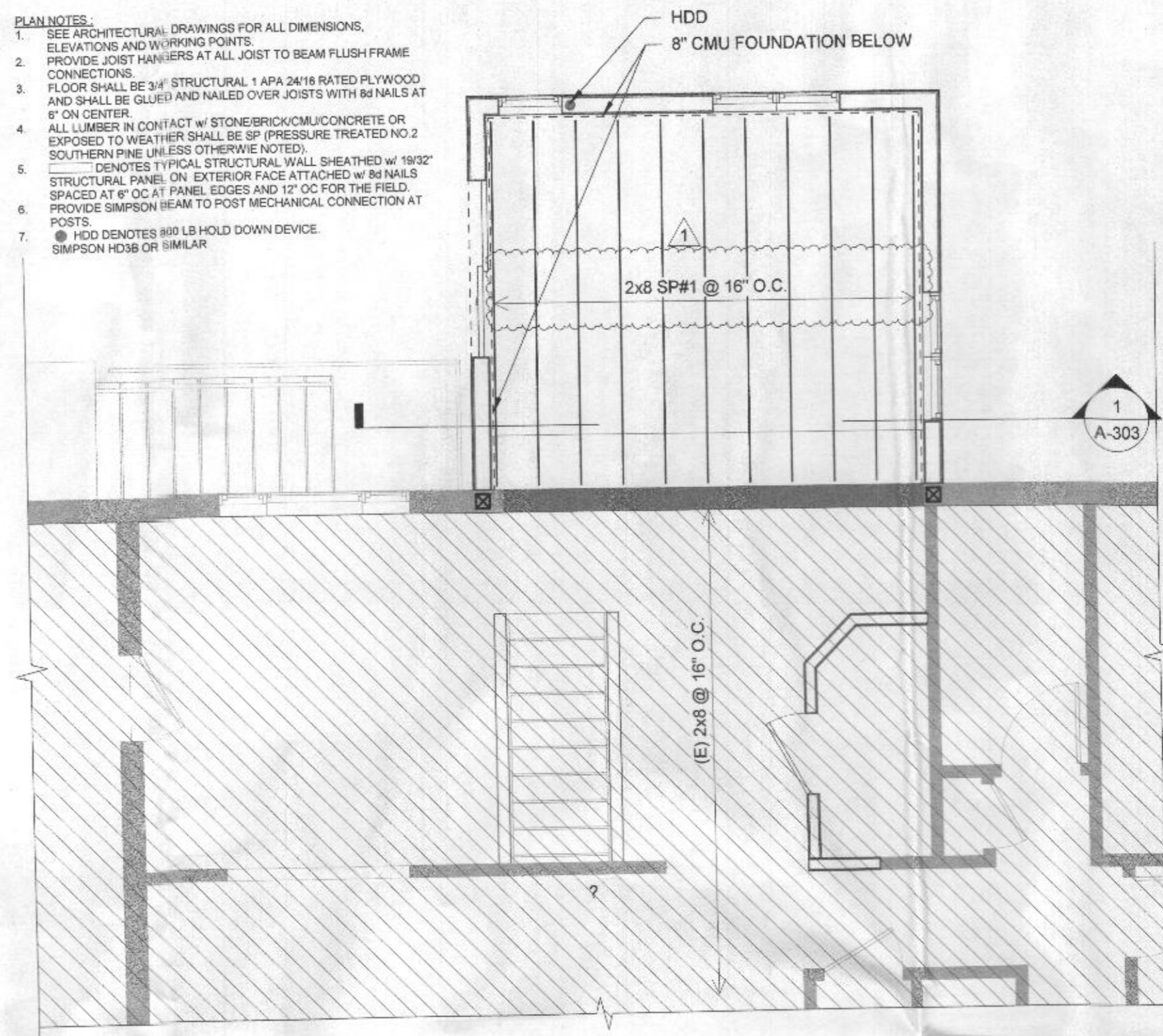
**PLAN NOTES:**

- FOR ROOF SLOPES, PITCHES, DIMENSIONS, AND WORKING POINTS REFER TO ARCHITECTURAL DRAWINGS.
- DENOTES TYPICAL STRUCTURAL WALL SHEATHED W/ 15/32" STRUCTURAL OSB PANEL ON EXTERIOR FACE ATTACHED W/ 8d NAILS SPACED AT 6" OC AT PANEL EDGES AND 12" OC FOR THE FIELD.
- SECURE ALL ROOF TRUSSES AND RAFTERS TO DOUBLE TOP PLATE WITH HURRICANE CLIPS.
- PROVIDE 2x4" WOOD BLOCKING BETWEEN OVERBUILD WALLS AND RAFTERS AT ALL RIDGES, CRICKETS, HIPS AND VALLEYS TO SUPPORT END OF ROOF DECK.
- ROOF SHEATHING SHALL BE 15/32" STRUCTURAL 1, EXPOSURE 1, APA RATED PLYWOOD WITH A 4032 SPAN RATING GLUED AND NAILED W/ 8d NAILS AT 6" OC ROOF TRUSSES.
- FUR OUT LINTELS WITH PLYWOOD AND ADDITIONAL DIMENSIONAL LUMBER FOR WIDTH OF WALL PROVIDE (1) FULL HEIGHT AND (1) BEARING STUD FOR OPENINGS LESS THAN 3'-0". PROVIDE (2) FULL HEIGHT AND (2) BEARING STUDS FOR OPENINGS GREATER THAN 3'-0" AND LESS THAN 9'-6".

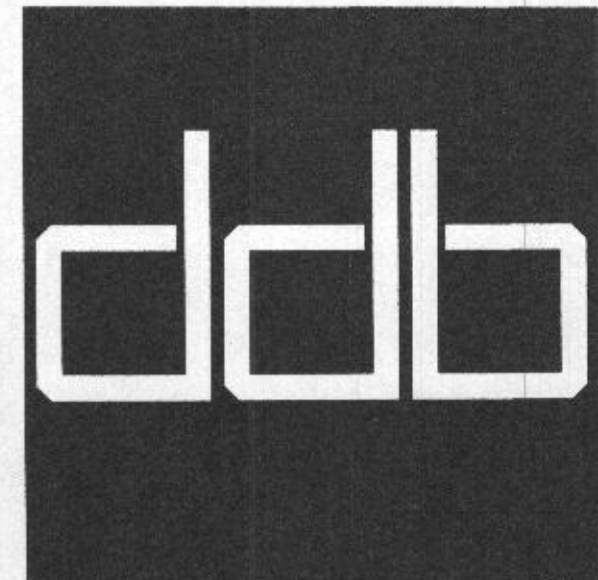


**3 Roof Framing Plan**  
1/4" = 1'-0"

- PLAN NOTES:**
- SEE ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS, ELEVATIONS AND WORKING POINTS.
  - PROVIDE JOIST HANGERS AT ALL JOIST TO BEAM FLUSH FRAME CONNECTIONS.
  - FLOOR SHALL BE 3/4" STRUCTURAL 1 APA 24/18 RATED PLYWOOD AND SHALL BE GLUED AND NAILED OVER JOISTS WITH 8d NAILS AT 6" ON CENTER.
  - ALL LUMBER IN CONTACT W/ STONE/BRICK/CMU/CONCRETE OR EXPOSED TO WEATHER SHALL BE SP (PRESSURE TREATED NO 2 SOUTHERN PINE UNLESS OTHERWISE NOTED).
  - DENOTES TYPICAL STRUCTURAL WALL SHEATHED W/ 15/32" STRUCTURAL PANEL ON EXTERIOR FACE ATTACHED W/ 8d NAILS SPACED AT 6" OC AT PANEL EDGES AND 12" OC FOR THE FIELD.
  - PROVIDE SIMPSON BEAM TO POST MECHANICAL CONNECTION AT POSTS.
  - HDD DENOTES 800 LB HOLD DOWN DEVICE. SIMPSON HD3B OR SIMILAR.



**2 1st Floor Framing Plan**  
1/4" = 1'-0"



architect **ddb WORKSHOP, LLC**  
11110 Radcliff Lane  
Fulton, MD 20759  
301.580.1441

structural consultant **TEC**  
Tarantino Engineering  
Consultants, PC  
8115 Maple Lawn Blvd  
Suite 350  
Fulton, MD 20759  
410-921-7678  
www.tarantinoec.com

project **Dufault Addition**  
10701 Hunting Lane  
Columbia, MD

Seal | Signature  
  
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LICENSE # 24871 EXPIRATION: 02/28/2022

revisions

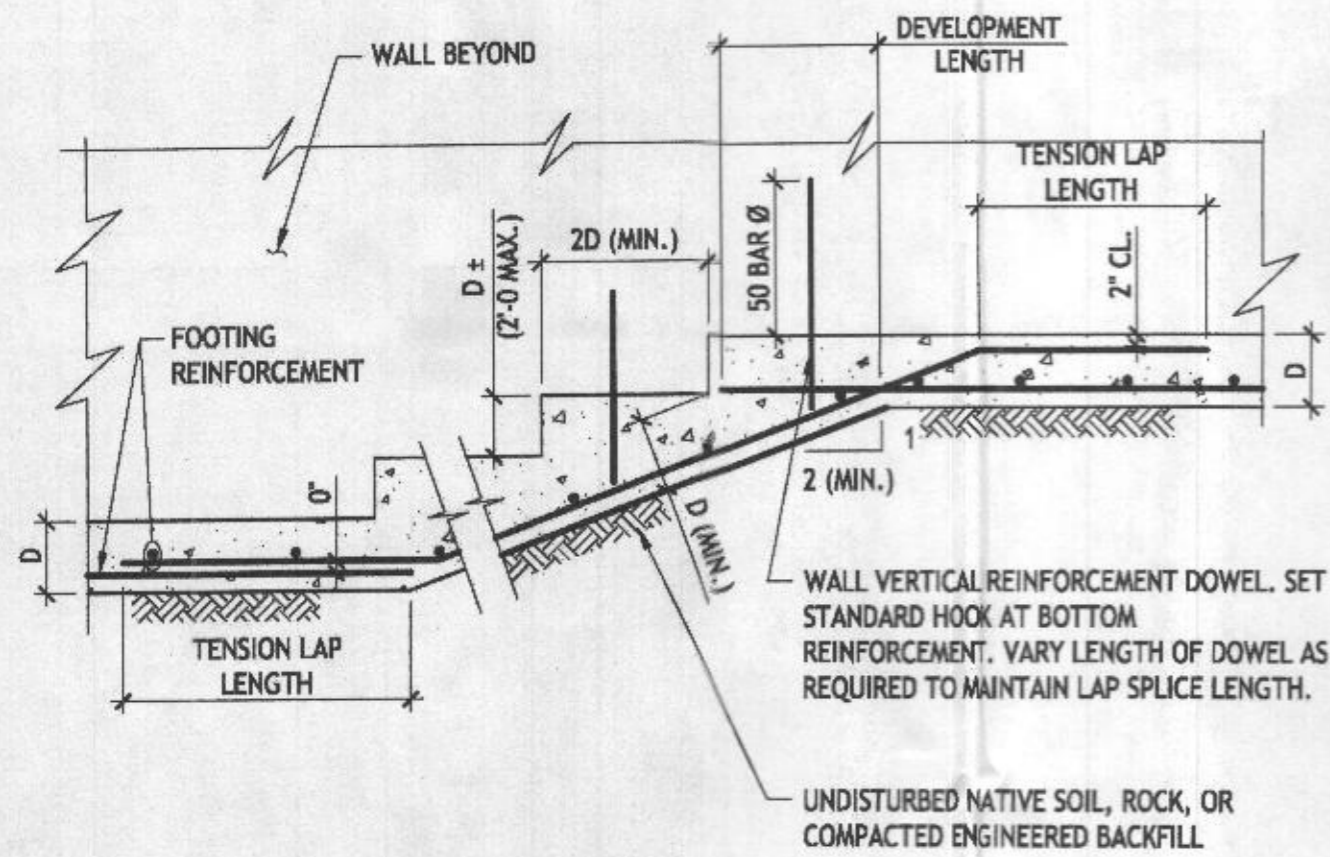
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1	05/28/21	PERMIT COMMENT

**FRAMING PLANS**

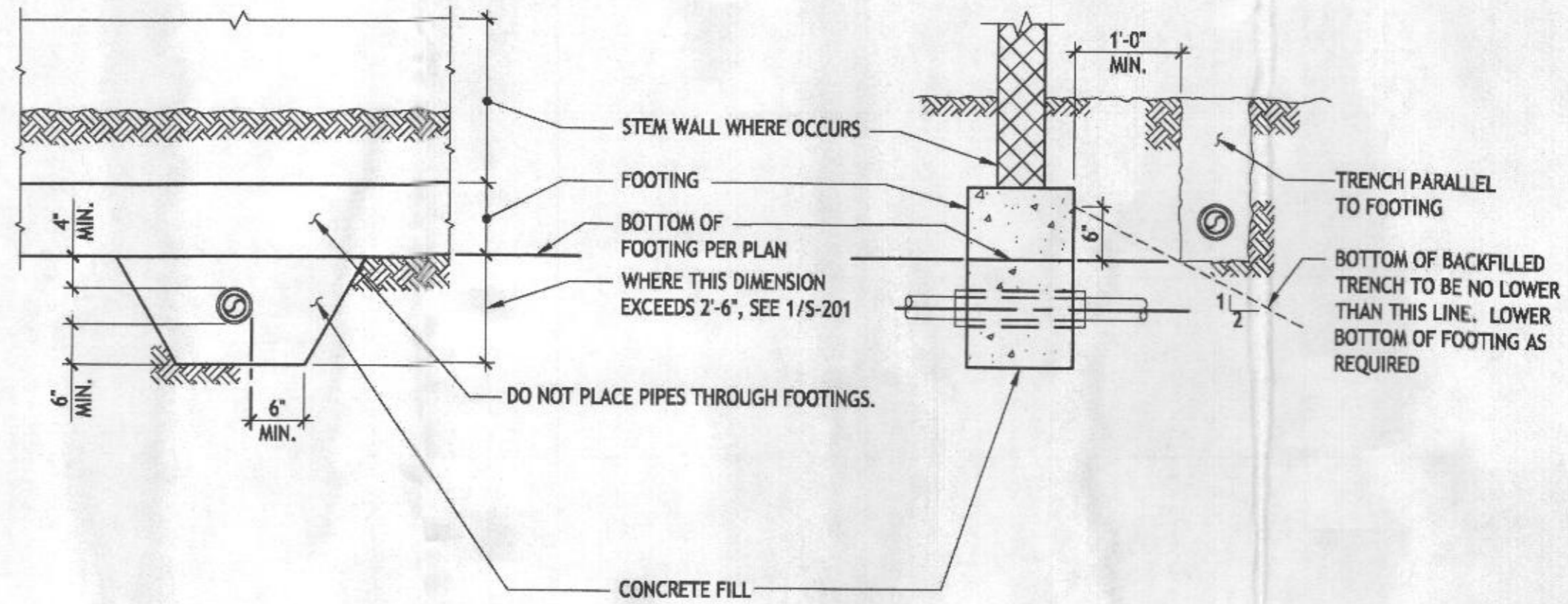
PERMIT COMMENT  
Issue Date: 05/17/2021

**S-101**

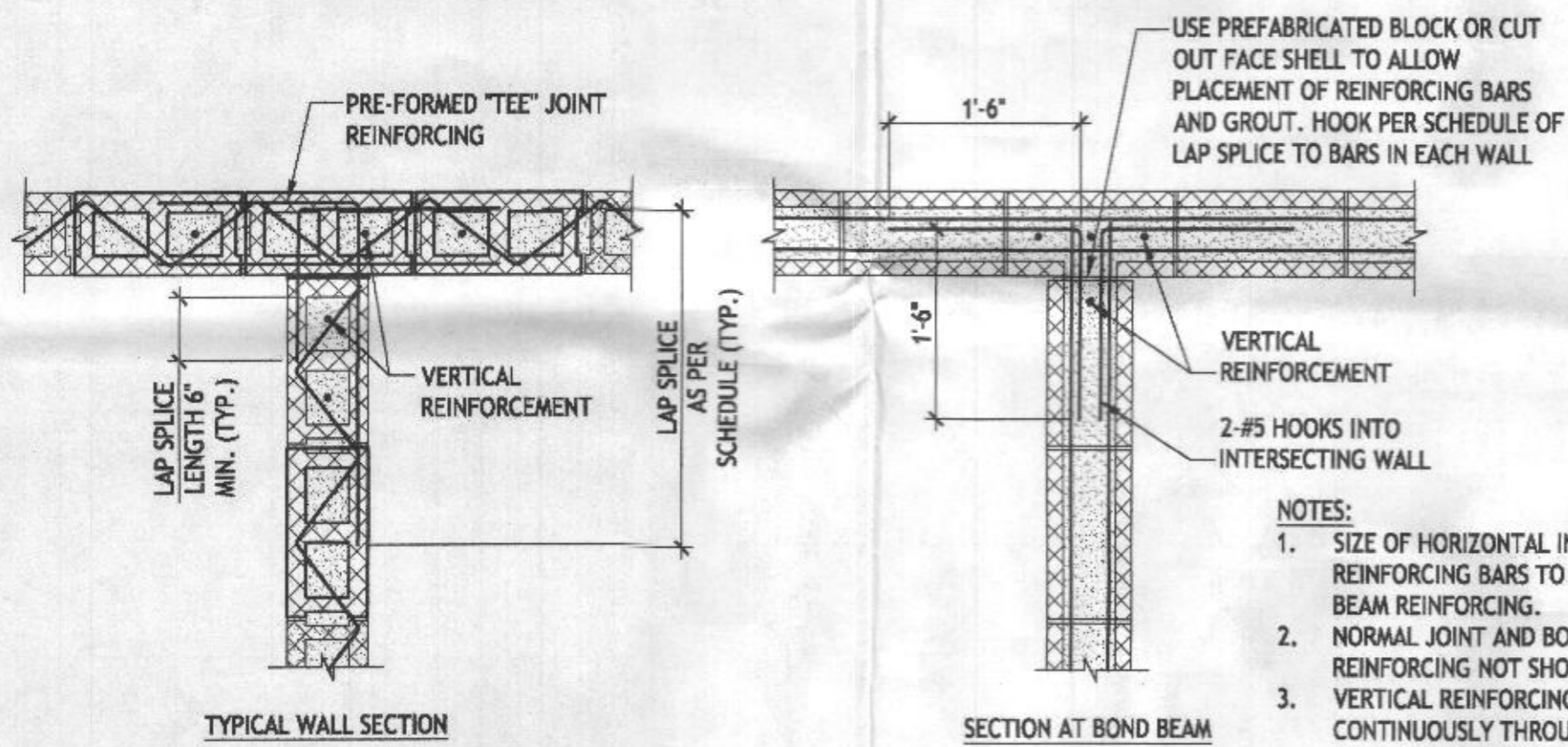
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1 STEPPED FOOTING  
3/4" = 1'-0"



2 TYP. PIPE @ FOOTING  
3/4" = 1'-0"



3 HORIZONTAL CMU INTERSECTION DETAIL  
3/4" = 1'-0"

- NOTES:
1. SIZE OF HORIZONTAL INTERSECTION REINFORCING BARS TO MATCH BOND BEAM REINFORCING.
  2. NORMAL JOINT AND BOND BEAM REINFORCING NOT SHOWN FOR CLARITY.
  3. VERTICAL REINFORCING BARS TO EXTEND CONTINUOUSLY THROUGH BOND BEAMS. LAP VERTICALS AS PER SCHEDULE ABOVE BOND BEAMS.



architect  
**ddb WORKSHOP, LLC**  
11110 Radcliff Lane  
Fulton, MD 20759  
301.580.1441

structural consultant  
**TEC** Tarantino Engineering  
Consultants, PC  
8115 Maple Lawn Blvd  
Suite 350  
Fulton, MD 20759  
410-921-7678  
www.tarantinoec.com

project  
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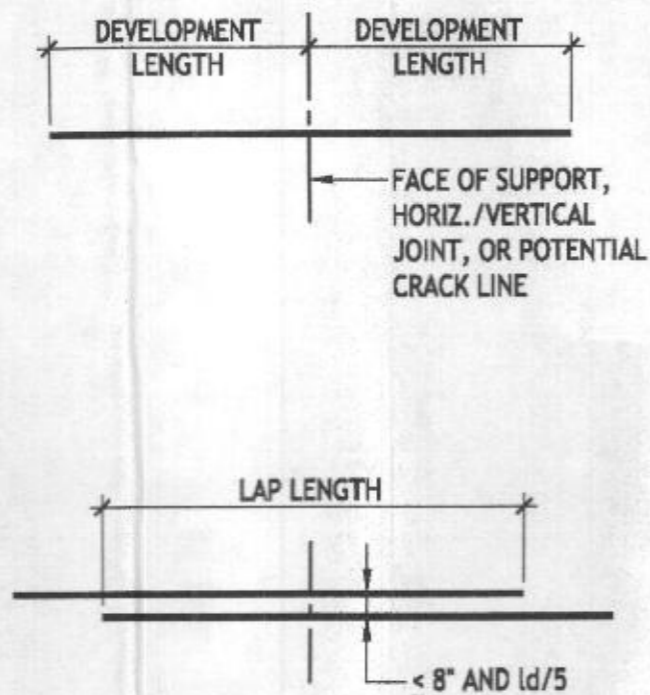
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**DETAILS**

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JUN 25 2021  
LICENSES & PERMITS  
DIVISION

Issue Date: 05/17/2021  
**S-201**

BAR SIZE	LAP/SPLICE AND DEVELOPMENT LENGTH $f_m = 1,900$ PSI		
	8" CMU	10" CMU	12" CMU
#3	14	14	14
#4	18	18	18
#5	22	22	22
#6	38	35	35

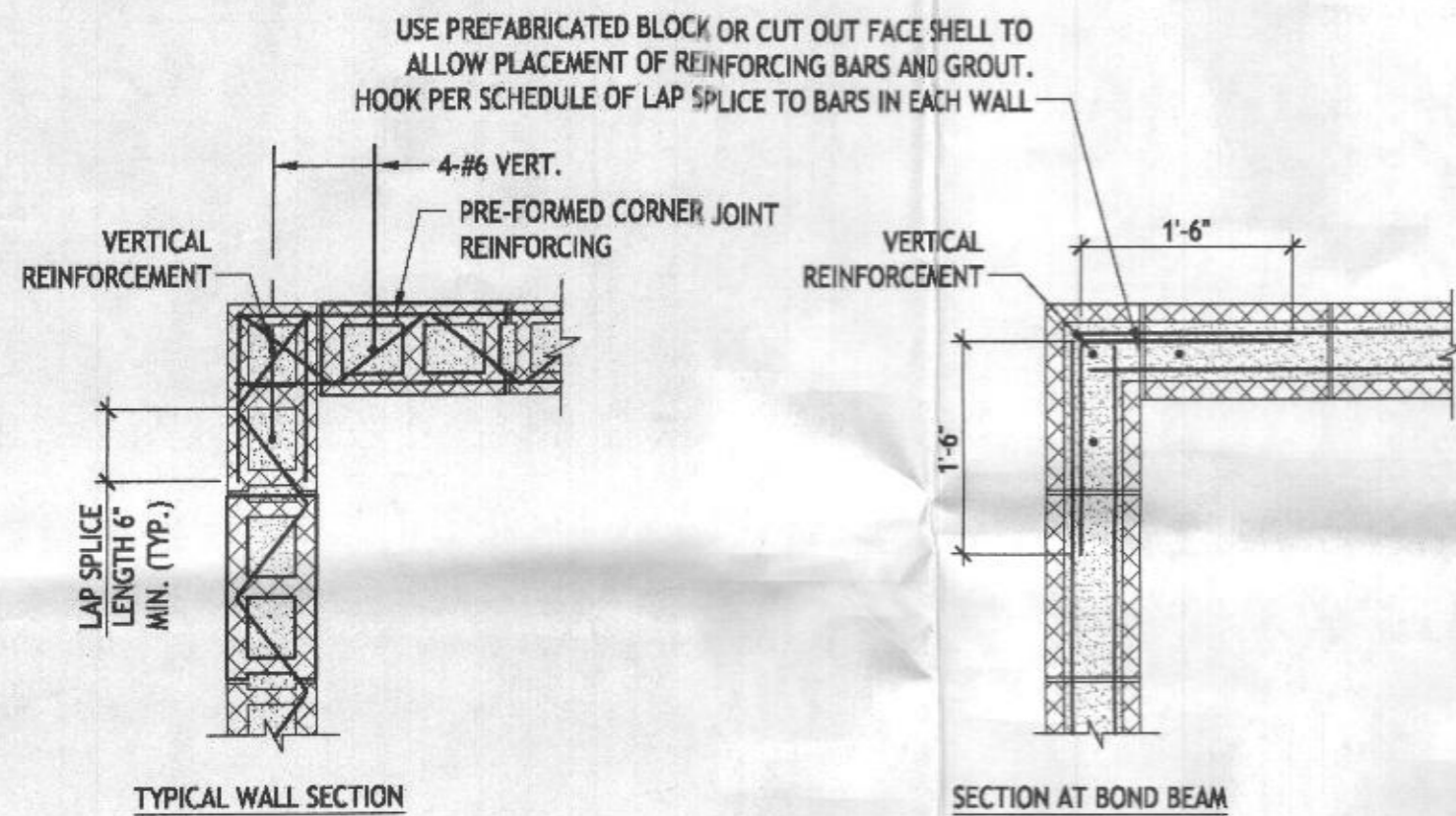


- NOTES:
- REFER TO "HOOKED TENSION DEVELOPMENT LENGTH IN GROUTED MASONRY SCHEDULE" WHEN THE STRAIGHT DEVELOPMENT LENGTH IN TENSION CANNOT BE ACCOMMODATED IN THE CONCRETE SECTION.
  - WHEN DIFFERENT BAR DIAMETERS ARE SPLICED, USE LARGER BAR LAP SPLICE LENGTH.
  - ALL TABULATED VALUES ARE MINIMUM LENGTHS, IN CASE OF CONFLICT WITH PLANS, SECTIONS, OR DETAILS USE THE LONGER LENGTH.
  - ADJUST TABULATED LENGTHS BY THE FOLLOWING FACTORS WHERE APPLICABLE. NOTE THAT FACTORS ARE CUMULATIVE:
 

A. EPOXY COATED BARS	1.50
----------------------	------
  - WELDED AND/OR MECHANICAL SPLICES MAY BE USED AT THE GENERAL CONTRACTOR'S OPTION PROVIDED THAT THE SPLICE IS CAPABLE OF DEVELOPING AT LEAST 125% OF THE YIELD STRENGTH OF THE LARGER BAR IN TENSION. THE GENERAL CONTRACTOR SHALL USE WELDED AND/OR MECHANICAL SPLICES WHERE LAP SPLICES WOULD CREATE BAR CONGESTION THAT WOULD INTERFERE WITH THE PLACING OF GROUT. WHERE WELDED AND/OR MECHANICAL SPLICES ARE TO BE USED, THE GENERAL CONTRACTOR SHALL SUBMIT FULL DATA ON THE PROPOSED MATERIAL, PROCEDURES, AND INSTALLATION INSTRUCTIONS TO THE ENGINEER FOR REVIEW AS A SHOP DRAWING SUBMISSION.
  - db = BAR DIAMETER.
  - TABULATED DEVELOPMENT AND LAP SPLICE LENGTHS ARE BASED ON REINFORCING STEEL YIELD STRENGTH  $F_y$  5=60 KSI,

### STRAIGHT REINFORCEMENT DEVELOPMENT & SPLICE LENGTH IN GROUTED MASONRY

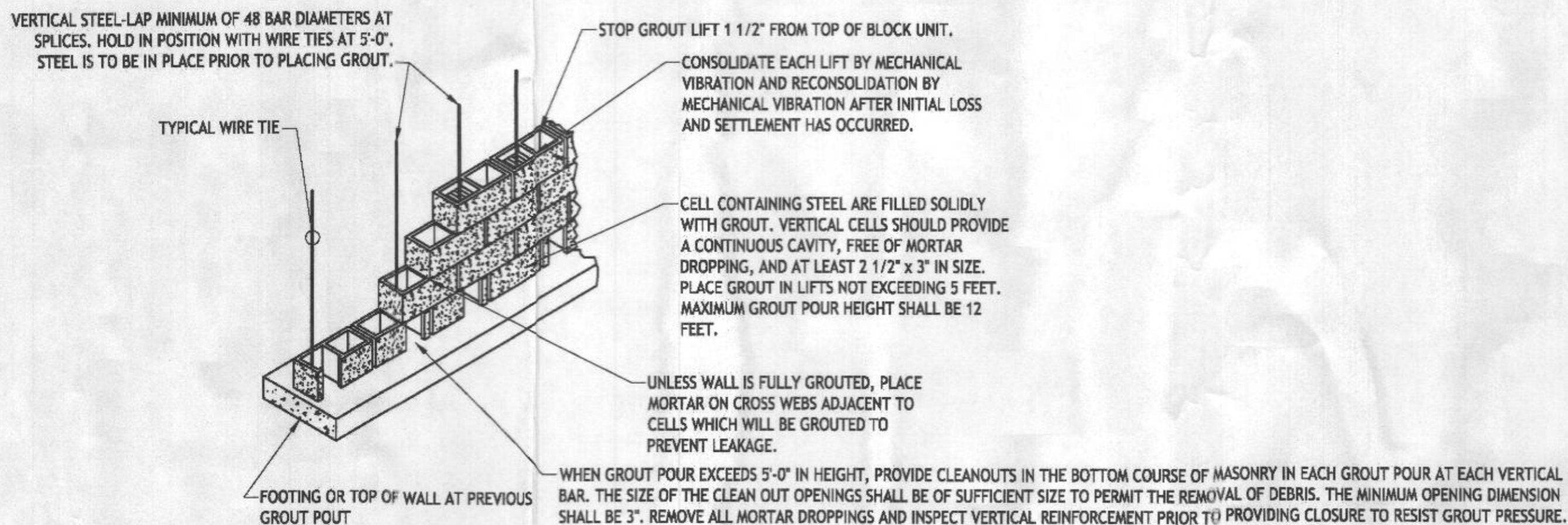
1  
3/4" = 1'-0"



- NOTES:
- CONTROL SPACING CRITERIA
    - 24'-0" O.C. MAX. EXCEPT AS NOTED
    - 3 TIMES THE WALL HEIGHT
    - WITHIN 2'-0" OF A CORNER OR INTERSECTION
    - NO CLOSER THAN 2'-0" TO ANY OPENING IN THE WALL
    - AT CHANGES IN HEIGHT
    - AT INTERSECTION OF STRUCTURAL AND NON-STRUCTURAL (PARTITION) WALLS
  - DO NOT EXTEND ANY REINFORCEMENT THROUGH JOINT EXCEPT @ 1 COURSE ABOVE FLOOR & BELOW CEILING, WHERE REINFORCEMENT SHALL BE CONTINUOUS THROUGH JOINT.
  - CONCRETE BLOCK SHOWN - BRICK SIMILAR.
  - SAW-CUT BRICK OR BLOCK AS REQUIRED.
  - PROVIDE 2 HR RATING AT JOINT
  - PROVIDE VERTICAL STEEL REINFORCING BAR SIZE AS NOTED ON PLAN, IN SECTION, OR IN GENERAL NOTES TO MATCH ADJACENT VERTICAL BARS.
  - SIZE OF HORIZONTAL CORNER REINFORCING BARS TO MATCH BOND BEAM REINFORCING.
  - BOND BEAM REINFORCING NOT SHOWN FOR CLARITY.
  - VERTICAL REINFORCING BARS TO EXTEND CONTINUOUSLY THROUGH BOND BEAMS. LAP VERTICALS AS PER SCHEDULE ABOVE BOND BEAMS.

### HORIZONTAL CMU WALL CORNER REINFORCEMENT DETAIL

2  
3/4" = 1'-0"



### TYP. CMU REINFORCEMENT DETAIL

3  
3/4" = 1'-0"



architect  
**ddb WORKSHOP, LLC**  
11110 Radcliff Lane  
Fulton, MD 20759  
301.580.1441

structural consultant  
**TEC** Tarantino Engineering  
Consultants, PC  
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410-921-7678  
www.tarantinoec.com

project  
**Dufault Addition**

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Seal | Signature



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**DETAILS**

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JUN 25 2021  
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DIVISION

Issue Date: 05/17/2021  
**S-202**







**OWNERS:** JUSTINE DUFAULT  
**ADDRESS:** 10701 HUNTING LANE, COLUMBIA, MD 21044

**MAP:** 0041      **GRID:** 0006      **NEIGHBORHOOD:** 5020203.14  
**PARCEL:** 0174      **SUBDIVISION:** 2301      **LOT:** 21

**BUILDING INFORMATION**

**ZONING:** R-20  
**LAND AREA:** 1.00 ACRE (43,560 SF)  
**BUILDING AREA (EXISTING):** 1ST FLOOR 1,204 SF  
**BUILDING AREA (PROPOSED):** 1ST FLOOR 1,366 SF  
**BUILDING HEIGHT:** +/- 16'-0"  
**FIRE SUPPRESSION:**  
 EXISTING: NO  
 PROPOSED: NO

**APPLICABLE CODES:**

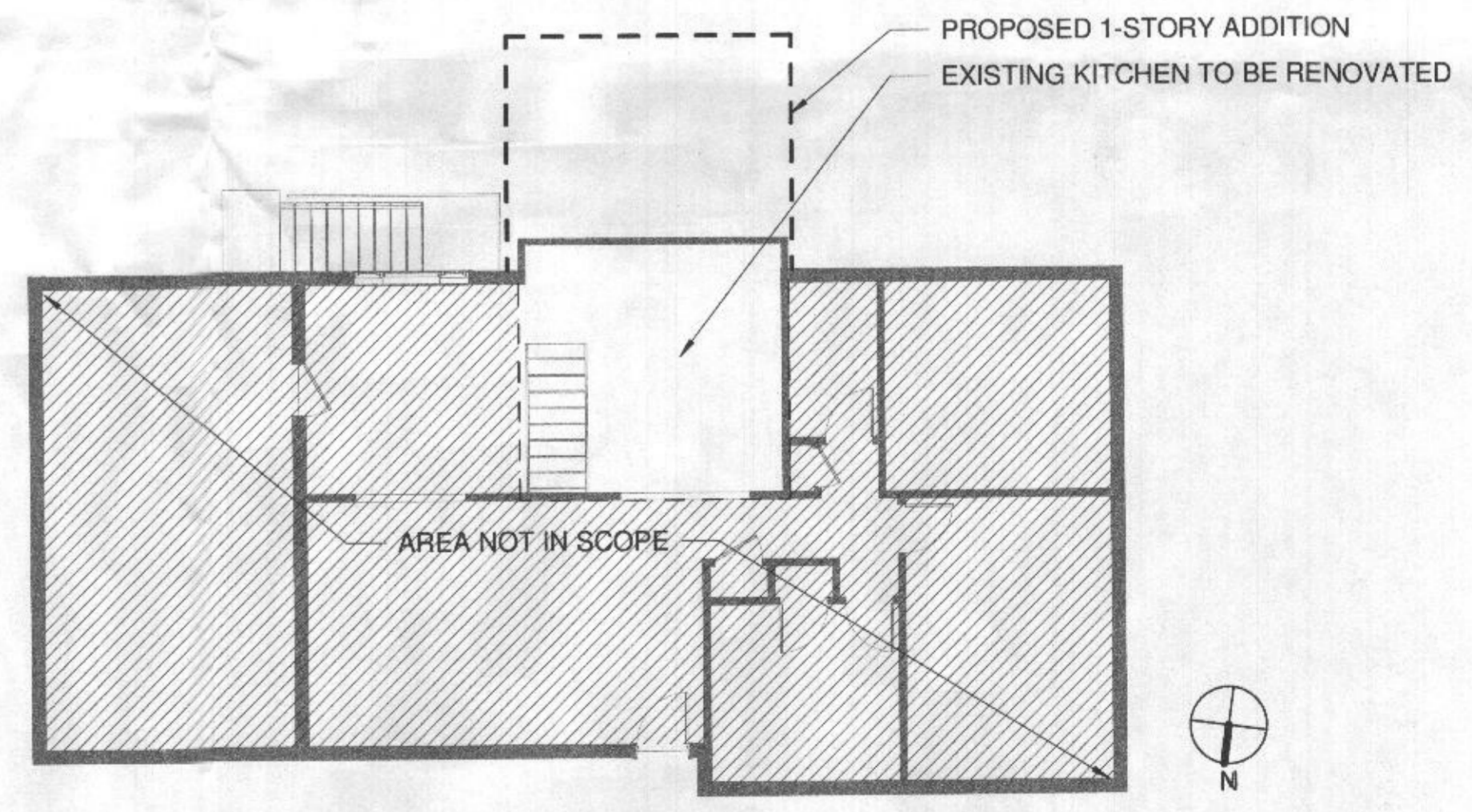
2018 INTERNATIONAL RESIDENTIAL CODE  
 2018 INTERNATIONAL MECHANICAL CODE  
 2018 INTERNATIONAL PLUMBING CODE  
 2018 INTERNATIONAL ENERGY CONSERVATION CODE

**DESCRIPTION:**

RENOVATION AND EXPANSION OF EXISTING KITCHEN. DEMOLITION OF EXISTING INTERIOR AND EXTERIOR WALLS. NEW KITCHEN CABINETS, FIXTURES, AND EXPANSION OF FOOTPRINT, WALLS, GLAZING, AND ROOF.



**3 PLOT PLAN**  
 1" = 30'-0"



**KEY PLAN**



architect  
**ddb WORKSHOP, LLC**  
 11110 Radcliff Lane  
 Fulton, MD 20759  
 301.580.1441

structural consultant  
**TEC** Tarantino Engineering  
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 8115 Maple Lawn Blvd  
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 REGISTRATION #: 17-908      EXPIRATION: 12/18/2022

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No.	Date	Title
05/17/21		PERMIT SET

**PROJECT INFO**

Issue Date: 05/17/2021  
**G-001**

## DRAWING LIST

### GENERAL

		DATE ISSUED	DATE REVISED
G-001	PROJECT INFO	05.17.21	
G-002	GENERAL NOTES & DRAWING LIST	05.17.21	

### ARCHITECTURAL

AD-101	DEMOLITION PLANS	05.17.21	
A-101	FLOOR PLANS	05.17.21	
A-201	ELEVATIONS	05.17.21	
A-301	BUILDING SECTIONS	05.17.21	
A-302	BUILDING SECTIONS	05.17.21	
A-303	BUILDING SECTIONS	05.17.21	

### STRUCTURAL

S-001	GENERAL NOTES	05.17.21	
S-101	FRAMING PLANS	05.17.21	
S-201	DETAILS	05.17.21	
S-202	DETAILS	05.17.21	

## GENERAL NOTES

- No work shall be started before permit has been issued.
- Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for, all dimensions and conditions on the job. This office must be notified of any variations from dimensions and conditions shown by these drawings. Shop drawings and submittals to be submitted to the Architect prior to fabrication and installation.
- All partitions are dimensioned from finish face to finish face unless otherwise noted. All dimensions marked "hold" or "clear" shall be maintained as indicated.
- Dimensions locating doors are to inside edge of jamb. Door frames to be set 6" from adjacent wall unless noted otherwise or dimensioned.
- Large scale drawings take precedence over small scale, details take precedence over all. Contractor shall notify Architect in writing of any discrepancies.
- Contractor shall coordinate and provide blocking in partitions for all millwork and wall attached items.
- "Typical" or "typ." shall mean that the condition is representative for similar conditions throughout, unless noted otherwise. Details are usually keyed and noted "typ." only once, when they first occur.
- Do not scale drawings.
- All finishes must have a flame spread rating of 200 or less and smoke generation of 450 or less (tenant space only).
- All work shall conform to the requirements of all local and state codes. Local and state codes are to take precedence over the drawings and specifications. If a discrepancy is noted, inform the Architect immediately, before proceeding with the work.
- The Contractor shall verify that drawings are the latest issue prior to commencing construction.
- If Contract Drawings and Specifications are at variance with one another on a particular item or items, Contractor shall base his proposal on the better quality or more expensive of the conditions indicated or noted. An item or equipment specified under one trade shall be binding as if specified under all applicable trades.
- The Contractor shall apply, install, connect, erect, clean and /or condition manufactured articles, materials, and/or equipment per manufacturer's instructions. In a case of conflict between manufacturer's instructions and the Contract Documents, the Contractor shall obtain written clarification from the Architect before proceeding.
- The Contractor shall include in his bid and arrange for all hoisting charges, if any are required.
- The Contractor shall thoroughly verify all dimensions prior to the bid submission. To the extent practicable, he shall also verify field conditions at the site. Any and all conflicts, omissions, and discrepancies shall be reported in writing to the Architect five business days prior to the bid submission, otherwise, the Contractor shall bear all costs to complete the work as intended on the drawings. The General Contractor warrants, by tendering his bid, that the work is buildable as shown.
- The Contractor shall coordinate with the telephone and data line companies and the Tenant for all necessary telephone and data line installation work. Contractor is responsible for coordinating and scheduling of telephone and data line installation with his work.
- The General Contractor shall file, obtain, and pay all fees for building department approvals and permits, controlled inspections, other agency approvals and permits, where required, and final write-offs for project completion. Copies of all transactions are to be forwarded to the Landlord.
- The General Contractor shall execute all inspections necessary to obtain a Certificate of Occupancy.
- The Architect makes every attempt to stay current with city/county codes; however, occasionally a code will change without our knowledge or the code officials will reinterpret a code. We, therefore, assume no responsibility for costs associated with changes to the planned build-out spaces because of the aforementioned.
- All wood blocking, framing and plywood sheathing to be fire retardant treated (F.R.T.) in accordance with the latest AWPA standards for plywood and lumber.
- The General Contractor shall obtain and follow all construction procedures required for this project.
- The General Contractor, prior to any slab penetrations, shall x-ray the existing structure for coordination.
- All new overhead and underslab plumbing, ductwork, wiring, etc. shall be tight to the structure above.
- All new plumbing installed outside of the conditioned tenant space shall be insulated, as required.



architect \_\_\_\_\_  
**ddb WORKSHOP, LLC**  
 11110 Radcliff Lane  
 Fulton, MD 20759  
 301.580.1441

structural consultant \_\_\_\_\_  
 Tarantino Engineering  
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 8115 Maple Lawn Blvd  
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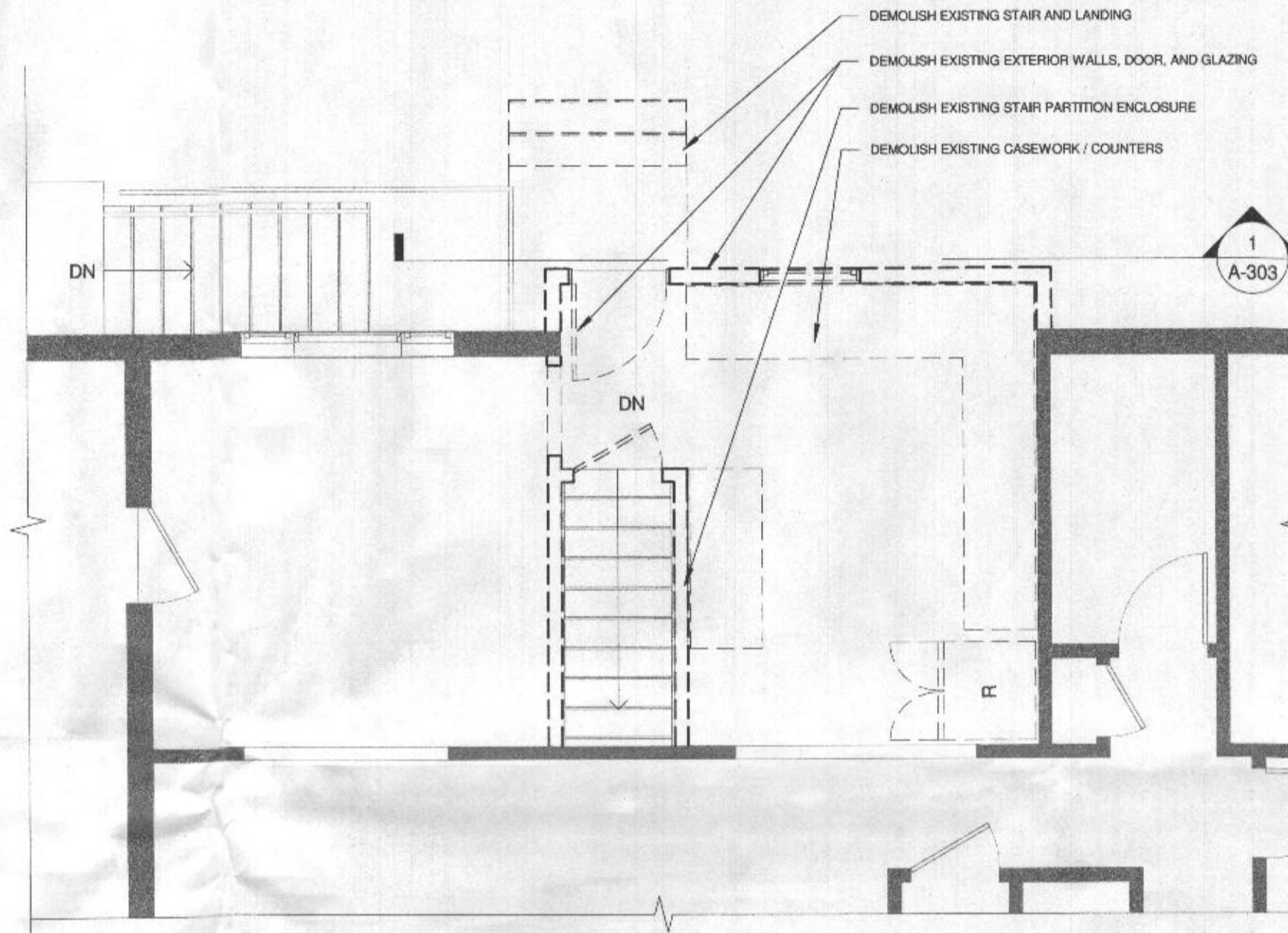
## GENERAL NOTES & DRAWING LIST

Issue Date: 05/17/2021

# G-002

# DEMOLITION PLANS GENERAL NOTES

1. DASHED LINES INDICATE WALLS AND ITEMS TO BE REMOVED.
2. ALL PARTITION DIMENSIONS ARE @ FACE OF GYPSUM BOARD, UNO.
3. ALL EXTERIOR WALL DIMENSIONS ARE @ CENTERLINE, UNO.
4. ALL EXISTING DIMENSIONS DESIGNATED WITH V.I.F. ARE TO BE FIELD VERIFIED.
5. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONSTRUCTION AND RELATED CONDITIONS PRIOR TO START-UP OF DEMOLITION OR NEW CONSTRUCTION.
6. ANY AND ALL DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTING OFFICER.
7. CONTRACTOR SHALL, AT ALL TIMES, MAINTAIN THE BUILDING IN A WEATHER-TIGHT CONDITION.
8. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT DAMAGE TO OWNER'S OCCUPIED AREAS
9. TEMPORARY BARRICADES AND PARTITIONS AS PERTAINING TO CONTRACTORS ACTIVITIES SHALL BE INSTALLED TO PREVENT POSSIBLE INJURY TO PERSONS IN AND AROUND DEMOLITION AND CONSTRUCTION AREAS IN ACCORDANCE WITH OSHA REQUIREMENTS.
10. TEMPORARY PARTITIONS ARE NOT TO BE REMOVED UNTIL ALL FINISH WORK IS COMPLETED OR APPROVAL GRANTED BY THE OWNER.
11. UPON REMOVAL OF TEMPORARY PARTITIONS, CONTRACTOR IS RESPONSIBLE FOR PATCHING TO MATCH EXISTING ADJACENT CONSTRUCTION.
12. AT POINTS OF CONSTRUCTION ACCESS CONTRACTOR SHALL PROVIDE LABOR AND MATERIALS TO REPAIR ALL DISTURBED ELEMENTS.
13. WHERE A RATING HAS BEEN GIVEN TO AN EXISTING WALL, FLOOR/CEILING ASSEMBLY OR ROOF/CEILING ASSEMBLY; ALL PENETRATIONS (EXISTING OR NEW) MUST BE SEALED AND PROPERLY FIREPROOFED PER THAT RATING REQUIREMENT. SEE EXISTING DRAWINGS FOR EXISTING REQUIREMENTS.
14. WHERE REMOVAL OF FLOOR COVERINGS AND VINYL WALL BASE ARE REQUIRED, DEMOLITION INCLUDES REMOVAL OF ADHESIVES, GROUT BEDS, ETC. SCRAPE FLOORS SMOOTH, PATCH ALL HOLES AND OPENINGS, CUT OUT ANY DAMAGED AREAS AND REPLACE WITH LIKE CONSTRUCTION. CLEAN OR TREAT ALL SURFACES AS RECOMMENDED BY MANUFACTURER OF FINISH TO BE APPLIED. ALL AREAS TO RECEIVE NEW FINISHES SHALL BE PREPARED TO MAINTAIN ANY REQUIRED FIRE RESISTANCE RATING AND PROVIDE A LEVEL SURFACE FOR THE APPLICATION OF NEW FINISHES.
15. ALL ACOUSTICAL TILE CEILINGS AND RELATED SUPPORT SYSTEMS TO BE REMOVED SHALL INCLUDE, BUT NOT LIMITED TO: CEILING TILES, LIGHT FIXTURES, GRILLES, DIFFUSERS, EXIT SIGNS, ELECTRICAL, COMMUNICATIONS, ETC.
16. WALLS TO BE REMOVED SHALL BE FROM FLOOR TO STRUCTURE ABOVE INCLUDING ALL MECHANICAL, ELECTRICAL, EQUIPMENT, ETC.. PREPARE ALL DISTURBED AREAS FOR NEW CONSTRUCTION.
17. REMOVE ALL MISCELLANEOUS EQUIPMENT ATTACHED TO WALLS, FLOORS, AND CEILINGS. COORDINATE WITH THE OWNER FOR ITEMS TO BE RETAINED OR REUSED.
18. ALL NON-ATTACHED ITEMS, SUCH AS MOBILE EQUIPMENT, DESKS, TABLES, CHAIRS, DRAPERIES, ETC. TO BE REMOVED
19. REMOVAL OF EXISTING PLUMBING FIXTURES SHALL INCLUDE PIPING, WASTE LINES, ETC. LINKS TO BE CAPPED AS REQUIRED. SEE PLUMBING DRAWINGS FOR FURTHER INFORMATION. REMOVE AND REPLACE CEILINGS AS REQUIRED FOR WORK BELOW THE SLAB ABOVE NON-RENOVATED AREAS.
20. REMOVAL OF EXISTING HVAC TO INCLUDE DUCTWORK HANGERS, GRILLES, DIFFUSERS, THERMOSTATS, ETC. AS REQUIRED - UNLESS NOTED OTHERWISE. SEE HVAC DRAWINGS FOR FURTHER INFORMATION.
21. REMOVAL OF EXISTING ELECTRICAL WORK SHALL INCLUDE CONDUIT BOXES, WIRE CABLE, SUPPORTS, WIRING DEVICES, SAFETY SWITCHES, FIRE ALARM EQUIPMENT, SPEAKERS, TELEPHONE OUTLETS, AND LIGHTING FIXTURES, UNLESS NOTED OTHERWISE.
22. PATCH AND PAINT (OR PREPARE FOR NEW WALL FINISH) ALL AREAS TO BE DISTURBED BY ANY DEMOLITION. IF PAINTING IS REQUIRED, ENTIRE WALLS AND FLOORS SHALL INCLUDE PREPARATION FOR NEW CONSTRUCTION.
23. WHEN PATCHING EXISTING FLOOR IS REQUIRED, SLOPING OR RAMPING IN EXCESS OF CONTRACT TOLERANCES WILL NOT BE ALLOWED.
24. THE ITEMS IDENTIFIED TO BE REMOVED REPRESENT THE MAJOR ITEMS ONLY. IN NO WAY DO THEY TRY TO IDENTIFY ALL ITEMS TO BE REMOVED. ALL ASSOCIATED APPURTENANCES SHALL BE INCLUDED IN DEMOLITION NOTES.
25. THE CONTRACTOR SHALL COORDINATE SELECTIVE DEMOLITION AND PATCHING OF FLOORS, WALLS AND CEILINGS FOR INSTALLATION OF NEW MECHANICAL AND ELECTRICAL WORK.
26. ONCE DEMOLITION IS COMPLETED, SURVEY AND DOCUMENT EXISTING CONDITIONS INCLUDING COLUMN LOCATIONS, SIZES AND DIMENSIONS.
27. REMOVE FLOOR FINISH TO BARE CONCRETE SLAB AND PREPARE SURFACE TO RECEIVE NEW WORK, UNLESS NOTED OTHERWISE.
28. REMOVE ALL SUSPENDED CEILING FINISH TO BARE CONCRETE CEILING SLAB INCLUDING BULKHEADS AND ASSOCIATED FRAMING, UNLESS NOTED OTHERWISE.



1 1st Floor - Demolition  
1/4" = 1'-0"



architect

**ddb WORKSHOP, LLC**  
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301.580.1441

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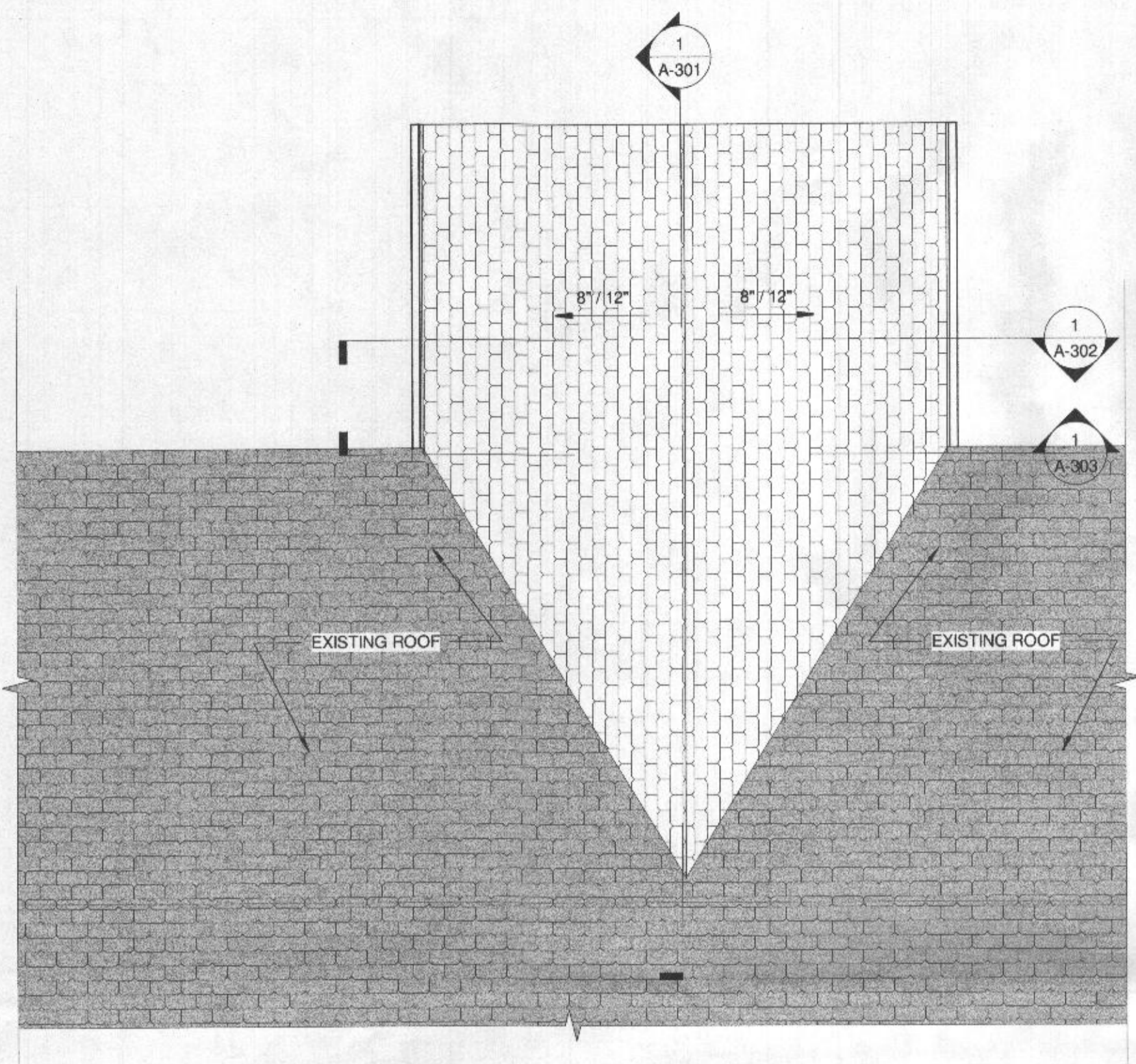
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No.	Date	Title
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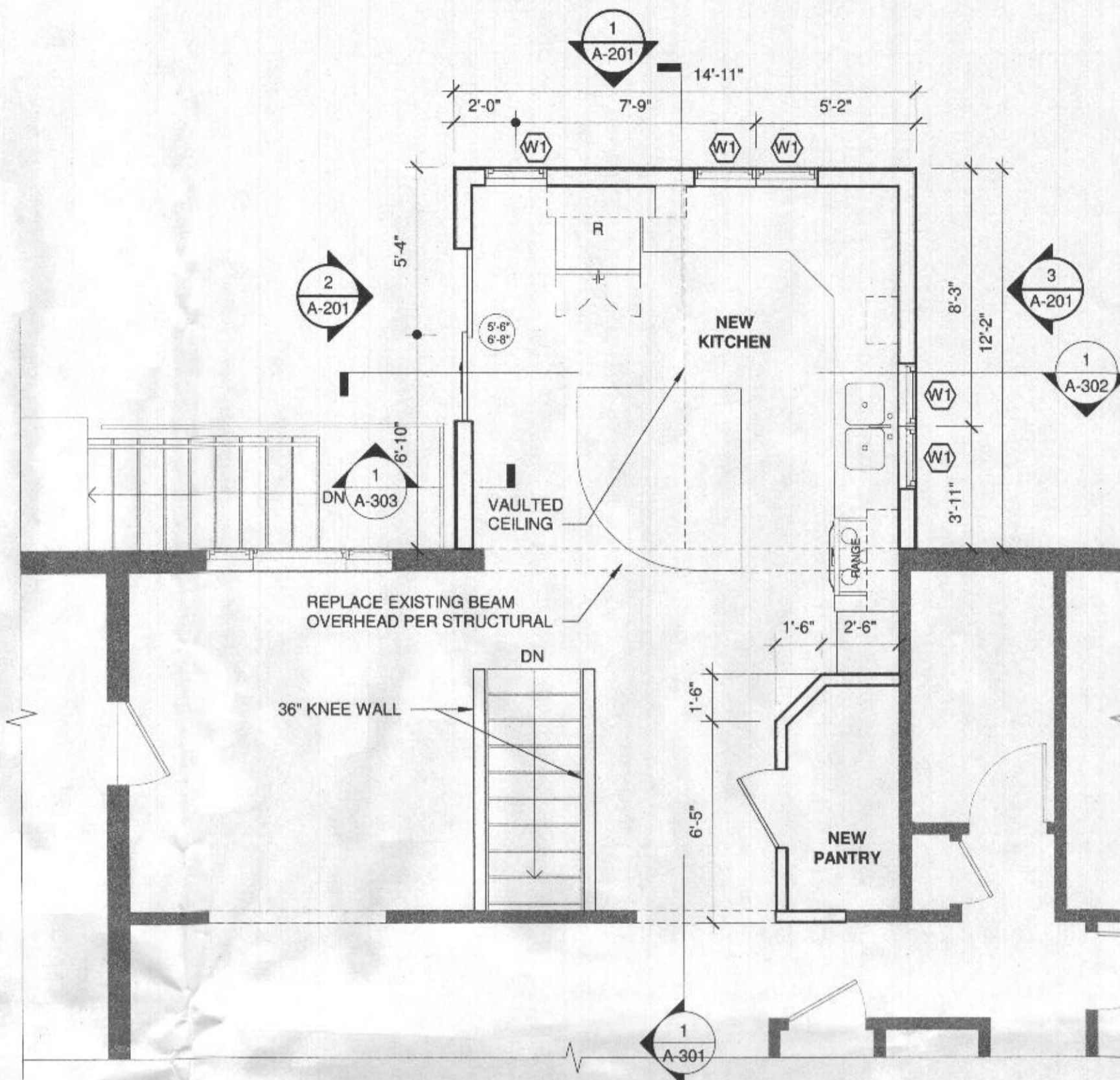
**DEMOLITION  
PLANS**

Issue Date: 05/17/2021

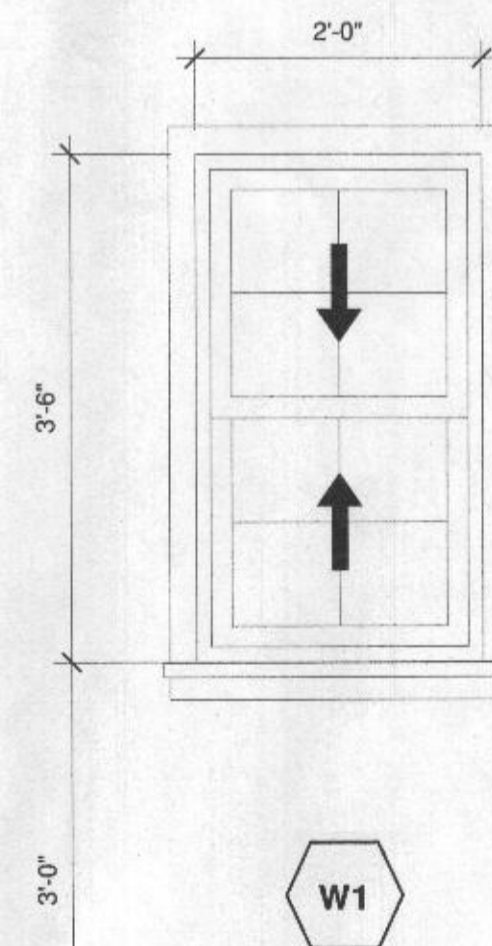
**AD-101**



2 Roof - Proposed  
1/4" = 1'-0"



1 1st Floor - Proposed  
1/4" = 1'-0"



1ST FLOOR

GLAZING LEGEND

**DRAWING LEGEND**

- EXISTING WALL
- NEW WALL
- - - FLOOR OR WALL ABOVE



architect

**ddb WORKSHOP, LLC**  
11110 Radcliff Lane  
Fulton, MD 20759  
301.580.1441

structural consultant



project

**Dufault Addition**

10701 Hunting Lane  
Columbia, MD

Seal | Signature



*T. Ezzi*  
5/17/2021

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No.	Date	Title
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**FLOOR PLANS**

Issue Date: 05/17/2021

**A-101**

architect  
**ddb WORKSHOP, LLC**  
 11110 Radcliff Lane  
 Fulton, MD 20759  
 301.580.1441

structural consultant  
  
 Tarantino Engineering  
 Consultants, PC  
 8115 Maple Lawn Blvd  
 Suite 350  
 Fulton, MD 20759  
 410-921-7678  
 www.tarantinoec.com

project  
**Dufault Addition**  
 10701 Hunting Lane  
 Columbia, MD

Seal | Signature \_\_\_\_\_



*Amir M. Ezzat*  
 5/17/2021

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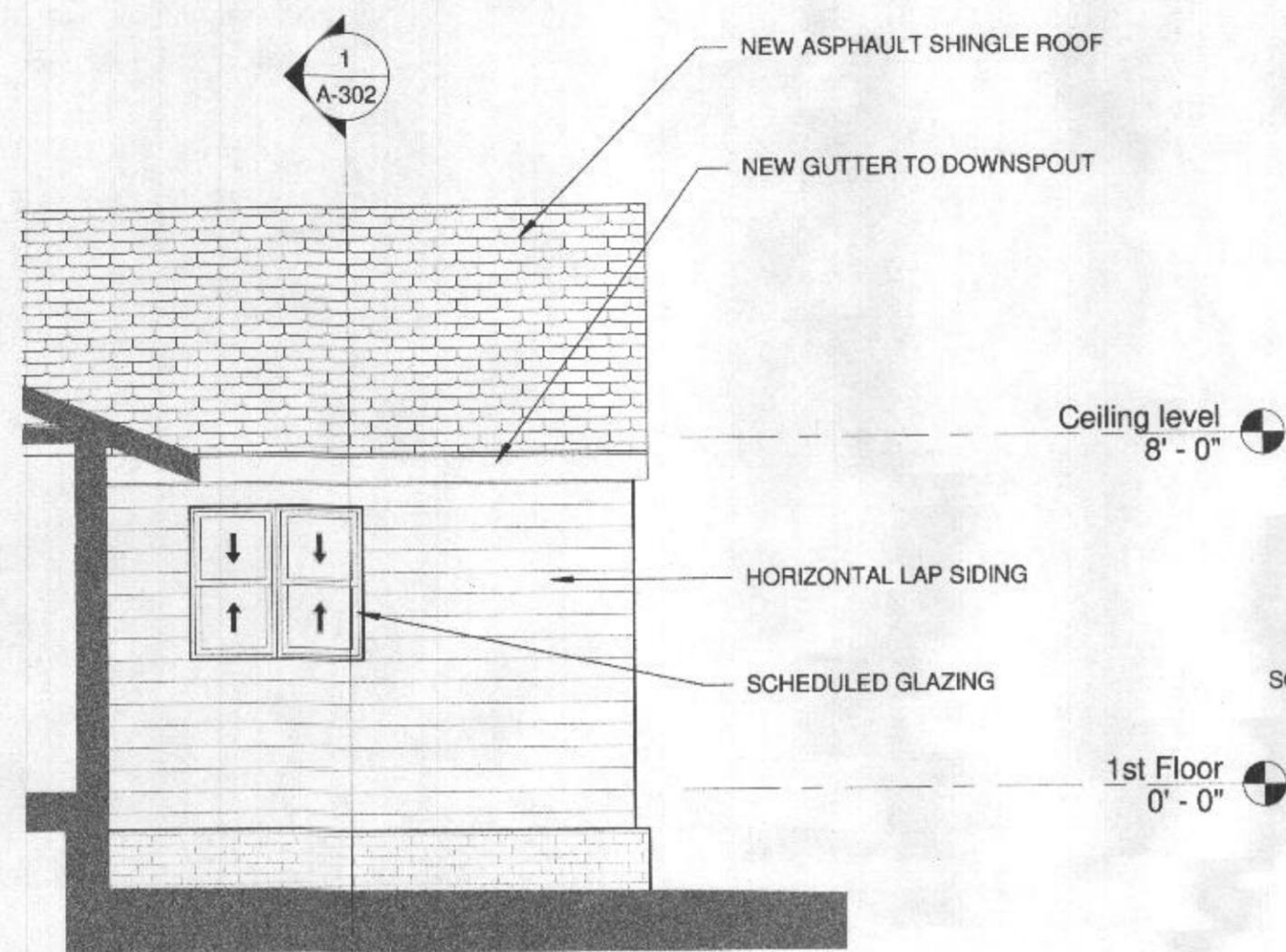
revisions

No.	Date	Title
05/17/21		PERMIT SET

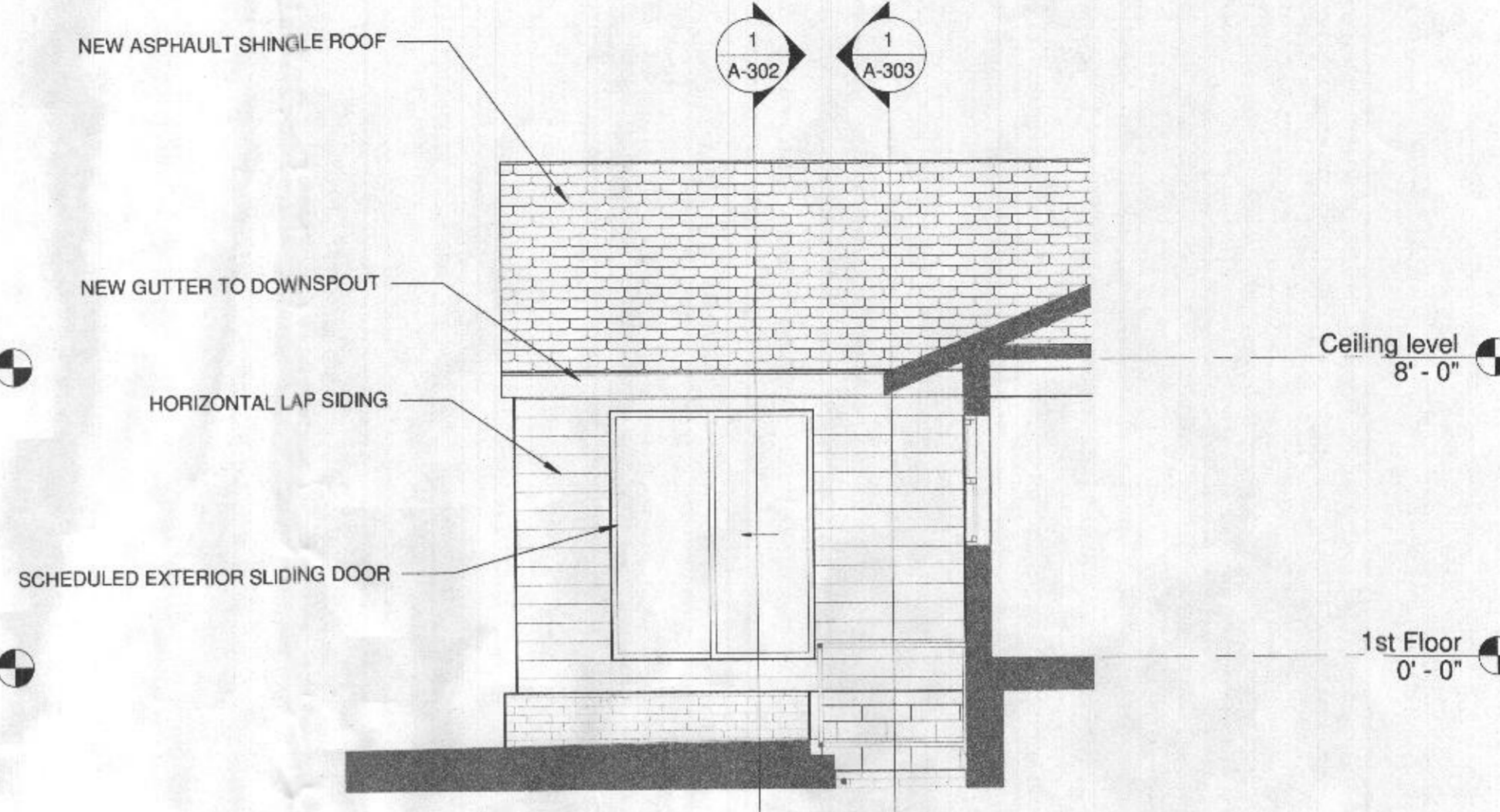
**ELEVATIONS**

Issue Date: 05/17/2021

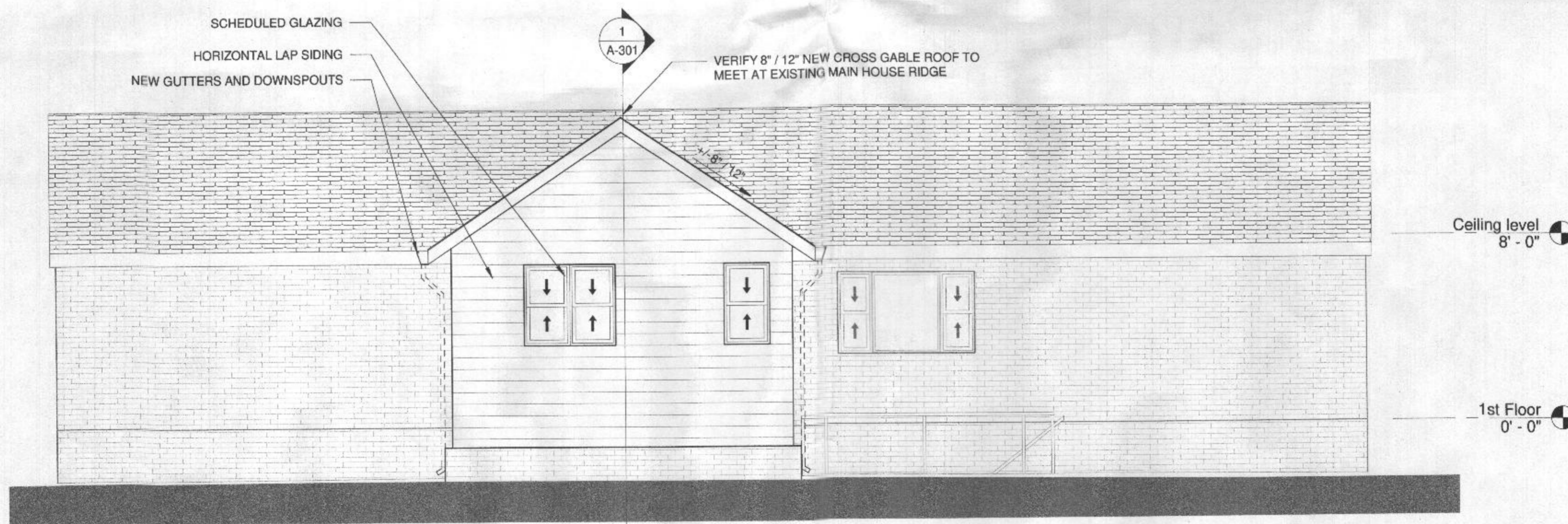
**A-201**



**3 Side Elevation 2**  
 1/4" = 1'-0"

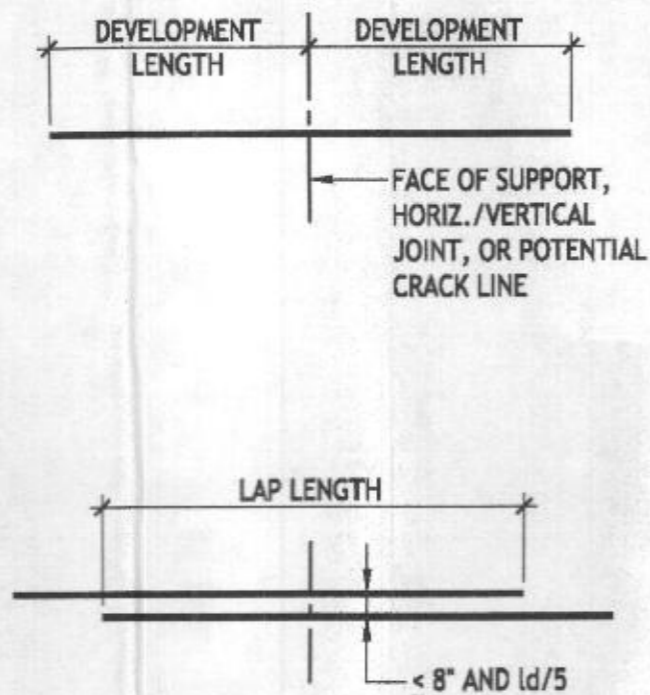


**2 Side Elevation 1**  
 1/4" = 1'-0"



**1 Rear Elevation**  
 1/4" = 1'-0"

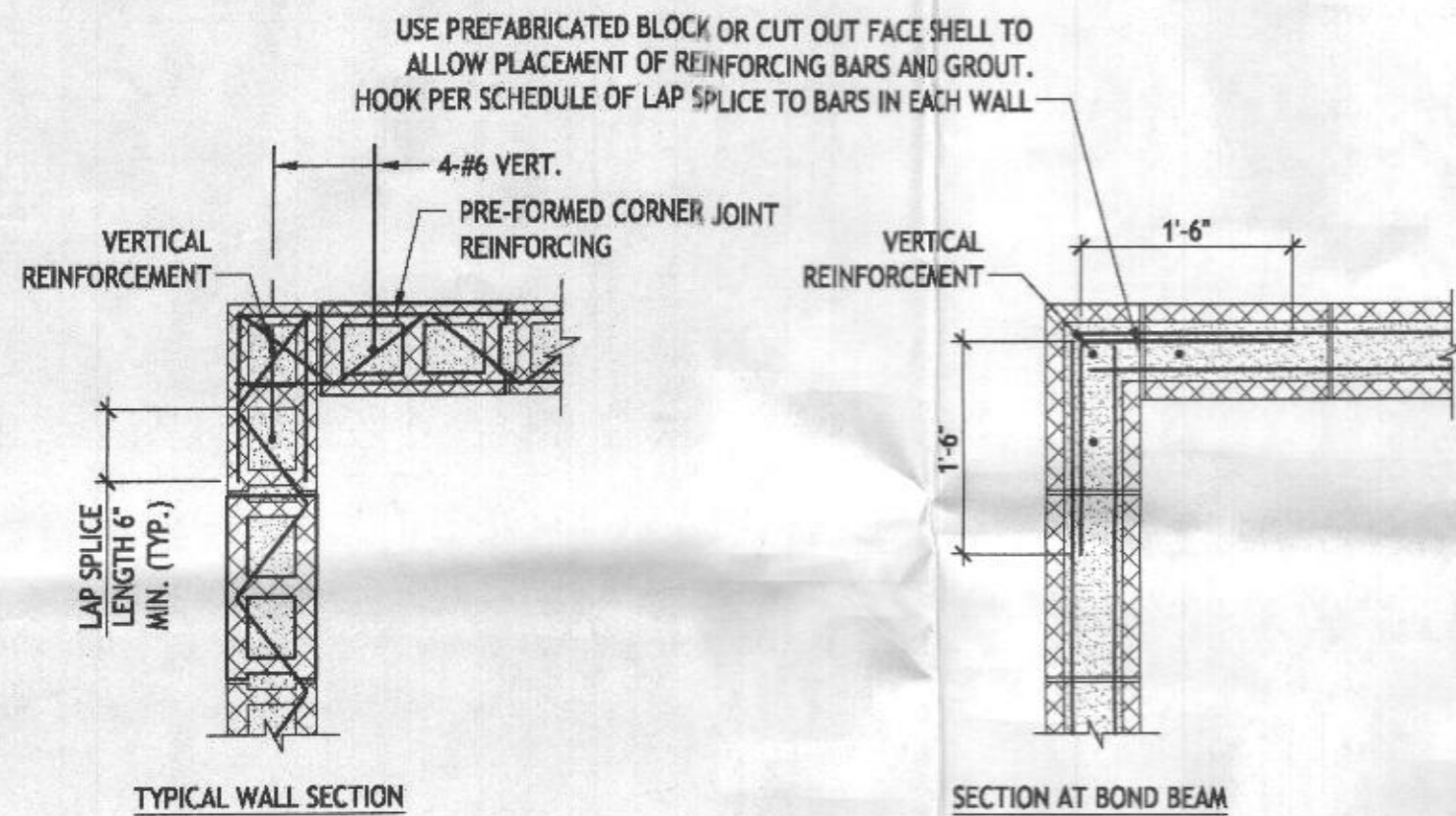
BAR SIZE	LAP/SPLICE AND DEVELOPMENT LENGTH $f_m = 1,900$ PSI		
	8" CMU	10" CMU	12" CMU
#3	14	14	14
#4	18	18	18
#5	22	22	22
#6	38	35	35



- NOTES:
- REFER TO "HOOKED TENSION DEVELOPMENT LENGTH IN GROUTED MASONRY SCHEDULE" WHEN THE STRAIGHT DEVELOPMENT LENGTH IN TENSION CANNOT BE ACCOMMODATED IN THE CONCRETE SECTION.
  - WHEN DIFFERENT BAR DIAMETERS ARE SPLICED, USE LARGER BAR LAP SPLICE LENGTH.
  - ALL TABULATED VALUES ARE MINIMUM LENGTHS, IN CASE OF CONFLICT WITH PLANS, SECTIONS, OR DETAILS USE THE LONGER LENGTH.
  - ADJUST TABULATED LENGTHS BY THE FOLLOWING FACTORS WHERE APPLICABLE. NOTE THAT FACTORS ARE CUMULATIVE:
    - EPOXY COATED BARS 1.50
  - WELDED AND/OR MECHANICAL SPLICES MAY BE USED AT THE GENERAL CONTRACTOR'S OPTION PROVIDED THAT THE SPLICE IS CAPABLE OF DEVELOPING AT LEAST 125% OF THE YIELD STRENGTH OF THE LARGER BAR IN TENSION. THE GENERAL CONTRACTOR SHALL USE WELDED AND/OR MECHANICAL SPLICES WHERE LAP SPLICES WOULD CREATE BAR CONGESTION THAT WOULD INTERFERE WITH THE PLACING OF GROUT. WHERE WELDED AND/OR MECHANICAL SPLICES ARE TO BE USED, THE GENERAL CONTRACTOR SHALL SUBMIT FULL DATA ON THE PROPOSED MATERIAL, PROCEDURES, AND INSTALLATION INSTRUCTIONS TO THE ENGINEER FOR REVIEW AS A SHOP DRAWING SUBMISSION.
  - db = BAR DIAMETER.
  - TABULATED DEVELOPMENT AND LAP SPLICE LENGTHS ARE BASED ON REINFORCING STEEL YIELD STRENGTH  $F_y$  5=60 KSI,

## STRAIGHT REINFORCEMENT DEVELOPMENT & SPLICE LENGTH IN GROUTED MASONRY

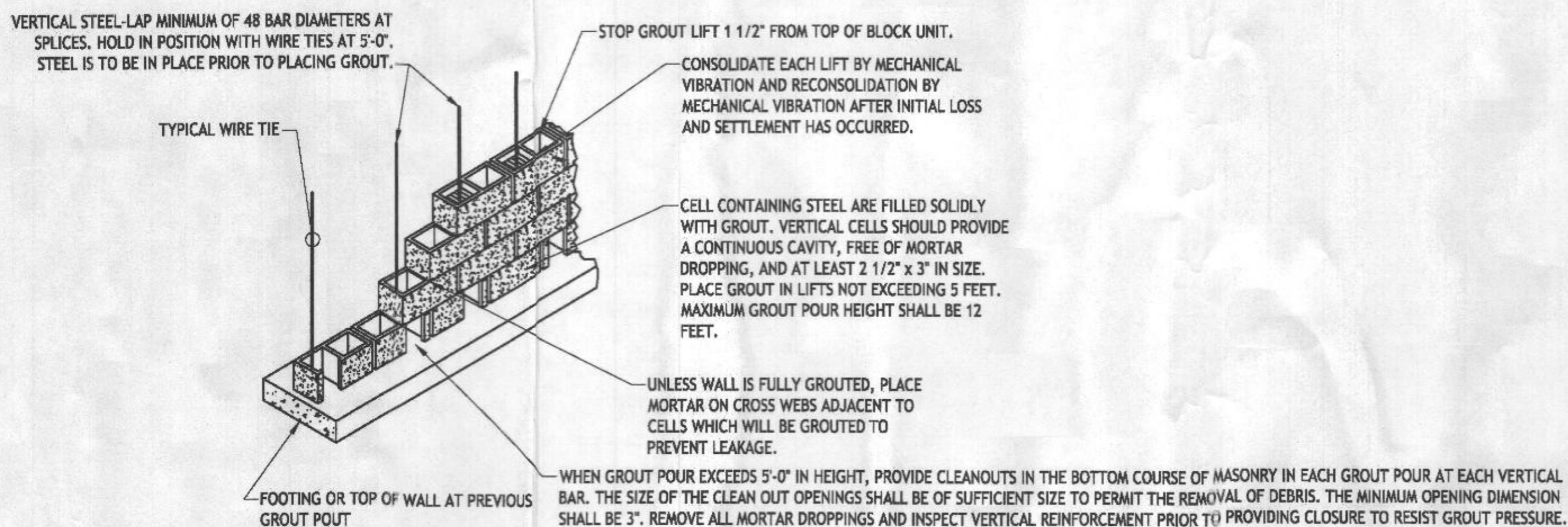
1  
3/4" = 1'-0"



- NOTES:
- CONTROL SPACING CRITERIA
    - 24'-0" O.C. MAX. EXCEPT AS NOTED
    - 3 TIMES THE WALL HEIGHT
    - WITHIN 2'-0" OF A CORNER OR INTERSECTION
    - NO CLOSER THAN 2'-0" TO ANY OPENING IN THE WALL
    - AT CHANGES IN HEIGHT
    - AT INTERSECTION OF STRUCTURAL AND NON-STRUCTURAL (PARTITION) WALLS
  - DO NOT EXTEND ANY REINFORCEMENT THROUGH JOINT EXCEPT @ 1 COURSE ABOVE FLOOR & BELOW CEILING, WHERE REINFORCEMENT SHALL BE CONTINUOUS THROUGH JOINT.
  - CONCRETE BLOCK SHOWN - BRICK SIMILAR.
  - SAW-CUT BRICK OR BLOCK AS REQUIRED.
  - PROVIDE 2 HR RATING AT JOINT
  - PROVIDE VERTICAL STEEL REINFORCING BAR SIZE AS NOTED ON PLAN, IN SECTION, OR IN GENERAL NOTES TO MATCH ADJACENT VERTICAL BARS.
  - SIZE OF HORIZONTAL CORNER REINFORCING BARS TO MATCH BOND BEAM REINFORCING.
  - BOND BEAM REINFORCING NOT SHOWN FOR CLARITY.
  - VERTICAL REINFORCING BARS TO EXTEND CONTINUOUSLY THROUGH BOND BEAMS. LAP VERTICALS AS PER SCHEDULE ABOVE BOND BEAMS.

## HORIZONTAL CMU WALL CORNER REINFORCEMENT DETAIL

2  
3/4" = 1'-0"



## TYP. CMU REINFORCEMENT DETAIL

3  
3/4" = 1'-0"

**ddb**

architect

**ddb WORKSHOP, LLC**

11110 Radcliff Lane  
Fulton, MD 20759  
301.580.1441

structural consultant

**TEC** Tarantino Engineering  
Consultants, PC  
8115 Maple Lawn Blvd  
Suite 350  
Fulton, MD 20759  
410-921-7678  
www.tarantinoec.com

project

**Dufault Addition**

10701 Hunting Lane  
Columbia, MD

Seal | Signature



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LICENSE # 24871 EXPIRATION: 02/28/2022

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No.	Date	Title
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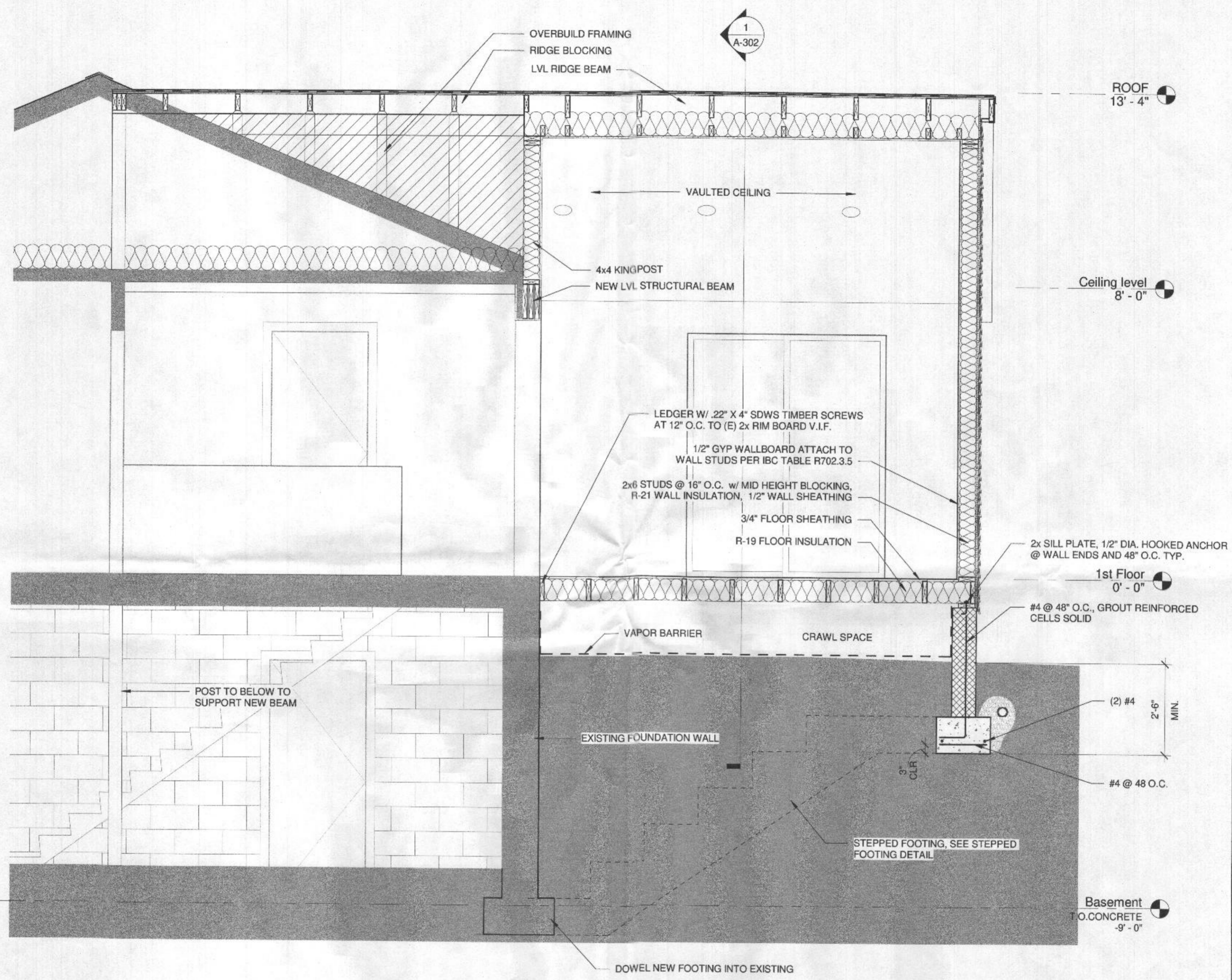
**DETAILS**

RECEIVED

JUN 25 2021  
LICENSES & PERMITS  
DIVISION

Issue Date: 05/17/2021

**S-202**



**1 BUILDING SECTION**  
1/2" = 1'-0"



architect  
**ddb WORKSHOP, LLC**  
11110 Radcliff Lane  
Fulton, MD 20759  
301.580.1441

structural consultant  
**TEC** Tarantino Engineering  
Consultants, PC  
8115 Maple Lawn Blvd  
Suite 350  
Fulton, MD 20759  
410-921-7678  
www.tarantinoec.com

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10701 Hunting Lane  
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**BUILDING SECTIONS**

Issue Date: 05/17/2021

**A-301**